

Project Overview

#1083040

Project Title: Ample Storage Expansion

Jurisdiction: Town of Knightdale

Application Type: Conditional District Rezoning (Full)

State: NC

Workflow: Conditional District Rezoning: Master Plan (Step 2)

County: Wake

Project Contacts

Contact Info: Applicant

Terry Wethington
Lampe Management
225 E. Peedin Rd
Smithfield, NC 27577
P:252-640-2664
terryw@lampemanagement.com

Contact Info: Property Owner

Terry Wethington
Lampe Management
225 E. Peedin Rd
Smithfield, NC 27577
P:252-640-2664
terryw@lampemanagement.com

Contact Info: Engineer

Matthew Prokop
Rivers & Associates, Inc.
6131 Falls of Neuse Road, Suite 300
Raleigh, NC 27609
P:(919) 848-3347
mprokop@riversandassociates.com

Please indicate which of the following contacts should be included in this project.: Engineer

Project Location

Project Address:

- 6839 KNIGHTDALE BLVD, KNIGHTDALE, NC 27545
- 1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545

PIN: 1744868623

Total Acreage: 2.01

Project Description

Brief Description of Project:

Ample Storage Center, located at 6839 Knightdale Blvd, desires to expand their existing facility on the north end of their property (Parcel # 1744868623). Enclosed is the Sketch Plan for review.

The existing facility was developed in two phases. Phase 1 is located at 1107 Great Falls Ct and includes the more traditional one-story exterior storage units. Phase 2 is located at 6839 Knightdale Blvd and includes a multi-story mini-storage building. The proposed development will be the construction of one 29,280 sf, 3-story indoor mini-storage facility (87,840 sf total floor area) at the rear of the property, abutting TRW Electric Supply and the Wake Stone Corporation quarry.

The project area is currently wooded. No other environmental features are present on site. Proposed development is consistent with the existing development on the same parcel. The project area is bounded on two sides by the existing quarry and a third side by the existing on-site development. The final side adjoins TRW Electric Supply and will include preservation of the existing wooded area as part of the requisite screening buffer. The existing and proposed tree lines are shown on the Natural Resources Sketch Plan.

The proposed development will be accessed via the existing Phase 1 entrance at the end of Great Falls Ct. The proposed use will likely not increase traffic demand along the street significantly, and will not require any additional public infrastructure outside of fire protection.

Given that the proposed development matches the existing development on site, and given the adjacent land use and site location, the proposed indoor mini-storage facility fits within the spirit of the Knightdale Comprehensive Plan. Detailed reasonings are discussed below.

Applicant seeks to request a variance pertaining to UDO 6.4 and UDO 6.12. Applicant has attached proposed building elevations and a depiction of the visible effects on neighboring properties to illustrate the non-offensive nature of the requested variance once required vegetative buffers are accounted for. Applicant intends on requesting this variance from the Town Council.

Project Location Data

Inside Corporate Limits: Yes

Proposed Land Use (General):
Manufacturing/Wholesale/Storage

Current Land Use: Manufacturing/Wholesale/Storage

Current Zoning: MI - Manufacturing and Industrial

Residential Information

Does this project include a residential component?: No

Number of Townhome Lots:

Total Number of Proposed Residential Lots: 0

Number of alley loaded lots:

Proposed Density:

Number of Detached Single Family Lots:

Number of Multi-Family/Apartments Units:

Number of front loaded lots:

Please Note: Knightdale's Unified Development Ordinance has unique regulations pertaining to mass grading and landscape preservation. Please consult the UDO regulations below to ensure your proposed project meets the requirements.

As outlined in **UDO Chapter 9.3: Residential Clearing & Grading**, mass grading is prohibited except where residential lots are less than 60 feet in width.

As outlined in **UDO Chapter 7.4.H: Tree Protection**, there are requirements for landscape preservation, tree save areas, protection measures, and replacement specifications.

Non-Residential Information

Does this project include a non-residential component?:
Yes

Total Number of Proposed Non-Residential Lots: 1

Total Number of Non-Residential Buildings: 1

If your project contains more than three buildings, please upload total proposed square footage information as part of your project documents.

Building #1 Square Footage: 29280

Building #2 Square Footage:

Building #3 Square Footage:

Please Note: Knightdale's Unified Development Ordinance has unique regulations pertaining to landscape preservation. Please consult the UDO regulations below to ensure your proposed project meets the requirements.

As outlined in **UDO Chapter 7.4.H: Tree Protection**, there are requirements for landscape preservation, tree save areas, protection measures, and replacement specifications.

Utility & Stormwater Information

Proposed Water Supply: N/A

Proposed Wastewater Supply: N/A

How will stormwater management be addressed?: New System or Device

Does the proposed development anticipate the addition or extension of public streets?: No

Description of Public Utility Connection (Water Supply):

Description of Public Utility Connection (Wastewater Supply):

New Device Type: Bioretention Area

Does the parcel(s) contain any of the following environmental/natural features?: N/A

Neighborhood Meeting Information

Please Note: A full Neighborhood Meeting Report is a required element of this application. The questions below must answered and are not a substitution for providing a full report, as outlined in the application checklist.

Date of Mailed Notification: 04/02/2024

Date of Neighborhood Meeting: 04/11/2024

Number of Property Owners Contacted: 13

Number of Residents in Attendance: 0

Provide a brief summary of the meeting, including any issues or concerns that were discussed.:

With zero attendance, no issues were presented at the meeting.

Verbal agreement was obtained from owner of Wake Stone Corp prior to meeting. Issue was pertaining to maintenance of a screening buffer.

Comprehensive Plan Consistency

Current 2035 Comprehensive Plan Placetype Designation: Retail

Provide brief statements regarding whether the rezoning request is consistent with the Growth Framework designation, Growth & Conservation Placetype, and any applicable policies contained within the 2035 Comprehensive Plan.:

Though the parcel does face Knightdale Blvd, the project area will be accessed via Great Falls Ct, which is neither a high-volume road, nor has a key intersection. Retail development at the end of a cul-de-sac could potentially increase traffic demand past what the existing street could handle.

UDO Consistency

Please Note: All standards and requirements of the corresponding Base/General District must be met, except to the extent that the conditions imposed are more restrictive than those standards. If a Conditional District is required per UDO Ch. 3, certain UDO standards may be decreased or modified.

Proposed Base Zoning District: MI - Manufacturing and Industrial

Project Type: New Construction or Site Development

UDO Building Type: Manufacturing

Explain how the project is consistent with the Unified Development Ordinance:

Project is a continuation of the exiting use on the same parcel.

List all requested Land Use Categories to be permitted within the Conditional District. :

Water Allocation Policy Compliance

Please Note: Connection to municipal water requires compliance with the [Water Allocation Policy](#). Projects must be awarded 50 points or more to merit water allocation. Specific information regarding policy compliance must be included in the Master Plan submittal.

Land Use Category: 30 pts- All Other Uses Not Categorized

Base Points: 30

Bonus Points: 0

Total Points Proposed: 30

Ample Storage Center
6839 Knightdale Blvd
Knightdale, NC 27545
Proposed Indoor Self Storage
Proposed +/-28,800 SF, 3-Story Indoor Self-Storage Building
Master Plan Submittal
Comprehensive Plan Consistency
May 21, 2024

General Narrative

Ample Storage Center, located at 6839 Knightdale Blvd, desires to expand their existing facility on the north end of their property (Parcel # 1744868623). Enclosed is the Sketch Plan for review.

The existing facility was developed in two phases. Phase 1 is located at 1107 Great Falls Ct and includes the more traditional one-story exterior storage units. Phase 2 is located at 6839 Knightdale Blvd and includes a multi-story mini-storage building. The proposed development will be the construction of one 29,280 sf, 3-story indoor mini-storage facility (87,840 sf total floor area) at the rear of the property, abutting TRW Electric Supply and the Wake Stone Corporation quarry.

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The proposed development will be accessed via the existing Phase 1 entrance at the end of Great Falls Ct. The proposed use will likely not increase traffic demand along the street significantly, and will not require any additional public infrastructure outside of fire protection.

Given that the proposed development matches the existing development on site, and given the adjacent land use and site location, the proposed indoor mini-storage facility fits within the spirit of the Knightdale Comprehensive Plan. Detailed reasonings are discussed below.

Growth Framework Map Consistency

The site is located within existing town limits. The project area is described as a 2-acre section of a 7-acre parcel (zoned MI). Existing development on the property includes 95,600 sf of self-storage (Mini-Warehouses).

Growth & Conservation Map Consistency

The site is located within a Retail place type category. Adjacent land uses, along with the designated place type from the published map are as follows:

- Site: Ample Storage (Retail)
- North & West: Wake Stone Corporation – Knightdale Quarry (Heavy Industrial).
- Northeast: TRW Electric and Supply Company (Retail).
- East: Auto DRS (Light Industrial)
Tractor Supply Company (Retail)
- Southeast: Knightdale Pediatrics (Retail).

The growth map designates the property for commercial development (retail). The proposed development is allowed under the UDO zoning and is consistent with existing development.

Given the location and surrounding uses, the proposed office development is consistent with and promotes the vision of the Growth & Conservation Map.

Trails & Greenways Map Consistency

The site is not located adjacent to any existing or proposed trails, greenways, bicycle routes, parks or open space located within or adjacent to the site, it is consistent with the Trails & Greenways Map.

Street Network Map Consistency

Existing development abuts Knightdale Blvd (NCDOT arterial) and Great Falls Ct. Development will be accessed via the exiting driveway at the end of the cul-de-sac on Great Falls Ct (city). The proposed development (mini-warehouses) will not significantly increase the number of trips along Great Falls Ct. Due to the nature of both the existing and proposed development, pedestrian and bike traffic will be very minimal, if ever. Any increase in vehicular traffic will not pose any risks to either group. The proposed development is consistent with the street network plan.

Transit Network

The project area is not located along any planned transit route. As noted above, demand for transit use will be virtually non-existent for either the existing or proposed uses along Great Falls Ct. The proposed development fits the overall transit network plan.

Focus Area Studies

The project area is not located within any existing Focus Area Study.

Water Allocation

As the proposed development is an expansion of the existing mini-storage facility, no new office/residential facilities are included. Customers will have access to bathroom facilities in the Phase 2 building. No water connections will be used to provide any janitorial services. Submitted plans show only a fire line as part of development. No water demand will be needed to be allocated for the proposed development.

CIVIL ENGINEER

Rivers & Associates, INC.
Greenville, NC



107 East Second Street
Greenville, NC 27858
(252) 752-4135

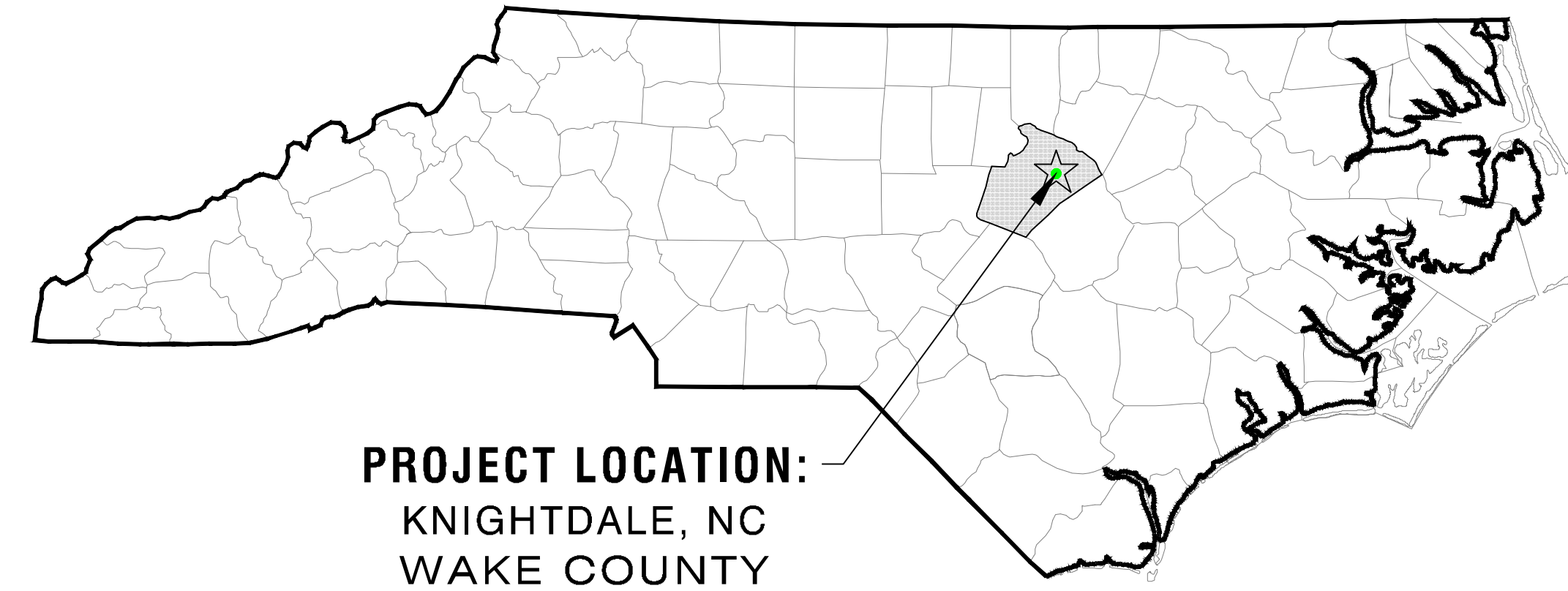
Contact: MATTHEW J. PROKOP, PE
mprokop@riversandassociates.com

OWNER/DEVELOPER

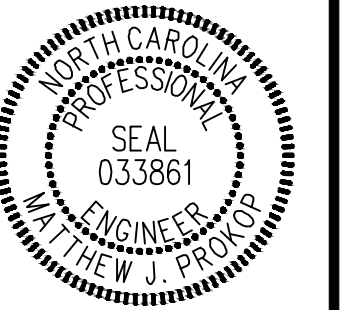
AMPLE STORAGE LAKE
WORTH LLC

P.O. BOX 608
SMITHFIELD, NC 27577-0608

Contact: TERRY WETINGTON
(252) 670-2664
terryw@lampmanagement.com



PROJECT LOCATION:
KNIGHTDALE, NC
WAKE COUNTY

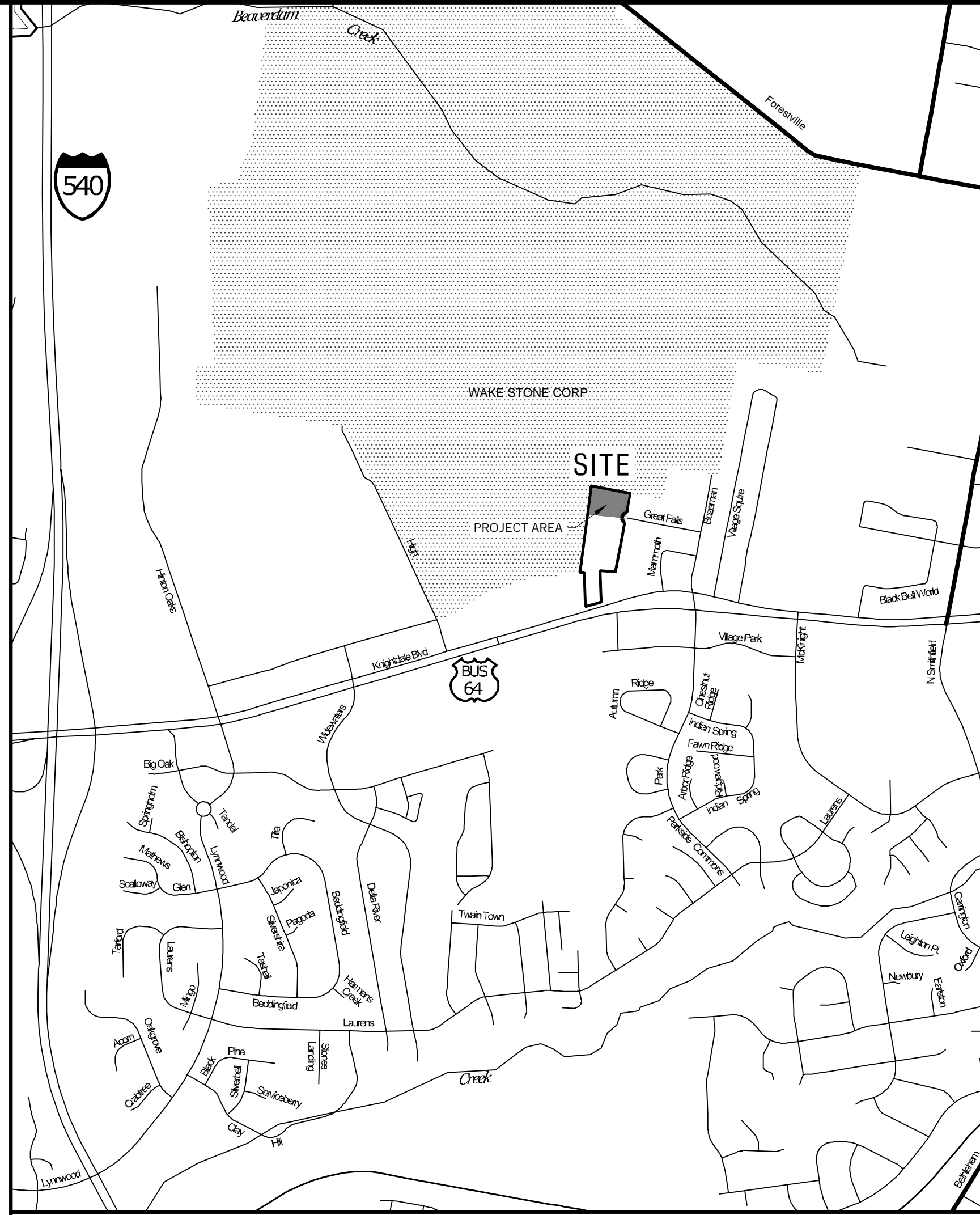


MASTER PLAN (TOK Project # ZMA-5-23)
**AMPLE STORAGE
EXPANSION**

REVISIONS:

NO.	DATE	DESCRIPTION
1	05/21/24	MASTER PLAN - FIRST SUBMITTAL
2	09/03/24	TOWN COUNCIL WORKSHOP
3	09/23/24	MASTER PLAN COMMENTS
4	10/09/24	COVER SHEET REVISION

SITE DATA	
SITE ADDRESS PHASE 1:	1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545
SITE ADDRESS PHASE 2:	6839 KNIGHTDALE BLVD, KNIGHTDALE, NORTH CAROLINA 27545
MUNICIPALITY:	ST. MATTHEWS
PARCEL NO.:	1744868623
DEED REFERENCE:	DB 15706, PG 63
AREA IN SITE:	6.98 ACRES (+/- 303,818 SF)
EXISTING USE CLASS./ZONING:	GENERAL COMMERCIAL - HB/MI
PROPOSED USE CLASS./ZONING:	MINI-WAREHOUSES - HB/MI-CD
WATERSHED:	27-29: BEAVERDAM CREEK
RECEIVING STREAM:	C, NSW
PROPOSED NEW BUILDING:	121' X 226' = 27,346 SF FOOTPRINT X 3 STORY = 82,038 TOTAL SF
TOTAL BUILDING SQUARE FOOTAGE:	95,640 SF EXIST + 82,038 NEW = 177,648 TOTAL SF
BUILDING HEIGHT:	EXISTING = 1 @ 30' (3-STORY), 7 @ 10' (1-STORY) PROPOSED = 30' (3 STORY)
TOTAL NUMBER OF STORAGE UNITS:	EXISTING = -750 + 539 NEW = 1,289 TOTAL PROPOSED
IMPERVIOUS AREA	
EXISTING BUILDINGS FOOTPRINT:	62,611 SF
EXISTING CONCRETE:	4,197 SF
EXISTING ASPHALT PARKING:	87,965 SF
TOTAL EXISTING IMPERVIOUS AREA:	154,773 SF (3.55 ACRE)
EXISTING:	50.9 %
PROPOSED BUILDING FOOTPRINT:	27,346 SF
PROPOSED CONCRETE:	15,230 SF
TOTAL PROPOSED IMPERVIOUS AREA:	42,576 SF (0.98 ACRES)
TOTAL IMPERVIOUS AREA:	197,349 SF (4.53 ACRES)
TOTAL POST DEVELOPMENT:	64.9 %
PARKING SUMMARY	
EXISTING REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF (95,645 SF) = 23.9 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM() = 12 SPACES
PROPOSED REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF (87,840 SF) = 22 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM() = 11 SPACES
TOTAL PARKING SPACES REQUIRED:	23
TOTAL EXISTING PARKING SPACES:	12
NEW PARKING SPACES REQUIRED:	11
NEW PARKING SPACES PROVIDED:	17
TOTAL PARKING SPACES PROVIDED:	29
EXISTING H/C PARKING SPACES:	2
H/C PARKING SPACES REQUIRED:	1
TOTAL H/C PARKING SPACES PROVIDED:	3
TOTAL BICYCLEPARKING REQUIRED:	2
TOTAL BICYCLEPARKING PROVIDED:	2



Vicinity Map
SCALE: 1" = 1000'

SHEET INDEX	
Sheet Number	Sheet Title
C1.01	COVER SHEET
C1.11	BOUNDARY SURVEY
C1.12	NATURAL RESOURCES MASTER PLAN
C1.21	EXISTING CONDITIONS OVERALL
C1.22	EXISTING CONDITIONS - PROJECT AREA
C2.01	MASTER PLAN OVERALL
C2.10	MASTER PLAN - PROJECT AREA
C2.51	SITE DETAILS
C2.52	DRAFT BUILDING ELEVATIONS
C3.01	UTILITY PLAN
C4.01	GRADING & STORMWATER MANAGEMENT PLAN
C4.02	STORMWATER DETAILS
C5.01	SEDIMENTATION & EROSION CONTROL PLAN
C5.11	SEDIMENTATION & EROSION CONTROL NOTES
C5.21	SEDIMENTATION & EROSION CONTROL DETAILS
C5.22	SEDIMENTATION & EROSION CONTROL DETAILS
C6.41	PAVEMENT MARKING, SIGNAGE & TRAFFIC CONTROL PLAN
L1.01	LANDSCAPING PLAN
L2.01	LANDSCAPING DETAILS
SL1.01	LIGHTING DETAILS
SL1.02	SITE LIGHTING PLAN

GENERAL NOTES:

- PROPOSED USE (MINI-WAREHOUSES) WILL REQUIRE CONDITIONAL DISTRICT REZONING PER UDO SECTION 3.1.C.6.I
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE TOWN OF KNIGHTDALE AND THE ENGINEER.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS.
- CONTRACTOR MUST NOTIFY ONE CALL CENTER, INC (NC ONE CALL) 1-800-632-4949 AT LEAST 72 HOURS PRIOR TO THE START OF EXCAVATION OR TRENCHING TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
- CONTACT TOWN OF KNIGHTDALE AT 919-217-2255 TO SCHEDULE PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR, PROJECT ENGINEER AND OWNER. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING ALL APPROPRIATE AUTHORITIES TO THE DATE OF SAID ACTIVITY.
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). THIS PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON FIRM PANEL NUMBER 3720174400K, DATED JULY 19, 2022.
- WETLANDS AND PONDS, IF PRESENT, ARE DENOTED ON THE SURVEY. NO IMPACTS TO WETLANDS ARE ANTICIPATED.
- PLEASE BE ADVISED TO OF THE RULES WHICH PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE AND TARPAMUNCO RIVER BASINS. THIS RULE IS ENFORCED BY THE DIVISION OF WATER QUALITY (DWO). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THIS RULE TO THE RALEIGH REGIONAL OFFICE, (919) 791-4200
- NEW BUILDINGS MUST COMPLY WITH NC FIRE CODE SECTION 510 -- EMERGENCY RESPONDER RADIO COVERAGE. FIRE DEPARTMENT VEHICULAR ACCESS TO ALL STRUCTURES UNDER CONSTRUCTION SHALL BE PROVIDED AT ALL TIMES.
- CONTRACTOR TO FURNISH ALL PAVEMENT MARKINGS AS SHOWN.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE POINTS.
- SITE LIGHTING IS TO BE INSTALLED WITH COORDINATION BETWEEN CONTRACTOR, OWNER/DEVELOPER AND DUKE ENERGY.
- COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/S.S. PERMITS, ETC.
- OUTDOOR STORAGE IS PROHIBITED PER UDO SECTION 5.7.G.1.
- WATER ALLOCATION POLICY COMPLIANCE: NEW DEVELOPMENT WILL ONLY INCLUDE A FIRE LINE. NO DOMESTIC SERVICE IS NEEDED.
- PROPERTY WILL NOT BE SUBDIVIDED

-OWNER CONTACT INFO UPDATED
-TOK PROJ # ADDED
-SITE DATA TABLE UPDATED
-GENERAL NOTED UPDATED

3 SETP 24

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator

IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN THESE CONSTRUCTION DRAWINGS AND THE TOWN OF KNIGHTDALE'S APPROVED STANDARDS FOR THIS PROJECT, THE APPROVED STANDARDS SHALL CONTROL. TOWN OF KNIGHTDALE APPROVED STANDARDS SHALL MEAN ALL DEVELOPMENT DOCUMENTS NECESSARY FOR APPROVAL FOR THE PROPERTY INCLUDING, BUT NOT LIMITED TO, ANY SPECIAL USE PERMIT, SUBDIVISION PLAN, SITE PLAN, SUBDIVISION PLATS), PHASING SCHEDULE, DEVELOPMENT AGREEMENT, UTILITY ALLOCATION AGREEMENT, ANNEXATION AGREEMENT, THE TOWN OF KNIGHTDALE STANDARD SPECIFICATION AND DETAILS MANUAL AND APPLICABLE PROVISIONS OF THE NORTH CAROLINA STATE BUILDING CODE.

Professional Design Engineer Certification. These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale.

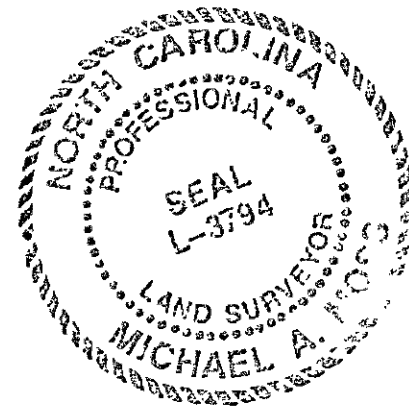
I, _____ PE, certify that the Standard Specifications of the Town of Knightdale have been thoroughly checked and found to be applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightdale and said exceptions are shown on Sheet(s) _____ of these drawings.
Seal _____ Date: _____, PE

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION

TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT NO. 2023008
DRAWING NO. W-4073-MP
SCALE: AS NOTED
SHEET NO. C1.01

I, MICHAEL A. MOSS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE SOURCE OF INFORMATION FOR THE SURVEY IS SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED; THAT THE RATIO OF PRECISION IS GREATER THAN 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL



Michael A. Moss
PROFESSIONAL LAND SURVEYOR (L-3794)

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF KNIGHTDALE AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, PRESERVE AND PROTECT ALL SOILS AND VEGETATION IN THE TREE PROTECTION AREAS AS REQUIRED IN SECTION 8.5 OF THE TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE, PLANT SUPPLEMENTARY OR REPLACEMENT TREES AS REQUIRED, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS, TO PUBLIC OR PRIVATE USES AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL SANITARY SEWER, STORM SEWER, AND WATER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE CITY OF RALEIGH, AND I HEREBY DEDICATE ALL STORM SEWER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE TOWN OF KNIGHTDALE.

1-25-2017 *Ample Storage Lake Worth LLC*
DATE OWNER(S)

I, *Patricia D. Hildreth*, DO HEREBY CERTIFY

THAT *Guy Lampe* PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE DUE EXECUTION OF THIS CERTIFICATE. WITNESS MY HAND AND (WHERE AN OFFICIAL SEAL IS REQUIRED BY LAW) OFFICIAL SEAL THIS 25 DAY OF Jan, A.D., 2017 (YEAR)

Patricia D. Hildreth
NOTARY
09/27/2021
COMMISSION EXPIRES

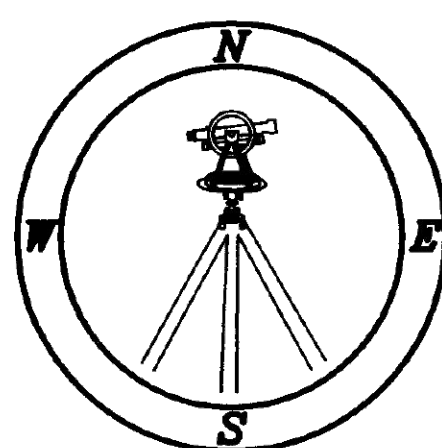
CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN IS EXEMPT FROM THE SUBDIVISION PROVISIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND IS THEREFORE EXEMPT FROM ITS PROVISIONS. THE PLAT HAS BEEN FOUND TO COMPLY WITH THE ZONING REGULATIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND HAS BEEN APPROVED BY THE TOWN OF KNIGHTDALE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY.

2/10/17 *[Signature]*
DATE ADMINISTRATOR, TOWN OF KNIGHTDALE

REVIEW OFFICER CERTIFICATION
STATE OF NORTH CAROLINA, COUNTY OF WAKE
I, *Jennifer Curran*, REVIEW OFFICER OF WAKE COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL THE STATUTORY REQUIREMENTS FOR RECORDING.

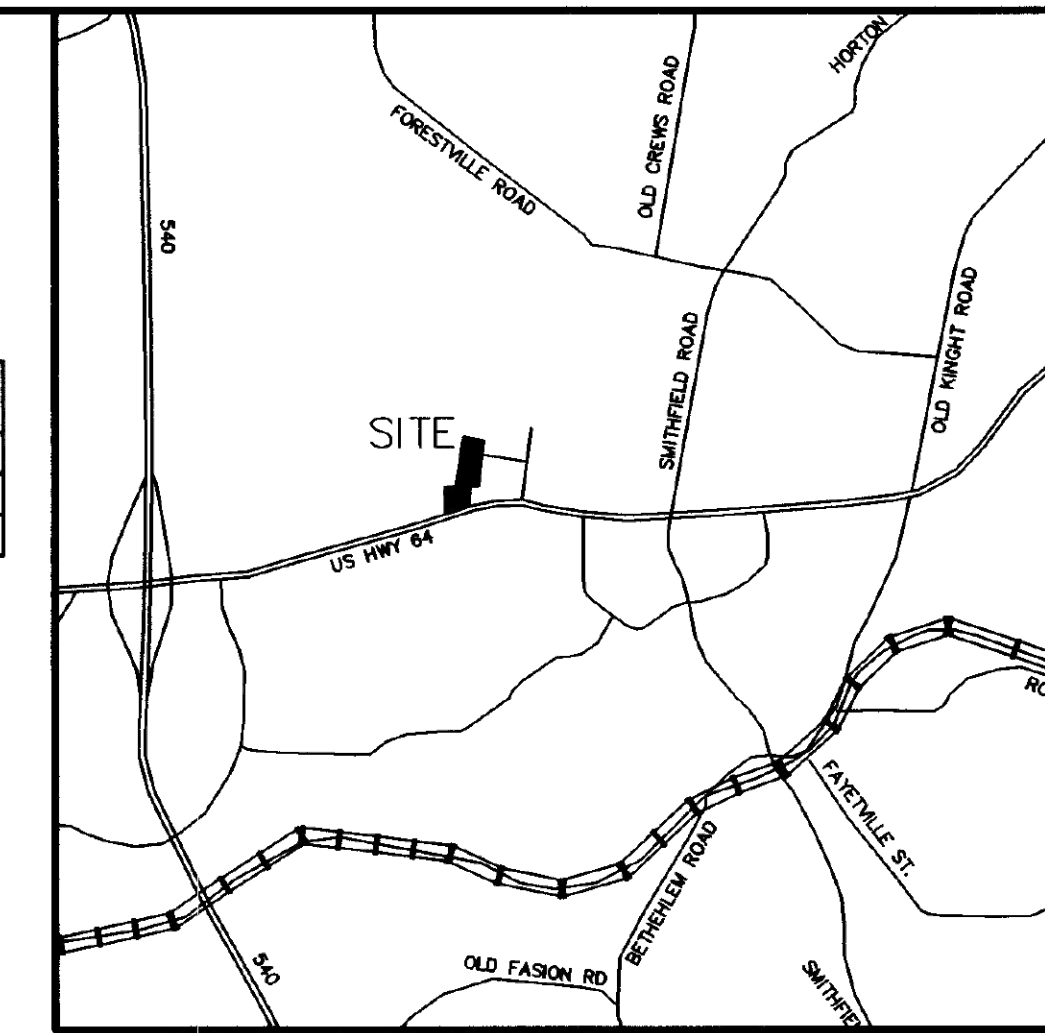
2.10.17 *[Signature]*
DATE REVIEW OFFICER, TOWN OF KNIGHTDALE, WAKE COUNTY



CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148

LINE	LENGTH	BEARING
L-1	141.12'	N 85°53'01" W
L-3	42.02'	N 84°35'44" E
L-4	58.39'	N 39°38'36" W

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	61.61'	55.00'	58.44'	S 42°54'26" W
C-2	61.51'	55.00'	58.36'	S 21°13'27" E



VICINITY MAP

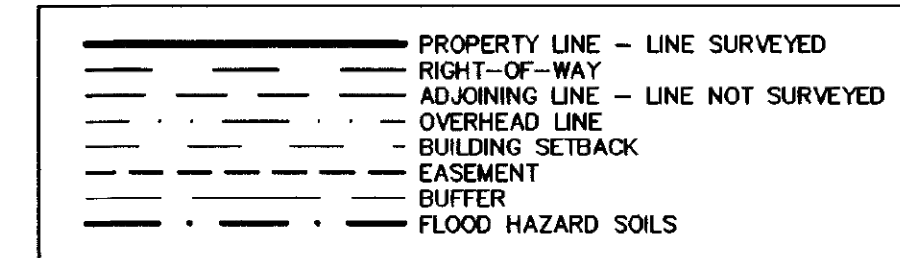
EASEMENT LINE TABLE

LINE	LENGTH	BEARING
EL-1	10.34'	N 73°31'12" E
EL-2	95.34'	N 01°43'54" W
EL-3	53.04'	N 22°31'01" E
EL-4	104.59'	N 01°36'11" W
EL-5	51.82'	N 68°07'32" E
EL-6	63.07'	N 85°13'41" E
EL-7	53.22'	S 01°46'35" E
EL-8	91.85'	N 84°35'44" E
EL-9	51.25'	S 00°17'28" W
EL-10	29.94'	S 68°07'32" W
EL-11	109.42'	S 01°36'11" E
EL-12	53.05'	S 22°31'01" W
EL-13	100.12'	S 01°43'54" E
EL-14	72.24'	S 01°36'11" E
EL-15	84.97'	S 26°13'12" E
EL-16	48.18'	S 01°55'22" W
EL-17	189.56'	S 06°03'46" W
EL-18	107.89'	S 06°03'46" W
EL-19	26.80'	S 83°17'45" E
EL-20	81.19'	S 06°41'32" E
EL-21	178.73'	S 08°27'21" W
EL-22	36.84'	S 03°38'40" W
EL-23	42.45'	S 01°55'22" W
EL-24	60.32'	S 26°13'12" E
EL-25	94.74'	S 01°36'11" E

LEGEND:

- EIP - EXISTING IRON PIPE
- EPK - EXISTING PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- SCP - SECURITY CAMERA POLE

LINE TYPE LEGEND



FINAL PLAT FOR NEW STORMWATER BMP MAINTENANCE & ACCESS AMPLE STORAGE LAKE WORTH, LLC

OWNER: AMPLE STORAGE LAKE WORTH, LLC

- REF: D.B. 15706 PAGE 63
- REF: B.M. 2005 PAGE 450
- REF: B.M. 2013 PAGE 683
- REF: B.M. 2015, PAGE 400

ST. MATTEWS TOWNSHIP
WAKE COUNTY, NORTH CAROLINA



SCALE 1"=100'

- DECEMBER 15, 2014
- REVISED MAY 25, 2016
- REVISED DECEMBER 1, 2016
- REVISED JANUARY 16, 2017
- REVISED JANUARY 17, 2017

ZONED HB & MI
PIN # 1744-86-8623

EX-10-16
ZCP-7-14

WAKE COUNTY, NC 94
LAURA M RIDDICK
REGISTER OF DEEDS
PRESENTED & RECORDED ON
02/15/2017 10:24:13
BOOK: BH2017 PAGE: 00308

I, MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794, CERTIFY THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

Michael A. Moss
MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794



REVISIONS:	
NO.	DESCRIPTION
4	COVER SHEET REVISION
3	MASTER PLAN COMMENTS
2	TOWN COUNCIL WORKSHOP
1	MASTER PLAN - FIRST SUBMITTAL

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTEWS TWP. - WAKE CO. - NORTH CAROLINA
BOUNDARY SURVEY

DATE:	MAY 22, 2024
DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT NO.:	2023008
DRAWING NO.:	W-4073-MP
SCALE:	NOT TO SCALE
SHEET NO.:	C1.11

P:\LANDDEV\LAMPE-AMPLE_SITING\DRAWING\202308\CADD_DRAWINGS\SHEETS-MASTER PLAN\W-4073 NATURAL RESOURCES.DWG - LAYOUT - 8/9/2024 11:15:58 AM - HATT PROKOP



PRIORITY	TREE SAVE AREA	PROTECTION MEASURES
TIER 1	FLOODWAYS REQUIRED STREAM BUFFERS REQUIRED BUFFER YARD SLOPE AREAS GREATER THAN 25% WETLANDS	ALL VEGETATION AND SOIL TO REMAIN UNDISTURBED IN SOME CASES. LIMITED DISTURBANCE MAY OCCUR WITHIN THE AREAS TO BE PROTECTED PROVIDED ALL NECESSARY APPROVALS ARE OBTAINED. SUCH ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: 1. MITIGATION OF DEVELOPMENT ACTIVITIES. 2. RESTORATION OF PREVIOUSLY DISTURBED AREAS. 3. UTILITY INSTALLATIONS AND EMERGENCY PUBLIC SAFETY ACTIVITIES. 4. CONSTRUCTION OF A TRAIL OR PEDESTRIAN WALKWAY THAT WILL PROVIDE PUBLIC ACCESS. 5. REQUIRED STREET OR DRIVEWAY CONNECTIONS.
TIER 2	100 YEAR FLOODPLAINS FRONT SETBACK AREAS STREET TREE PLANTING STRIP RESIDENTIAL LANDSCAPING AREAS REQUIRED OPEN SPACE SLOPE AREAS OF 15-25%	ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE.**
TIER 3	ALL OTHER LOCATIONS	ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE.**

** REQUIRED STREET TREES, PARKING LOT LANDSCAPING, RESIDENTIAL LANDSCAPING AND BUFFER YARD PLANTINGS MAY NOT BE COUNTED TOWARDS REPLACEMENT REQUIREMENTS.

NOTES: PER UDO SECTION 7.4.H.1 ALL TREES GREATER THAN 24" DBH SHALL REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE.

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 Greenville, NC 27658
 (252) 752-4135



REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	05/21/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
3	MASTER PLAN COMMENTS	09/23/24	
4	COVER SHEET REVISION	10/09/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
NATURAL RESOURCES
MASTER PLAN

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No.
C1.12

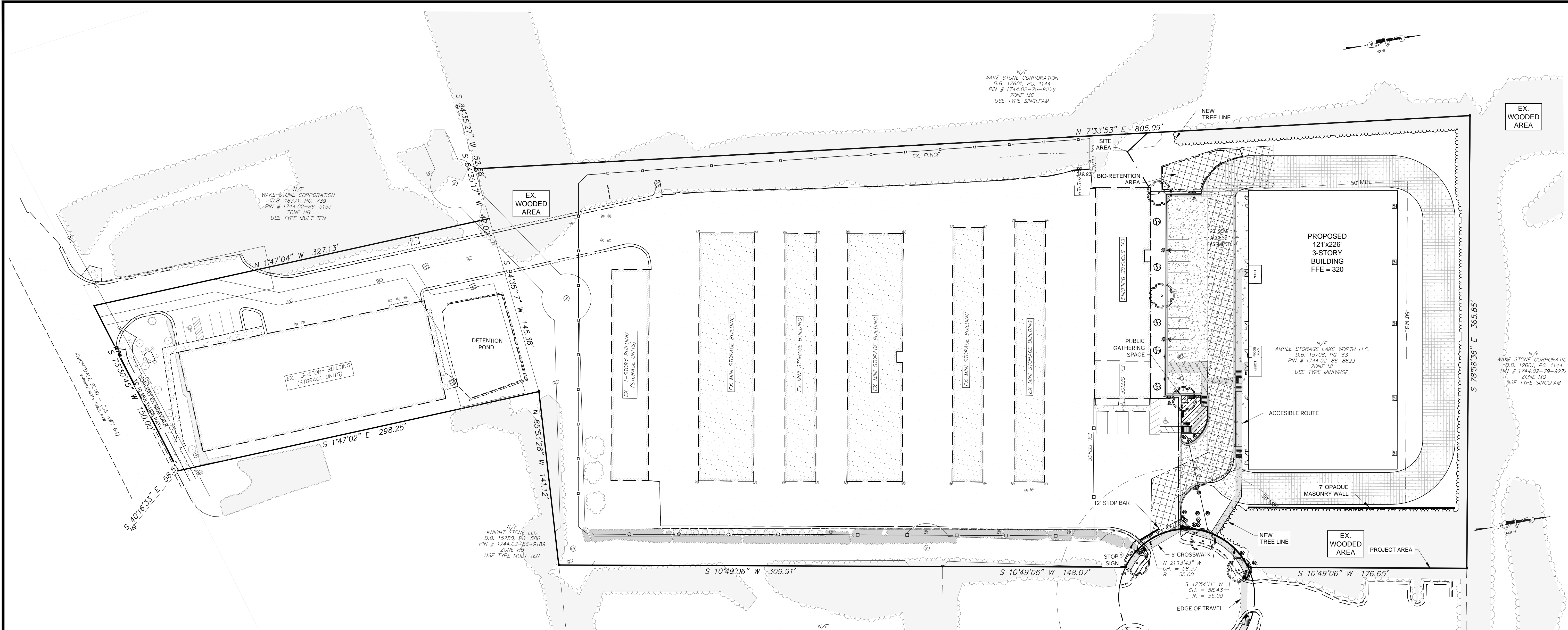
811
 CALL BEFORE YOU DIG!
 WWW.811.ORG
 N.C. ONE CALL CENTER
 IT'S THE LAW!

TIER 1-3 NOTES ADDED
 PROPOSED TREE LINE CLARIFIED
 EX SHRUBS CLARIFIED

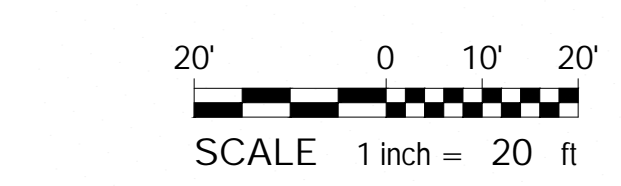
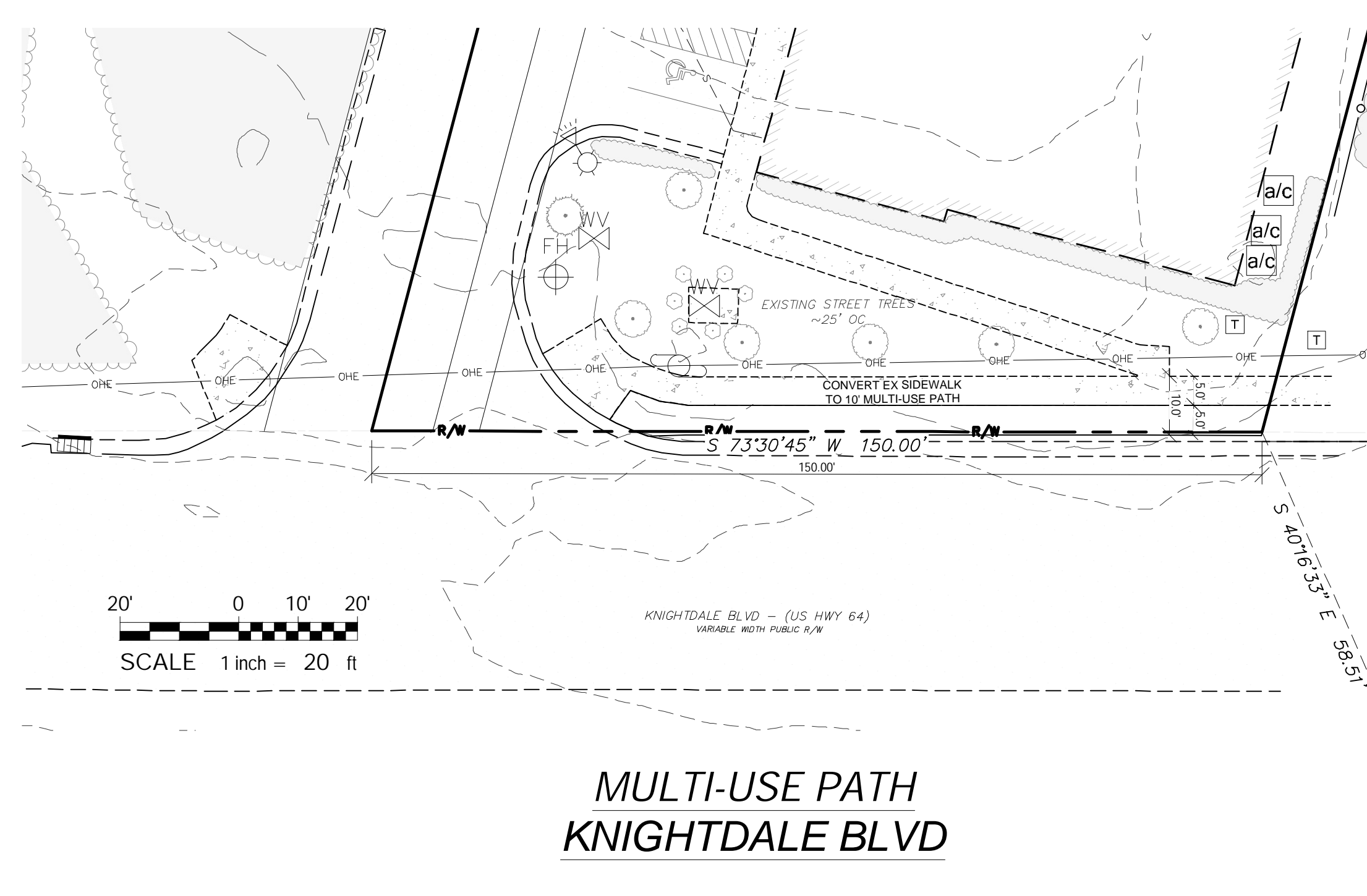
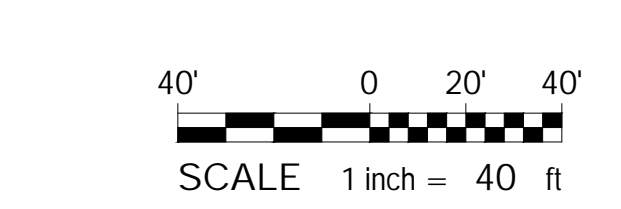
3 SEP 24

SCALE 1 inch = 20 ft

Do Not Use for Construction - PRELIMINARY



SITE DATA	
SITE ADDRESS PHASE 1:	1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545
SITE ADDRESS PHASE 2:	6839 KNIGHTDALE BLVD. KNIGHTDALE, NORTH CAROLINA 27545
MUNICIPALITY:	ST. MATTHEWS
PARCEL NO.:	1744868623
DEED REFERENCE:	DB 15706, PG. 63
AREA IN SITE:	6.98 ACRES (+/- 303,818 SF)
EXISTING USE CLASS./ZONING:	GENERAL COMMERCIAL - HB/MI
PROPOSED USE CLASS./ZONING:	MINI-WAREHOUSES - HB/MI-CD
WATERSHED:	27-29: BEAVERDAM CREEK
RECEIVING STREAM:	C. NSW
TOTAL BUILDING SQUARE FOOTAGE:	95,640 SF EXIST + 87,840 NEW = 183,480 TOTAL SF
BUILDING HEIGHT:	EXISTING = 1 @ 30' (3-STORY), 7 @ 10' (1-STORY) PROPOSED = 30' (3-STORY)
TOTAL NUMBER OF STORAGE UNITS:	EXISTING = -750 PROPOSED = 977
IMPERVIOUS AREA	
EXISTING BUILDINGS FOOTPRINT:	62,611 SF
EXISTING CONCRETE:	4,197 SF
EXISTING ASPHALT PARKING:	87,965 SF
TOTAL EXISTING IMPERVIOUS AREA:	154,773 SF (3.55 ACRE)
EXISTING:	50.9 %
PROPOSED BUILDING FOOTPRINT:	29,280 SF
PROPOSED CONCRETE:	15,752 SF
TOTAL PROPOSED IMPERVIOUS AREA:	45,032 SF (1.03 ACRES)
TOTAL IMPERVIOUS AREA:	199,805 SF (4.59 ACRES)
TOTAL POST DEVELOPMENT:	65.8 %
PARKING SUMMARY	
EXISTING REQUIREMENTS	
MINI-STORAGE:	MAXIMUM - .25 PER 1,000 SF (95,645 SF) = 23.9 SPACES MINIMUM - 1/2 OF MAXIMUM = 12 SPACES
PROPOSED REQUIREMENTS	
MINI-STORAGE:	MAXIMUM - .25 PER 1,000 SF (87,840 SF) = 22 SPACES MINIMUM - 1/2 OF MAXIMUM = 11 SPACES
TOTAL PARKING SPACES REQUIRED:	23
TOTAL EXISTING PARKING SPACES:	12
NEW PARKING SPACES REQUIRED:	11
NEW PARKING SPACES PROVIDED:	17
TOTAL PARKING SPACES PROVIDED:	29
EXISTING H/C PARKING SPACES:	2
H/C PARKING SPACES REQUIRED:	1
TOTAL H/C PARKING SPACES PROVIDED:	3
TOTAL BICYCLE PARKING REQUIRED:	2
TOTAL BICYCLE PARKING PROVIDED:	2



PROJECT AREA VEGETATION CALCULATIONS FOUND ON SHEET L1.01

- SITE DATA TABLE UPDATED
- PROPOSED BUILDING DIMENSIONS/LOCATION MODIFIED
- PEDESTRIAN ACCESS MODIFIED
- SIDEWALK EASEMENT ADDED
- PUBLIC GATHERING SPACE RELOCATED
- BICYCLE RACK RELOCATED
- MASONRY WALL ADDED
- EXISTING STREET TREES SHOWN ON KNIGHTDALE BLVD.

KNIGHTDALE BLVD FRONTAGE LENGTH = 150'
STREET TREES REQ = 4
EXISTING = 5
CALCULATIONS FOUND ON SHEET L1.01

LEGEND

[Symbol]	RETAINED TREE COVER
[Symbol]	ADA ACCESSIBLE ROUTE
[Symbol]	PUBLIC GATHERING SPACE
[Symbol]	PROPOSED STORMWATER CONTROL MEASURE ACCESS EASEMENT
[Symbol]	PROPOSED PEDESTRIAN ACCESS EASEMENT
[Symbol]	GRASS PAVER FIRE LANE
[Symbol]	PROPOSED 6" CONCRETE DRIVE AISLE / PARKING AREA
[Symbol]	2' CURB & GUTTER

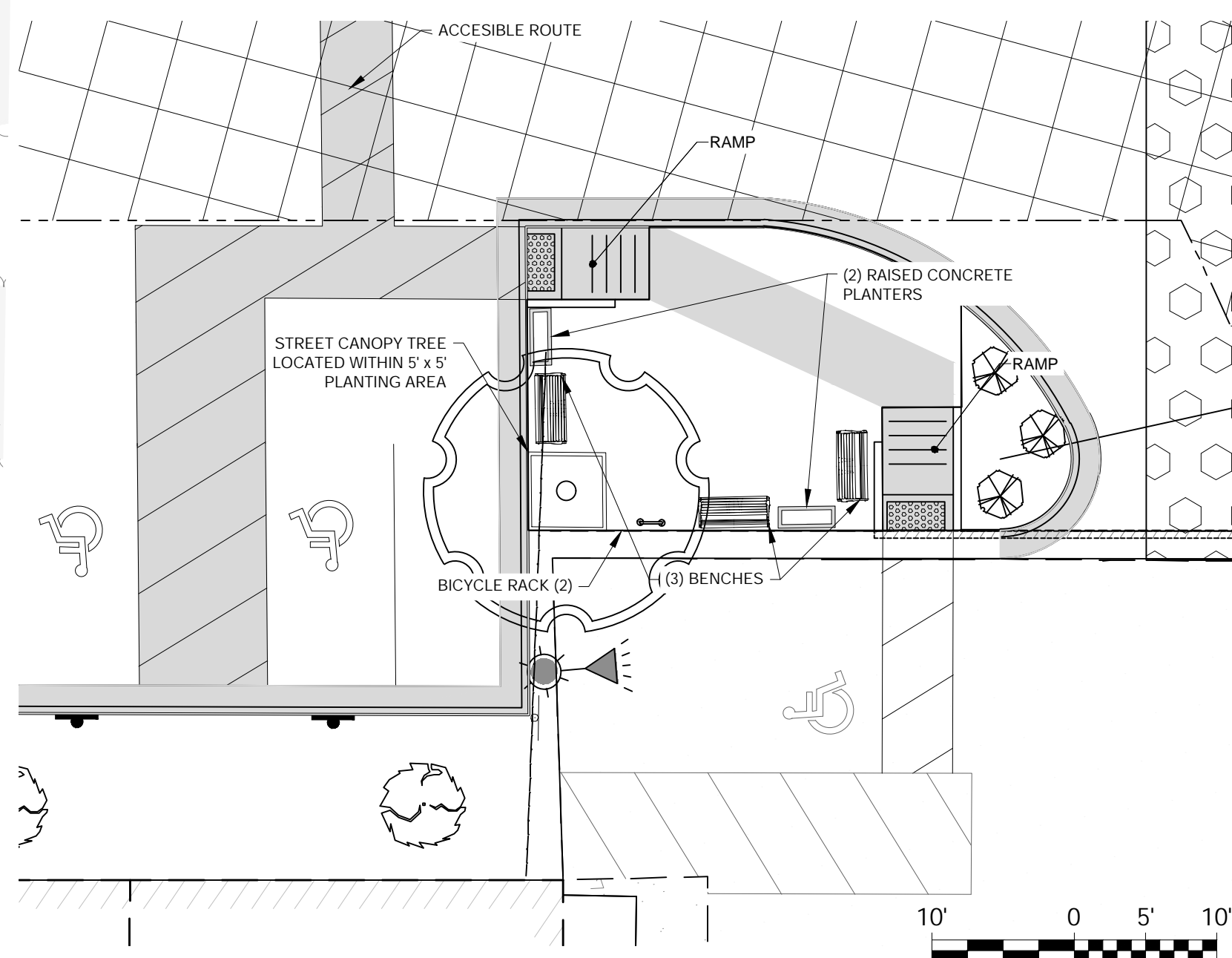
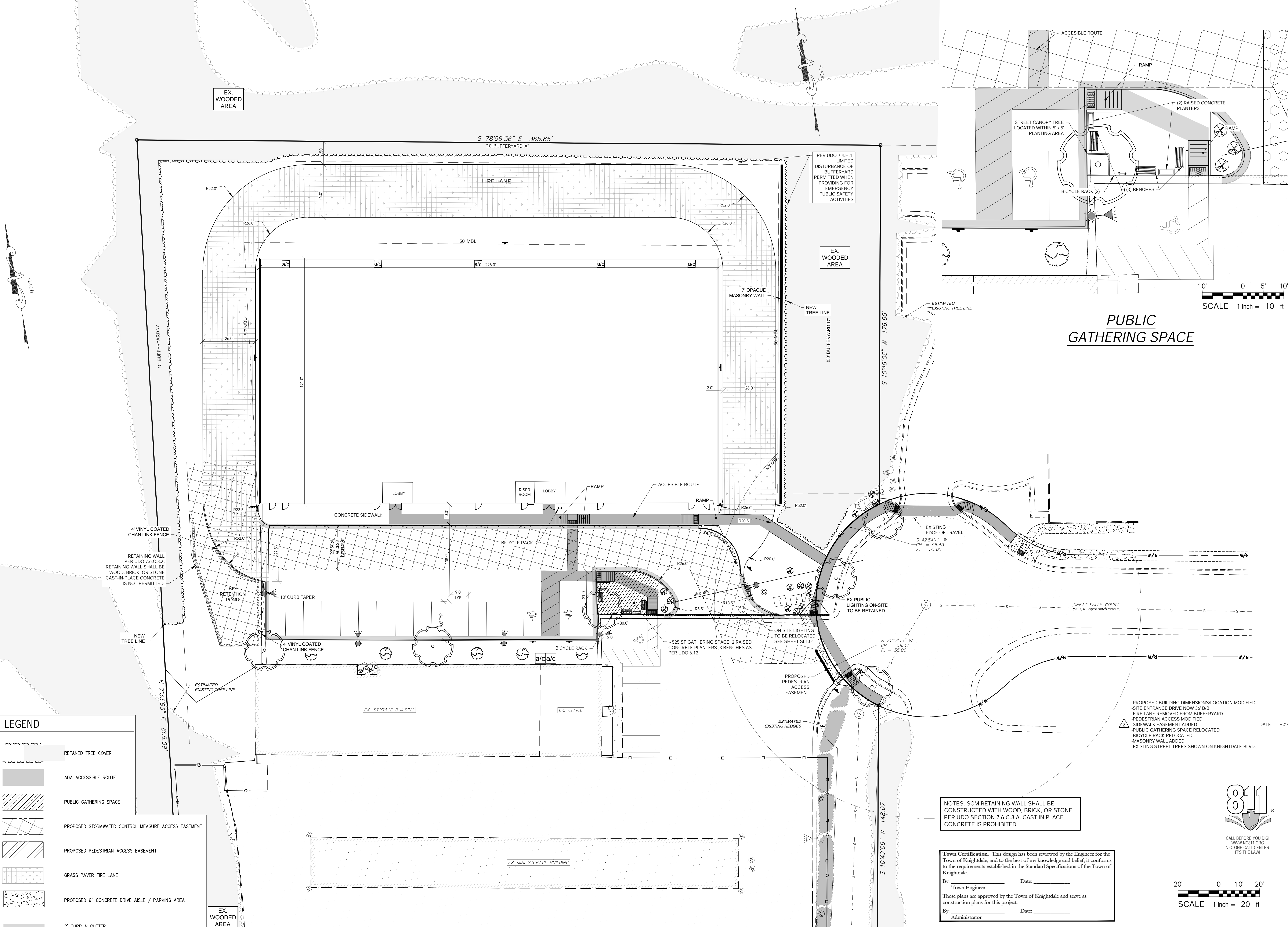
Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
 Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
 Administrator





PUBLIC GATHERING SPACE

LEGEND

	RETAINED TREE COVER
	ADA ACCESSIBLE ROUTE
	PUBLIC GATHERING SPACE
	PROPOSED STORMWATER CONTROL MEASURE ACCESS EASEMENT
	PROPOSED PEDESTRIAN ACCESS EASEMENT
	GRASS PAVEMENT FIRE LANE
	PROPOSED 6" CONCRETE DRIVE AISLE / PARKING AREA
	2' CURB & GUTTER

NOTES: SCM RETAINING WALL SHALL BE CONSTRUCTED WITH WOOD, BRICK, OR STONE PER UDO SECTION 7.6.C.3.A. CAST IN PLACE CONCRETE IS PROHIBITED.

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
 Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
 Administrator



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 LIVERMORE, CALIFORNIA
 107 East Second Street
 Greenville, NC 27658
 (252) 752-4135

Engineers
 Planners
 Surveyors
 Landscape Architects



REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
3	MASTER PLAN COMMENTS	09/23/24	
4	COVER SHEET REVISION	10/09/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

MASTER PLAN - PROJECT AREA

DATE: MAY 22, 2024

DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No. **C2.10**

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP - WAKE CO. - NORTH CAROLINA

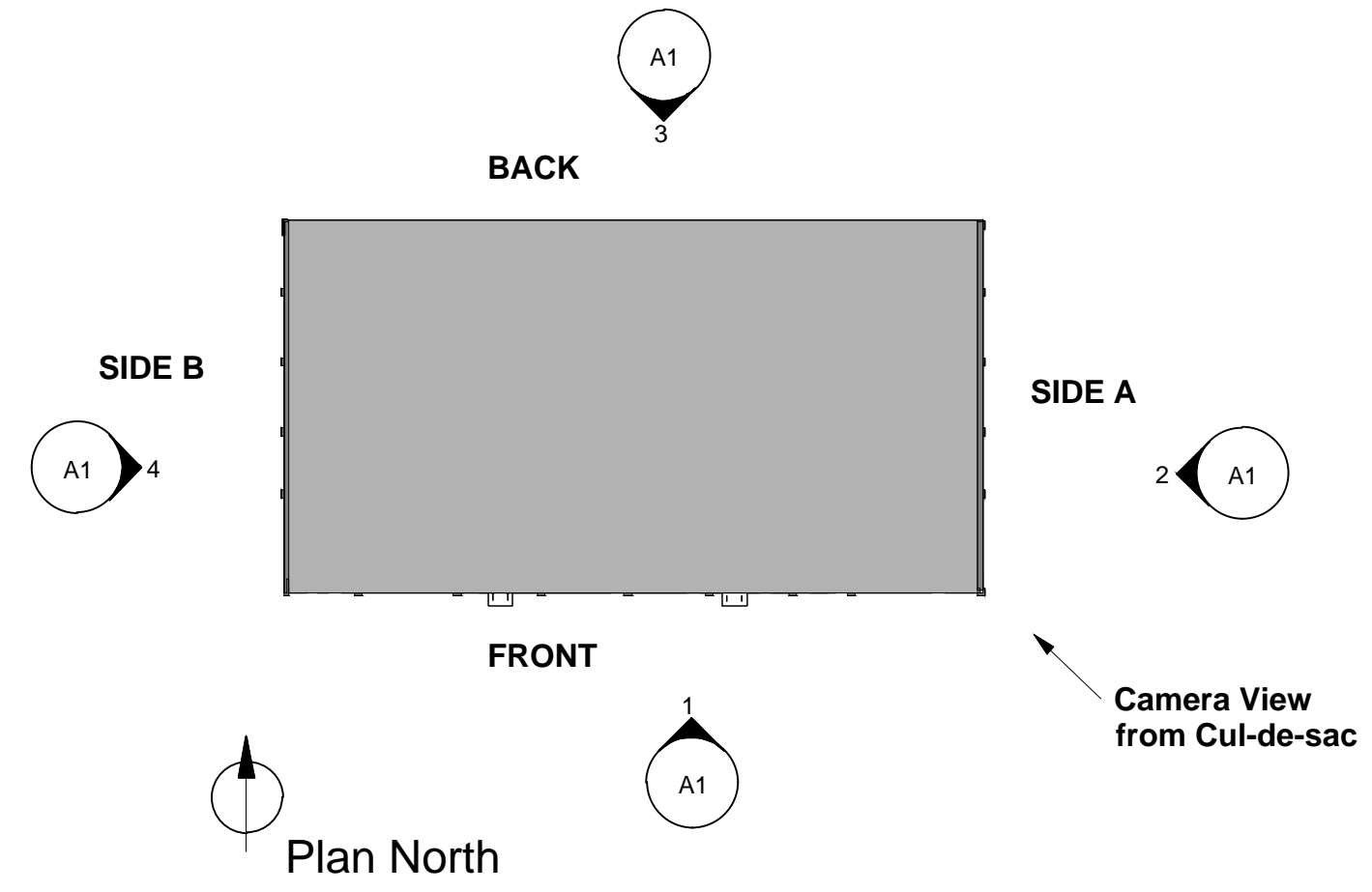
DRAFT BUILDING ELEVATIONS

 Rivers <small>ARCHITECTS, INC. 107 EAST SHERWOOD ST. SUITE 101 GREENSBORO, NC 27408 (336) 432-4433</small>	PROJECT No. 2023008	SHEET No.
	DRAWING No. W-4073-MP	C2.52
DATE MAY 22, 2024		

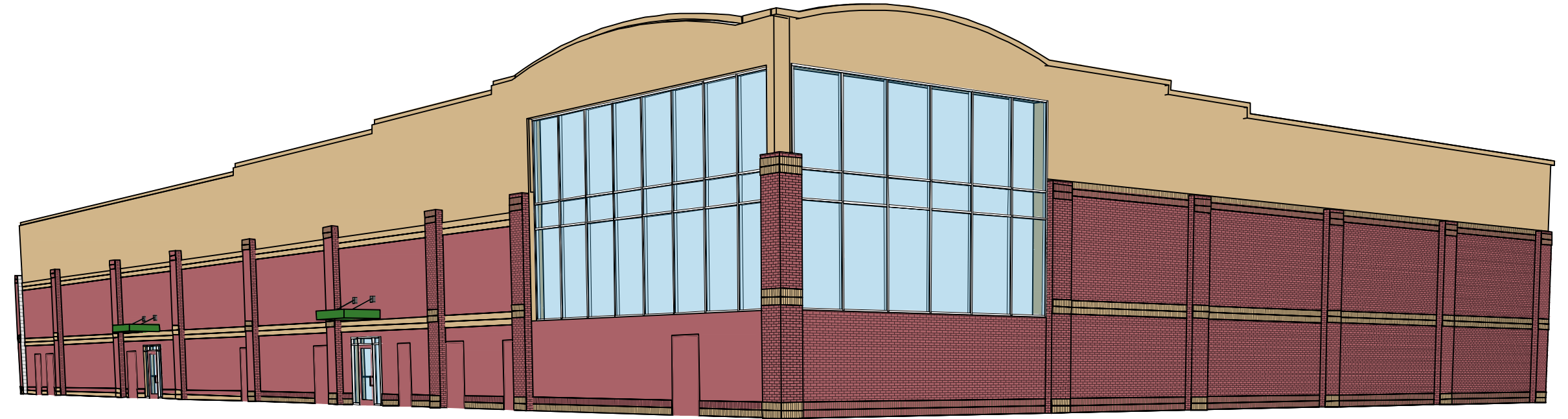
PRELIMINARY SET



3608 University Drive
Suite 204
Durham, NC 27707
T919.490.1266
www.RNDpa.com

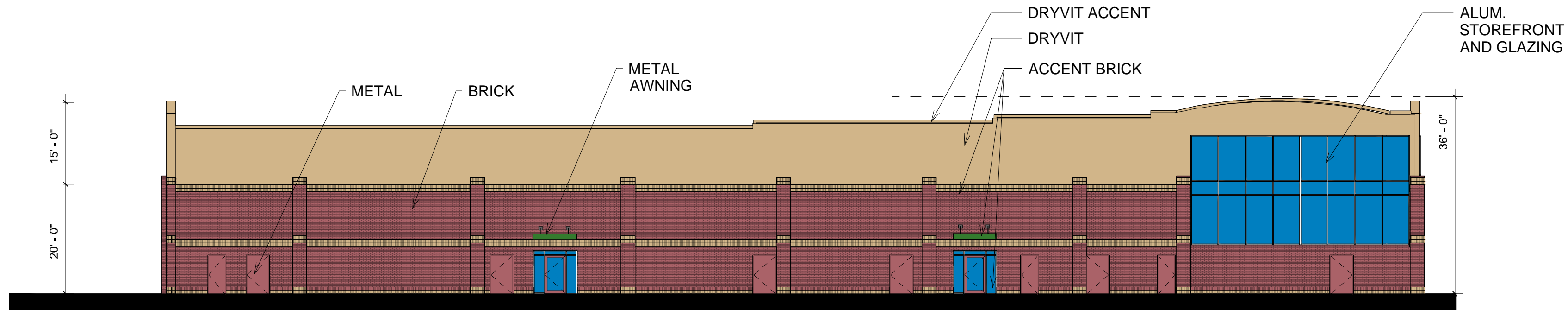


5 Key Plan
A1 1" = 60'-0"

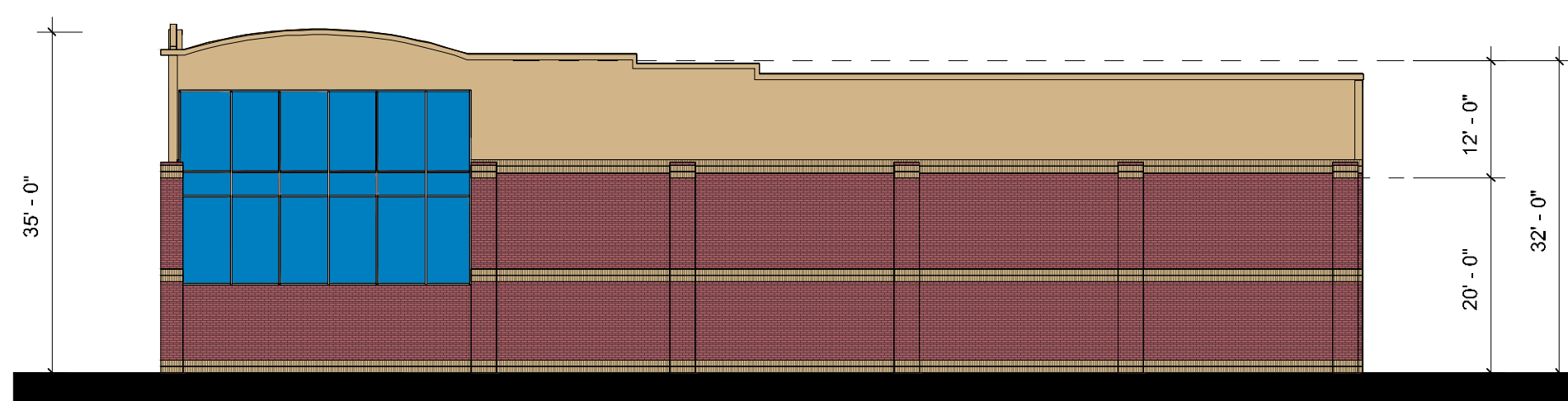


6 Camera View from Cul-de-sac
A1

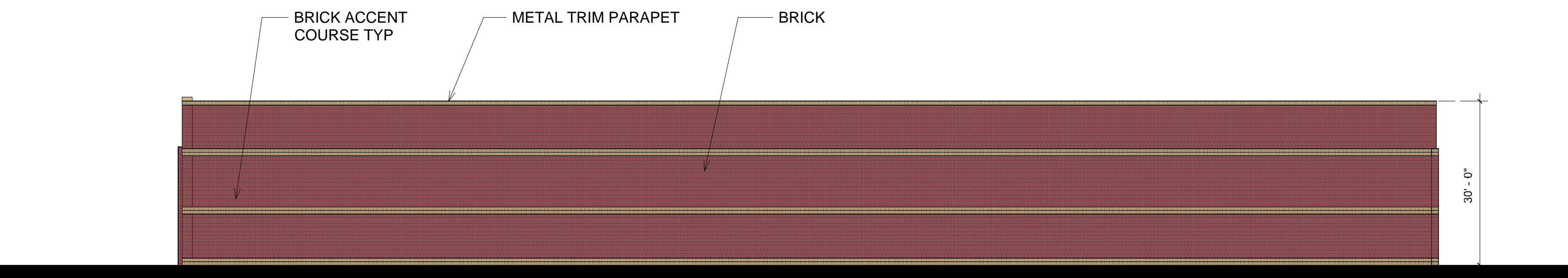
ALL BRICK AND DRYVIT
COLORS TO MATCH PHASE
ONE OFFICE BUILDING



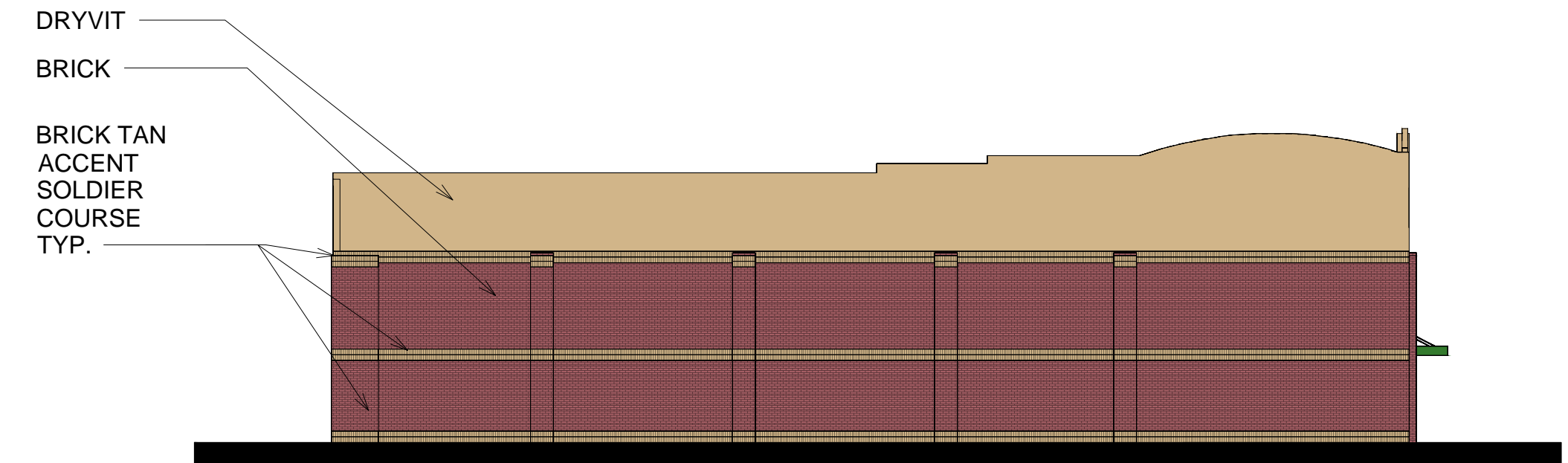
1 FRONT ELEVATION
A1 1/16" = 1'-0"



2 Building A Elevation SIDE A
A1 1/16" = 1'-0"



3 BACK ELEVATION
A1 1/16" = 1'-0"



4 SIDE B ELEVATION
A1 1/16" = 1'-0"

Ample Storage Addition

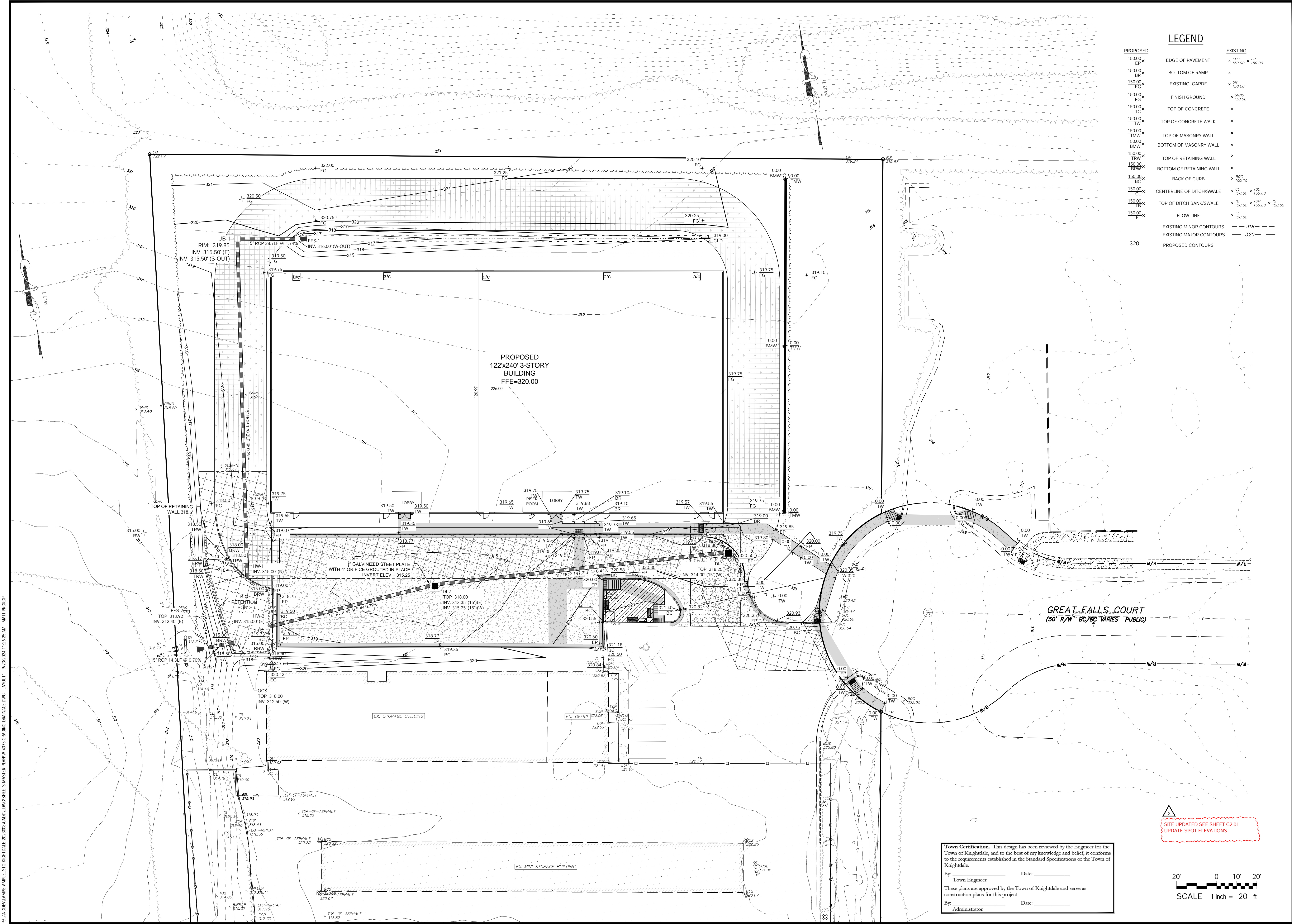
Knightsdale

2024
copyright RND
Architects

JOB NUMBER: 1430.02
DRAWN: GP
CHECKED: GP
DATE: 8.13.24

**Building Elevations
Knightsdale Addition**

A1



LEGEND

PROPOSED	EXISTING
150.00' x EP	EDGE OF PAVEMENT x EP 150.00' x EP 150.00'
150.00' x BR	BOTTOM OF RAMP x
150.00' x EG	EXISTING GARDE x EP 150.00'
150.00' x FG	FINISH GROUND x GND 150.00'
150.00' x TC	TOP OF CONCRETE x
150.00' x TW	TOP OF CONCRETE WALK x
150.00' x TW	TOP OF MASONRY WALL x
150.00' x BRW	BOTTOM OF MASONRY WALL x
150.00' x TRW	TOP OF RETAINING WALL x
150.00' x BRW	BOTTOM OF RETAINING WALL x
150.00' x BC	BACK OF CURB x BOC 150.00'
150.00' x CL	CENTERLINE OF DITCH/SWALE x CL 150.00' x TDE 150.00'
150.00' x TS	TOP OF DITCH BANK/SWALE x TB 150.00' x TSP 150.00' x TS 150.00'
150.00' x FL	FLOW LINE x FL 150.00'
	EXISTING MINOR CONTOURS --- 318 ---
	EXISTING MAJOR CONTOURS --- 320 ---
	PROPOSED CONTOURS --- 320 ---

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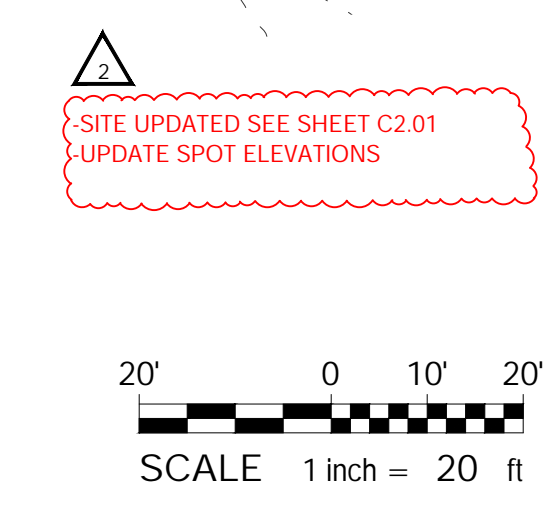
REVISIONS:

NO.	DATE	BY	DESCRIPTION
4	10/09/24		COVER SHEET REVISION
3	09/23/24		MASTER PLAN COMMENTS
2	09/03/24		TOWN COUNCIL WORKSHOP
1	05/21/24		IMASTER PLAN - FIRST SUBMITTAL

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TOWNSHIP - WAKE CO. - NORTH CAROLINA
GRADING & STORMWATER MANAGEMENT PLAN

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No. **C4.01**

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator

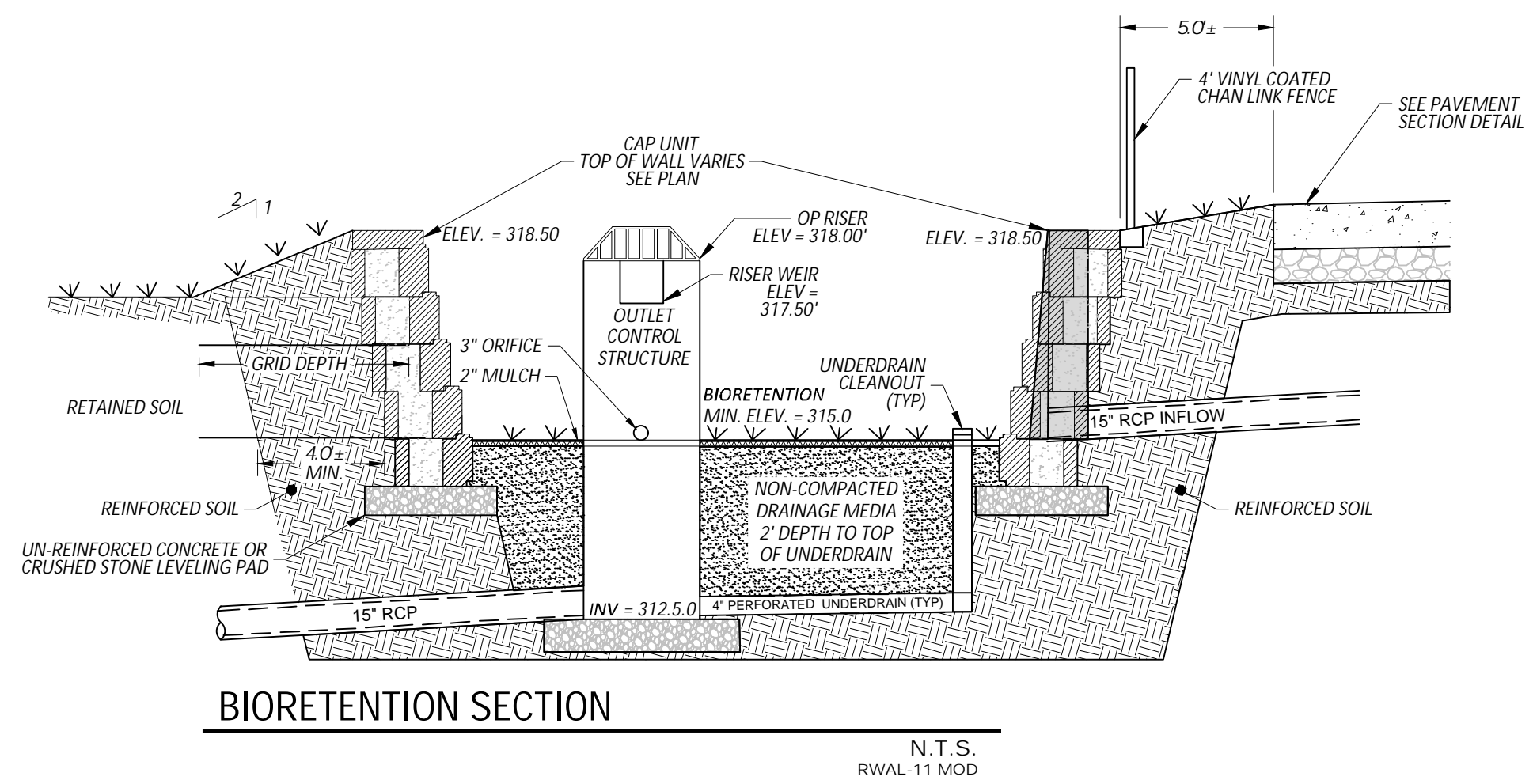


△ SITE UPDATED SEE SHEET C2.01
 UPDATE SPOT ELEVATIONS

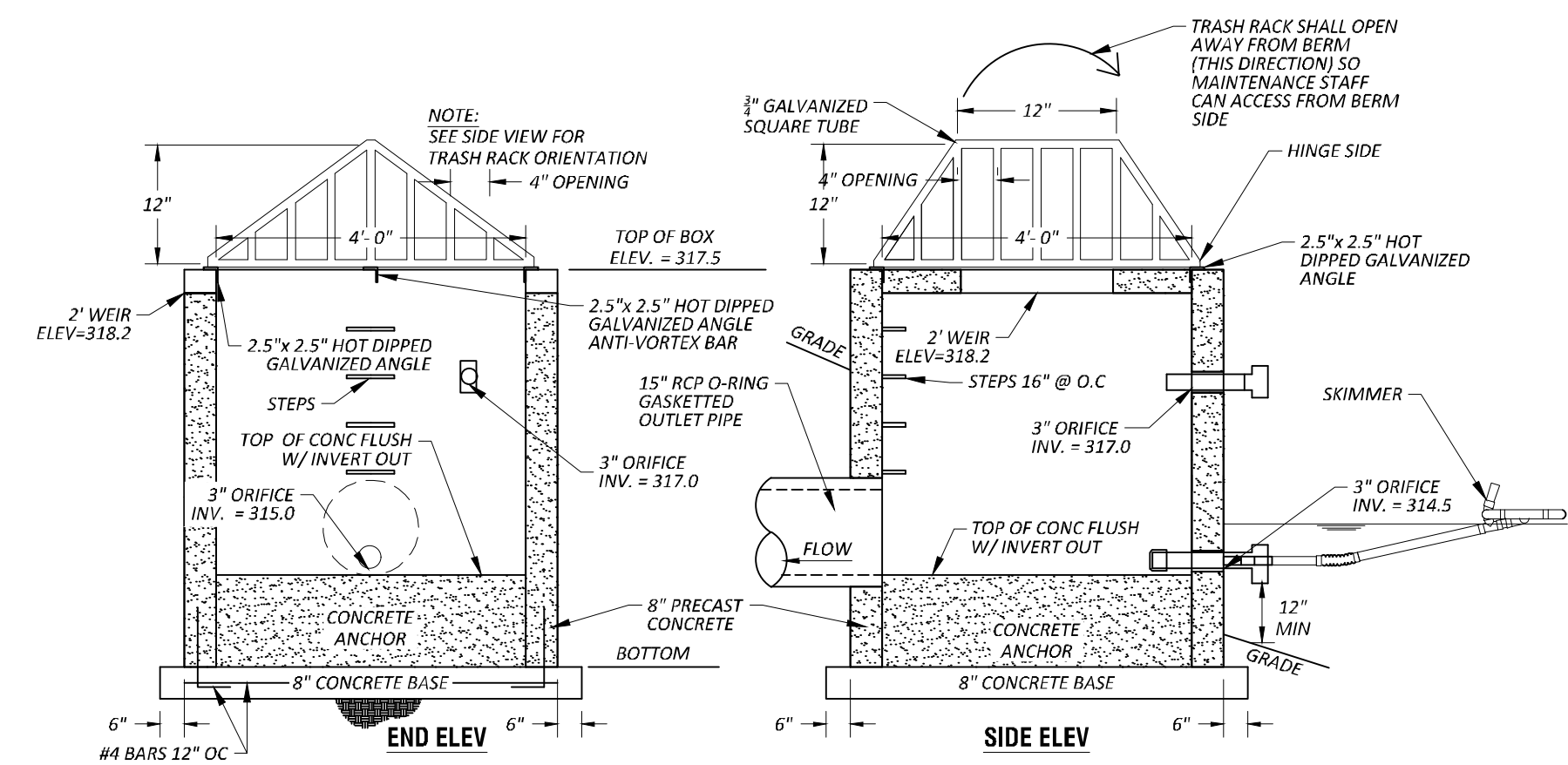
PLAUSDENVAI.AMPLE.AMPLE_SITING.DWG - 20230808.DWG - LAYOUT - 9/23/2024 11:26:25 AM - MAT PROGROUP

Do Not Use for Construction - PRELIMINARY

P:\LANDDEV\LAMPE-AMPLE-STG\BIDDING\202308\CADD_DRAWINGS\DETAILS\DWG_LAYOUT\3 - 10/02/2024 4:02:17 PM - MAT PROSCP



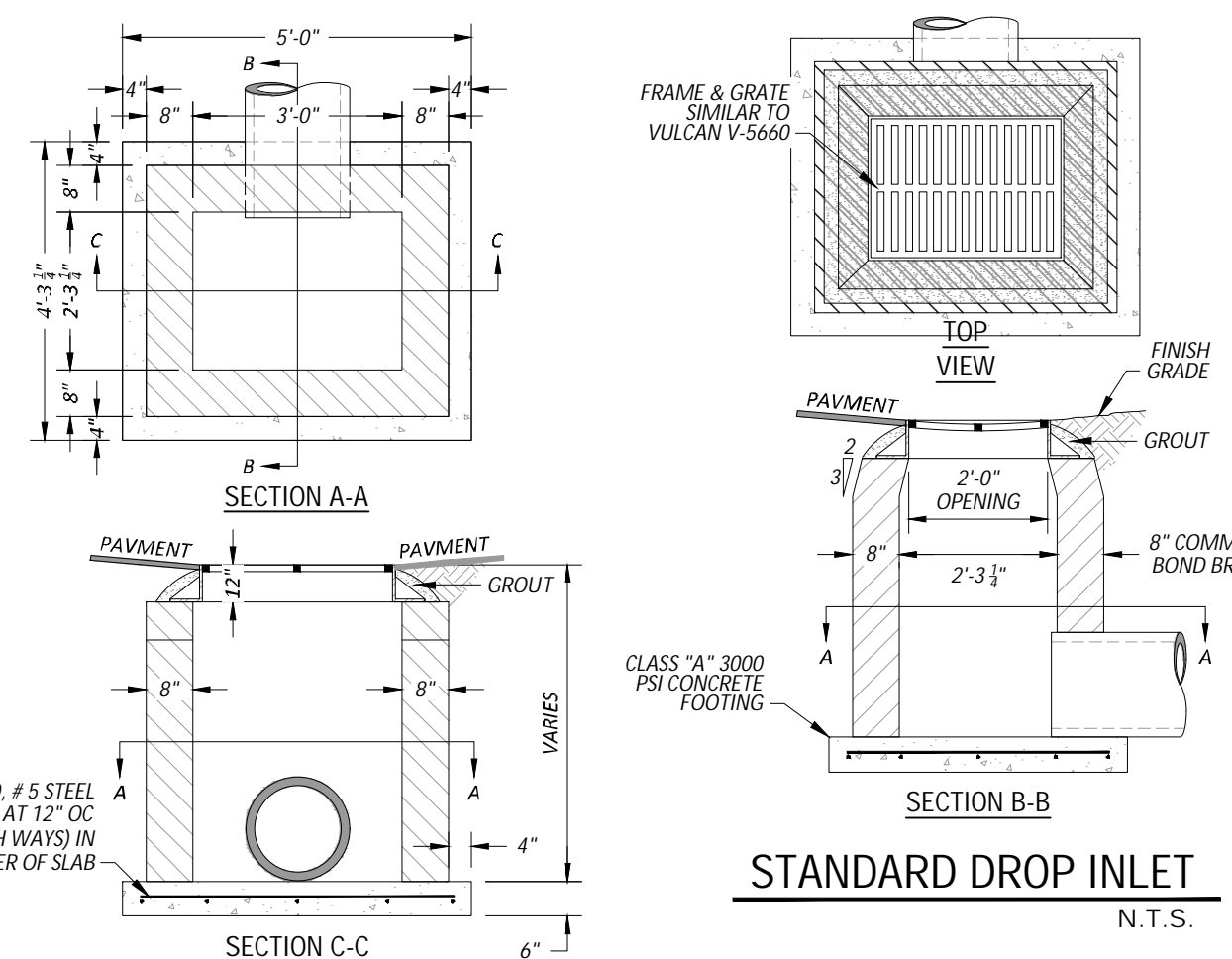
BIORETENTION SECTION
N.T.S.
RWAL-11 MOD



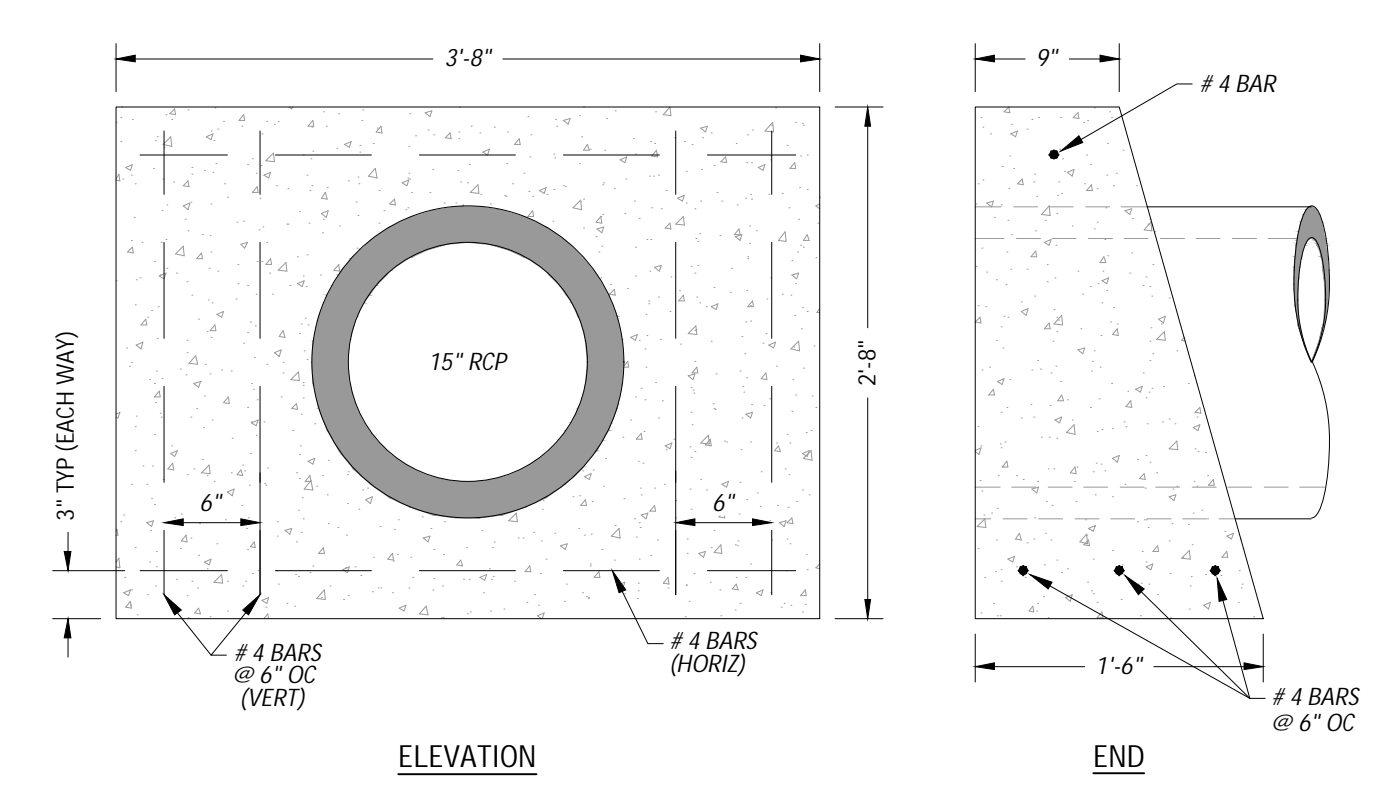
OUTLET CONTROL STRUCTURE NOTES

1. STRUCTURE SHALL BE PRECAST CONCRETE.
2. PRECASTER SHALL DESIGN AND FURNISH ALL STEEL REINFORCING, WALL THICKNESS AND HARDWARE.
3. MANUFACTURE ENTIRE CONCRETE AS ONE SECTION WITH NO JOINTS IF PRACTICAL.
4. ANY JOINTS SHALL BE WATER TIGHT AND BE CONSTRUCTED FOR ANTI-FLOTATION. THEY SHALL HAVE (4) GALVANIZED STEEL PLATES 12" X 12" X 1/2", ONE PER SIDE. EACH PLATE SHALL HAVE (4) GALVANIZED STEEL BOLTS (1/2" DIA X 8" L MIN), FOR ANTI-FLOTATION.
5. THROUGHOUT GRADING OPERATION, TEMPORARY SKIMMER SHALL BE IN PLACE AND DRAIN VALVE OPEN. INSTALL TEMPORARY PLUG IN DETENTION DRAWDOWN AND WQ DRAWDOWN.
6. AT END OF PROJECT, AFTER SITE IS STABLE, REMOVED TEMPORARY PLUGS AND SKIMMER AND CLOSE VALVE.

OUTLET CONTROL STRUCTURE
N.T.S.



STANDARD DROP INLET
N.T.S.



HEADWALL
N.T.S.
STRM-26

MAINTENANCE

- INSPECTION ACTIVITIES - (FREQUENCY)**
- WHERE MAINTENANCE REQUIRES DEWATERING, DO SO BY MEANS OF DEWATERING PUMP.
- AFTER CONSTRUCTION**
- INSPECT AFTER SEVERAL STORM EVENTS FOR BANK STABILITY, VEGETATION GROWTH, DRAINAGE SYSTEM FUNCTIONING, AND STRUCTURAL DAMAGE.
- SEMI-ANNUAL INSPECTION**
- INSPECT FOR INVASIVE VEGETATION, DIFFERENTIAL SETTLEMENT, CRACKING, EROSION, LEAKAGE, OR TREE GROWTH ON THE EMBANKMENT; THE CONDITION OF THE RIPRAP IN THE INLET, OUTLET, AND PILOT CHANNELS; SEDIMENT ACCUMULATION IN THE BASIN; CLOGGING OF OUTLET; AND THE VIGOR AND DENSITY OF THE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR. CORRECT OBSERVED PROBLEMS AS NECESSARY.
- NOTE:** SIGNS OF HYDROCARBON BUILDUP SUCH AS FLOATING OIL ON WATER SURFACE - INSPECT FOR DAMAGE TO THE EMBANKMENT AND INLET/OUTLET STRUCTURES. REPAIR AS NECESSARY. MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY. EXAMINE INLET AND OUTLET DEVICES TO ENSURE THEY ARE FREE OF DEBRIS AND ARE OPERATIONAL.
- MAINTENANCE ACTIVITIES - (FREQUENCY)**
- ONE TIME**
- REPLACE WET POND VEGETATION TO MAINTAIN AT LEAST 50% OF SURFACE AREA COVERAGE IN WET POND PLANTS AFTER THE SECOND GROWING SEASON.
- AS NEEDED**
- REPAIR UNDERCUT AREAS, EROSION TO BANKS, AND BOTTOM AS REQUIRED. WHERE PERMITTED BY THE DEPARTMENT OF FISH AND GAME OR OTHER AGENCY REGULATIONS, STOCK CONSTRUCTED WET PONDS REGULARLY WITH MOSQUITO FISH (GAMBUSIA SPP.) TO ENHANCE NATURAL MOSQUITO AND MIDGE CONTROL.
- 3 TO 4 TIMES PER YEAR**
- CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES.
 - MOW SIDE SLOPES AND REMOVE GRASS CLIPPINGS. REMOVE LITTER AND DEBRIS FROM BANKS, BASIN BOTTOM, TRASH RACKS, OUTLET STRUCTURES, AND VALVES AS REQUIRED.
- ANNUAL (IF NEEDED)**
- SUPPLEMENT WET POND PLANTS IF A SIGNIFICANT PORTION HAVE NOT ESTABLISHED (AT LEAST 50% OF THE SURFACE AREA).
 - REMOVE NUISANCE PLANT SPECIES.
 - CLEAN FOREBAY TO AVOID ACCUMULATION IN MAIN WET POND AREA TO MINIMIZE WHEN THE MAIN WET POND AREA NEEDS TO BE CLEANED.
 - HARVEST PLANT SPECIES IF VEGETATION BECOMES TOO THICK CAUSING FLOW BACKUP AND FLOODING. MORE FREQUENT PLANT HARVESTING MAY BE REQUIRED BY LOCAL VECTOR CONTROL AGENCIES.
 - FERTILIZE NEW VEGETATION ONE TIME ONLY. THE OWNER SHALL NOT FERTILIZE VEGETATION AFTER THE INITIAL OCCURRENCE.
 - MONITOR SEDIMENT ACCUMULATIONS, AND REMOVE SEDIMENT WHEN THE ACCUMULATED SEDIMENT VOLUME EXCEEDS 10-20% OF THE BASIN VOLUME. PLANTS ARE "CHOKED" WITH SEDIMENT, OR THE WET POND BECOMES EUTROPHIC. IT IS SUGGESTED THAT THE MAIN AREA BE CLEANED ONE HALF AT A TIME WITH AT LEAST ONE GROWING SEASON IN BETWEEN CLEANINGS. THIS WILL HELP TO PRESERVE THE VEGETATION AND ENABLE THE WET POND TO RECOVER MORE QUICKLY FROM THE CLEANING.

▲
-ADDED MISSING SHEET NUMBER

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

By: _____ Date: _____
Administrator

DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: 1" = 20'
SHEET No. C4.02

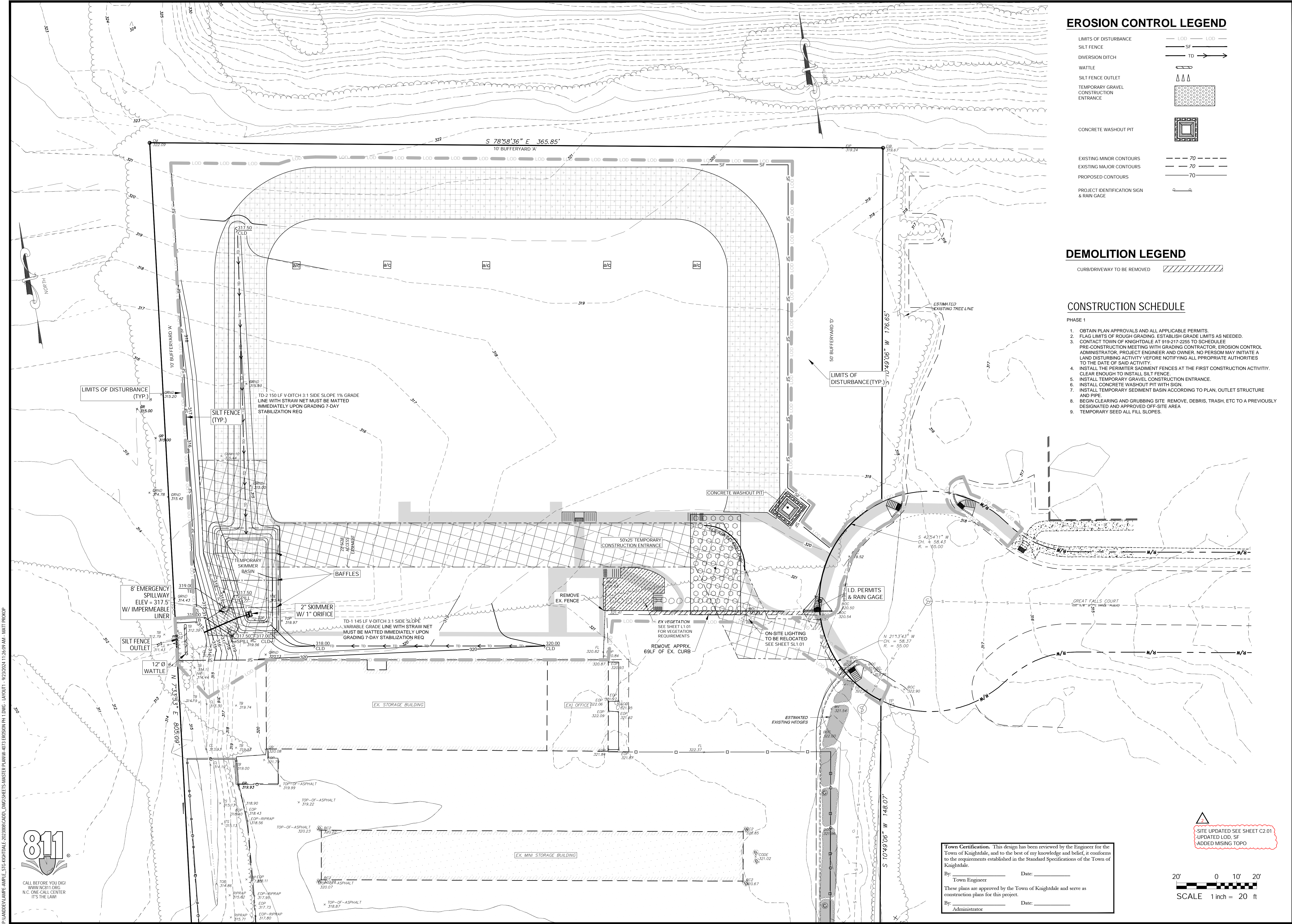
REVISIONS:	
NO.	DESCRIPTION
4	COVER SHEET REVISION
3	MASTER PLAN COMMENTS
2	TOWN COUNCIL WORKSHOP
1	MASTER PLAN - FIRST SUBMITTAL

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
STORMWATER DETAILS

DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: 1" = 20'
SHEET No. C4.02

Rivers
ENGINEERS, ARCHITECTS, & ASSOCIATES, INC.
SINCE 1918
107 East Second Street
Greenville, NC 27658
(252) 752-4135
Engineers
Planners
Surveyors
Landscape Architects





EROSION CONTROL LEGEND

- LIMITS OF DISTURBANCE: LOD LOD
- SILT FENCE: SF
- DIVERSION DITCH: TD TD
- WATTLE: [Symbol]
- SILT FENCE OUTLET: [Symbol]
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE: [Symbol]
- CONCRETE WASHOUT PIT: [Symbol]
- EXISTING MINOR CONTOURS: --- 70 ---
- EXISTING MAJOR CONTOURS: --- 70 ---
- PROPOSED CONTOURS: --- 70 ---
- PROJECT IDENTIFICATION SIGN & RAIN GAGE: [Symbol]

DEMOLITION LEGEND

- CURB/DRIVEWAY TO BE REMOVED: [Hatched Pattern]

CONSTRUCTION SCHEDULE

- PHASE 1
1. OBTAIN PLAN APPROVALS AND ALL APPLICABLE PERMITS.
 2. FLAG LIMITS OF ROUGH GRADING. ESTABLISH GRADE LIMITS AS NEEDED.
 3. CONTACT TOWN OF KNIGHTDALE AT 919-217-2255 TO SCHEDULE PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR, PROJECT ENGINEER AND OWNER. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING ALL PROPER AUTHORITIES TO THE DATE OF SAID ACTIVITY.
 4. INSTALL THE PERIMETER SEDIMENT FENCES AT THE FIRST CONSTRUCTION ACTIVITY. CLEAR ENOUGH TO INSTALL SILT FENCE.
 5. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
 6. INSTALL CONCRETE WASHOUT PIT WITH SIGN.
 7. INSTALL TEMPORARY SEDIMENT BASIN ACCORDING TO PLAN, OUTLET STRUCTURE AND PIPE.
 8. BEGIN CLEARING AND GRUBBING SITE. REMOVE DEBRIS, TRASH, ETC TO A PREVIOUSLY DESIGNATED AND APPROVED OFF-SITE AREA.
 9. TEMPORARY SEED ALL FILL SLOPES.

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 Since 1918
 LIVERMORE, CALIFORNIA
 107 East Second Street
 Greenville, NC 27658
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 Engineers
 Planners
 Surveyors
 Landscape Architects



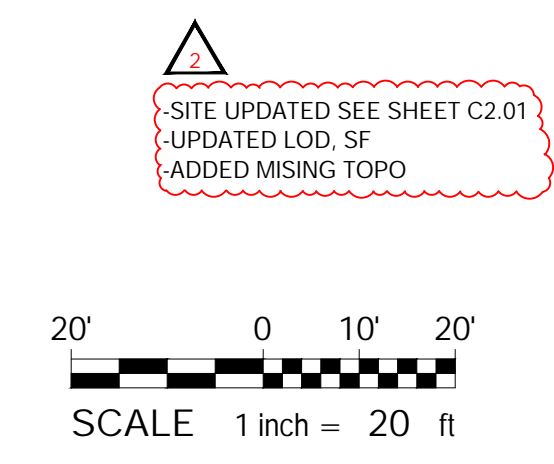
REVISIONS:

NO.	DATE	DESCRIPTION
1	05/21/24	IMASTER PLAN - FIRST SUBMITTAL
2	09/03/24	TOWN COUNCIL WORKSHOP
3	09/23/24	MASTER PLAN COMMENTS
4	10/09/24	COVER SHEET REVISION

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL PLAN

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No. **C5.01**

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator



DATE:

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG-1 CONSTRUCTION GENERAL PERMIT

SECTION E: GROUND STABILIZATION

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, and Timeframe variations.

GROUND STABILIZATION SPECIFICATION
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS
1. Select flocculants that are appropriate for the soils being exposed during construction...

EQUIPMENT AND VEHICLE MAINTENANCE
1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.

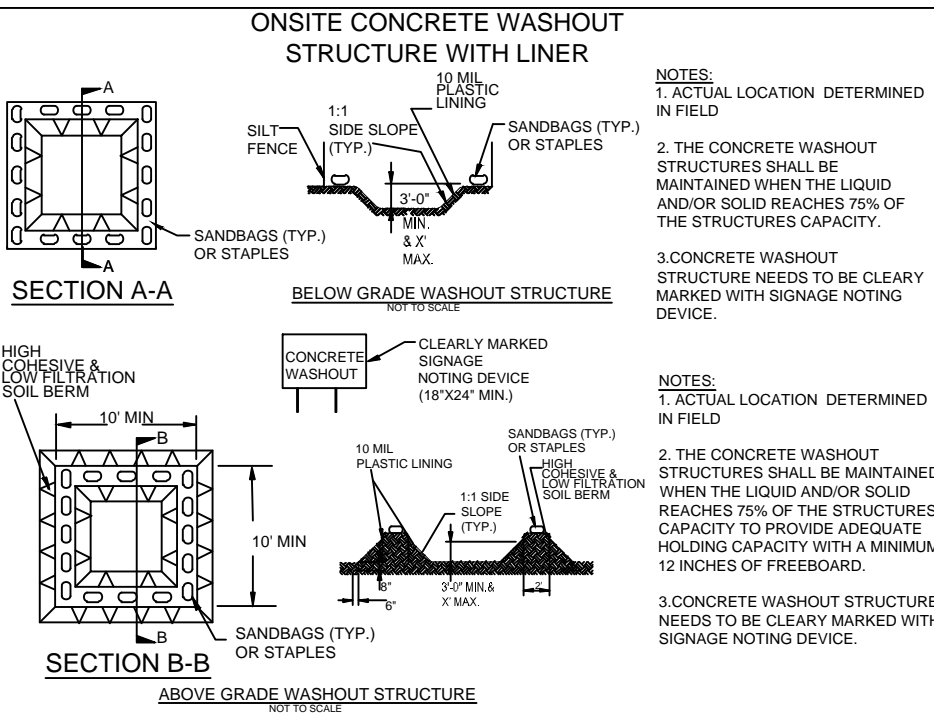
LITTER, BUILDING MATERIAL, AND LAND CLEARING WASTE
1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers...

PAINT AND OTHER LIQUID WASTE
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters...

PORTABLE TOILETS
1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available.

EARTHEN STOCKPILE MANAGEMENT
1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.

HAZARDOUS AND TOXIC WASTE
1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.



CONCRETE WASHOUTS
1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.

HERBICIDES, PESTICIDES AND RODENTICIDES
1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.

PAGE:

Table with 3 columns: SITE AREA DESCRIPTION, STABILIZATION, and TIMEFRAME EXCEPTIONS.

CONSTRUCTION SCHEDULE

- PHASE 1
1. OBTAIN PLAN APPROVALS AND ALL APPROVALS AND ALL APPLICABLE PERMITS.
2. FLAG LIMITS OF ROUGH GRADING.
3. HOLD PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR (252-329-4886) PROJECT ENGINEER AND OWNER BEFORE WORK BEGINS.

EROSION CONTROL NOTES:

- 1. ALL WORK WILL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES. NO LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL THE APPROPRIATE EROSION CONTROL MEASURES MAY PROCEED UNTIL MEASURES ARE INSPECTED AND APPROVED.
2. FOLLOWING STRIPPING OF SITE, ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED. SILT FENCES SHALL BE PLACED ALONG PROPERTY LINES AS INDICATED ON PLANS TO PROTECT ADJACENT DEVELOPMENTS.

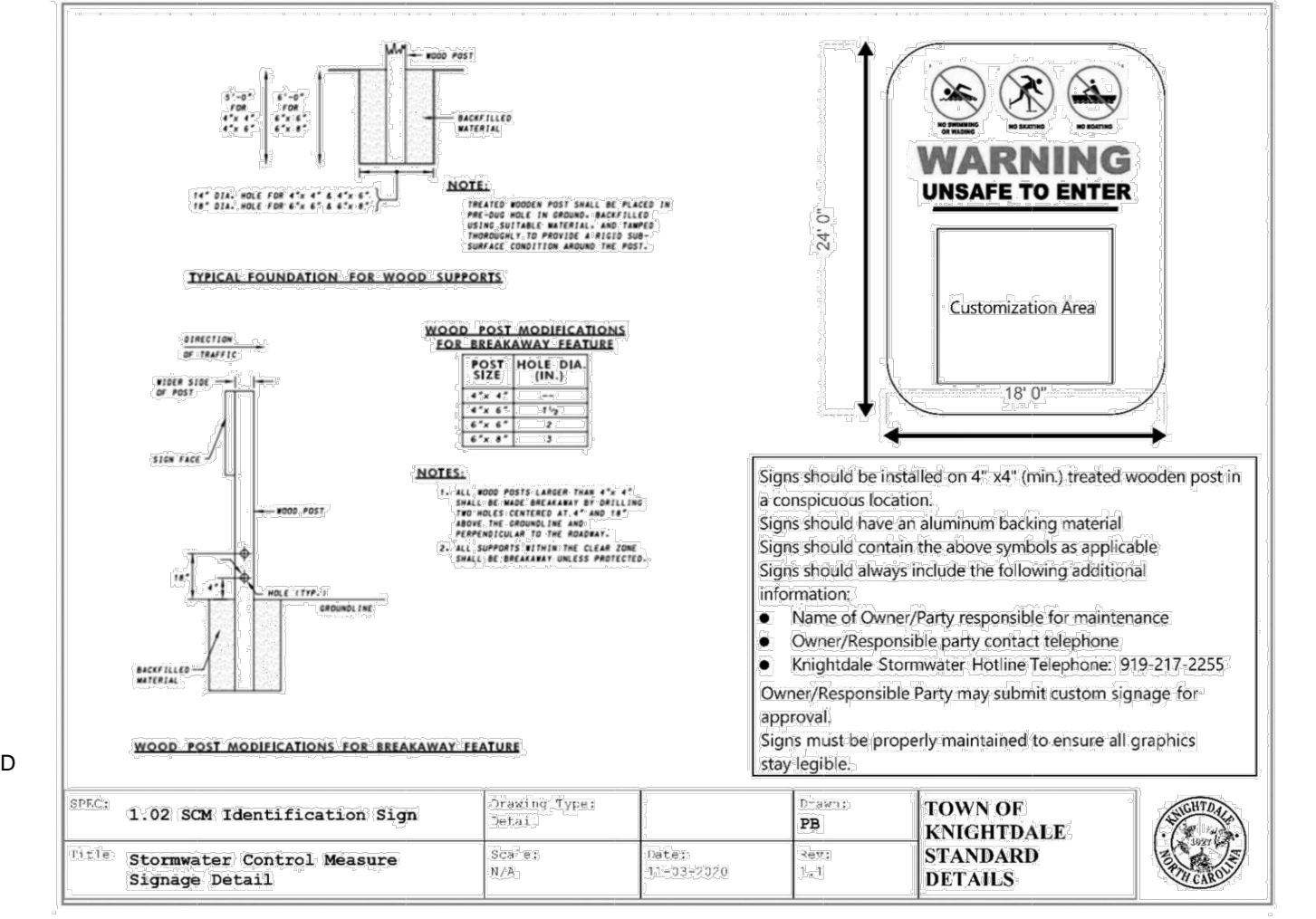


Table with 4 columns: ITEM, DESCRIPTION, QUANTITY, and UNIT.

Table with 3 columns: SEEDING PERIOD, SEEDING TYPE, and APPLICATION RATE (LBS/ACRE).

Table with 2 columns: REVISIONS, DATE, and DESCRIPTION.

Table with 2 columns: SEEDING SCHEDULE and STD. NO.

DATE:

PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT
Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible.

PAGE:

Table with 3 columns: Inspect, Frequency (during normal business hours), and Inspection records must include.

Table with 2 columns: Item to Document and Document Requirements.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING
SECTION A: SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below.

NORTH CAROLINA Environmental Quality
EFFECTIVE DATE: 11/12/2020

NCG01- SELF INSPECTION

Rivers
117 East Second Street
Greenville, NC 27658
(252) 752-4135

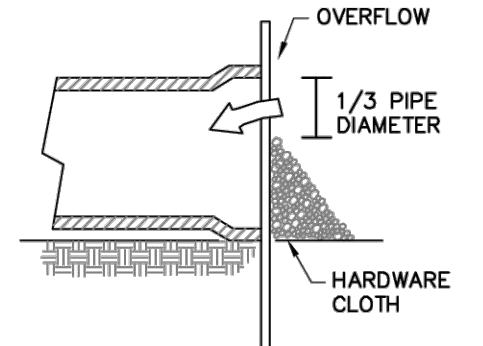
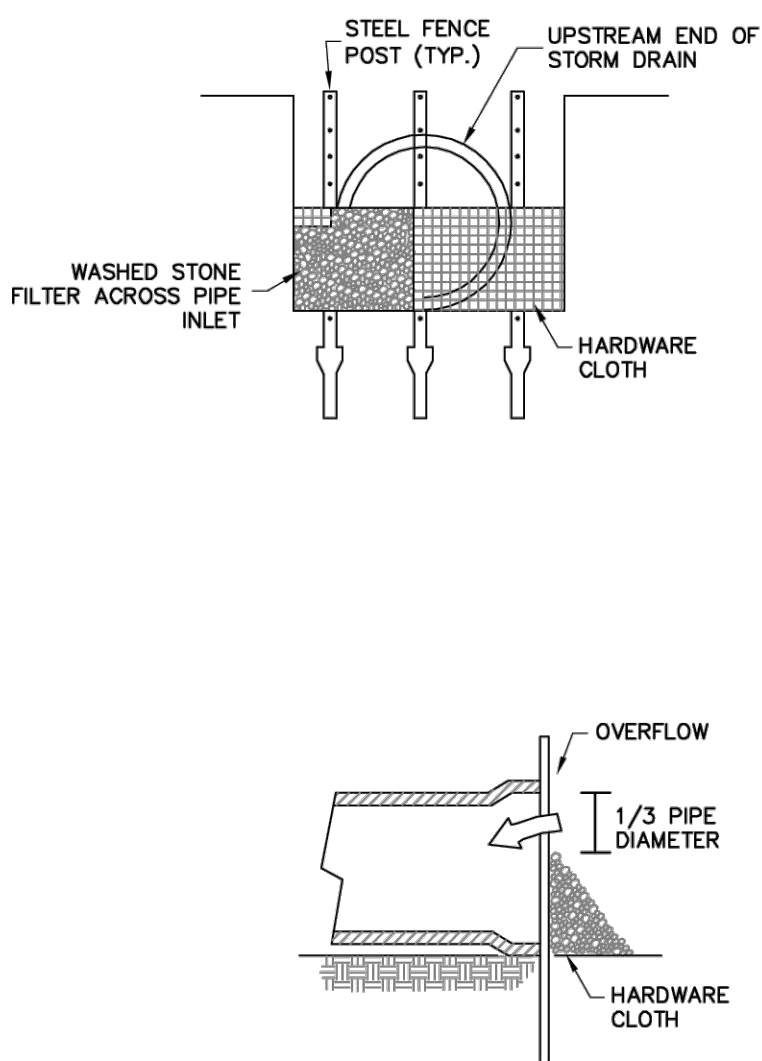


Table with 2 columns: REVISIONS, DATE, and DESCRIPTION.

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL NOTES
DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: 1" = 20'
SHEET No. C5.11

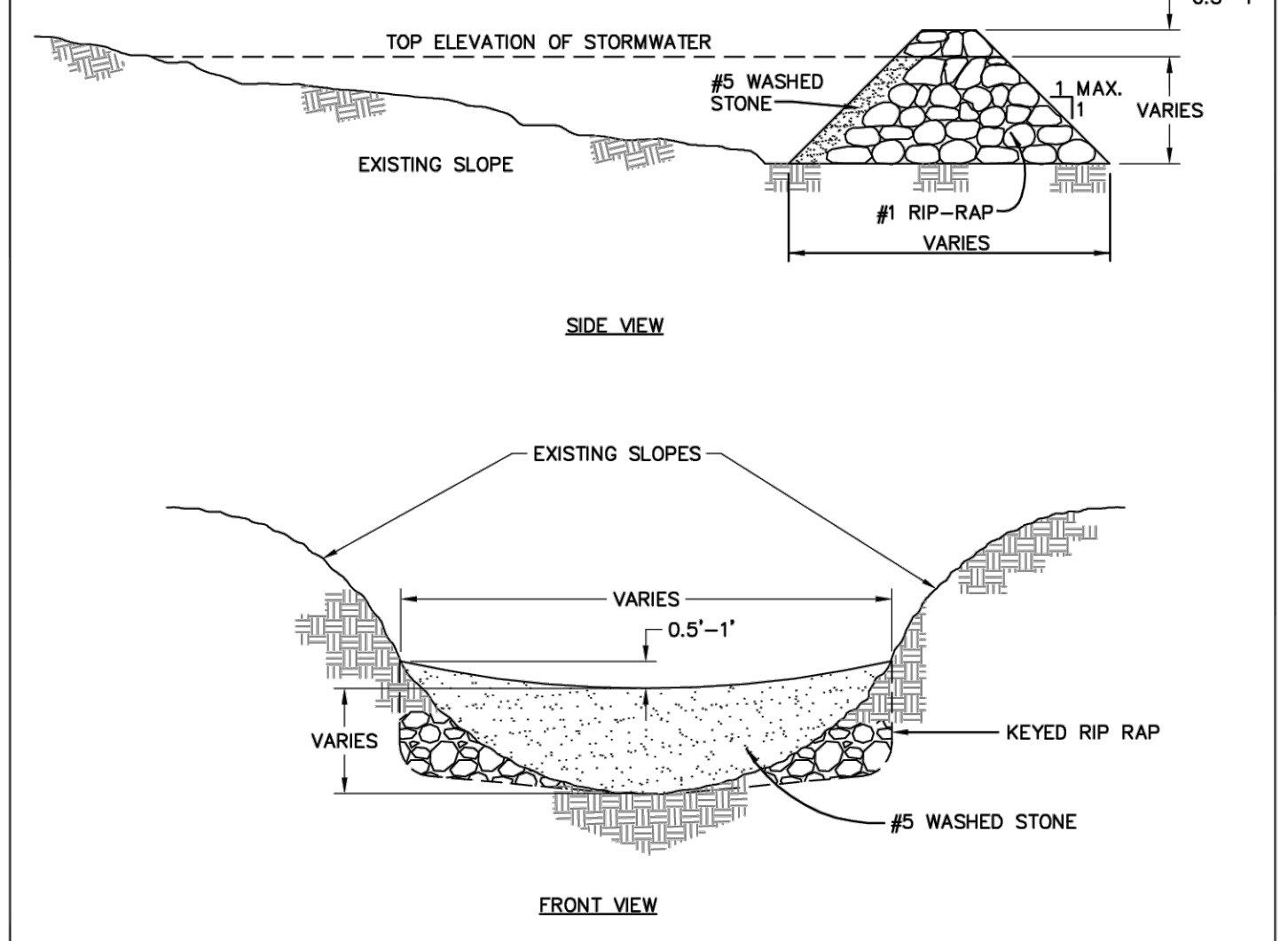
NOTE:

ALL PARTIALLY COMPLETED STORM DRAINS SHALL BE PROTECTED AT THE END OF EACH DAY IN ACCORDANCE WITH THESE DRAWINGS.



REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.09

TOWN OF KNIGHTDALE STANDARD DETAILS	PIPE INLET PROTECTION	STD. NO. 2.09
--	-----------------------	------------------



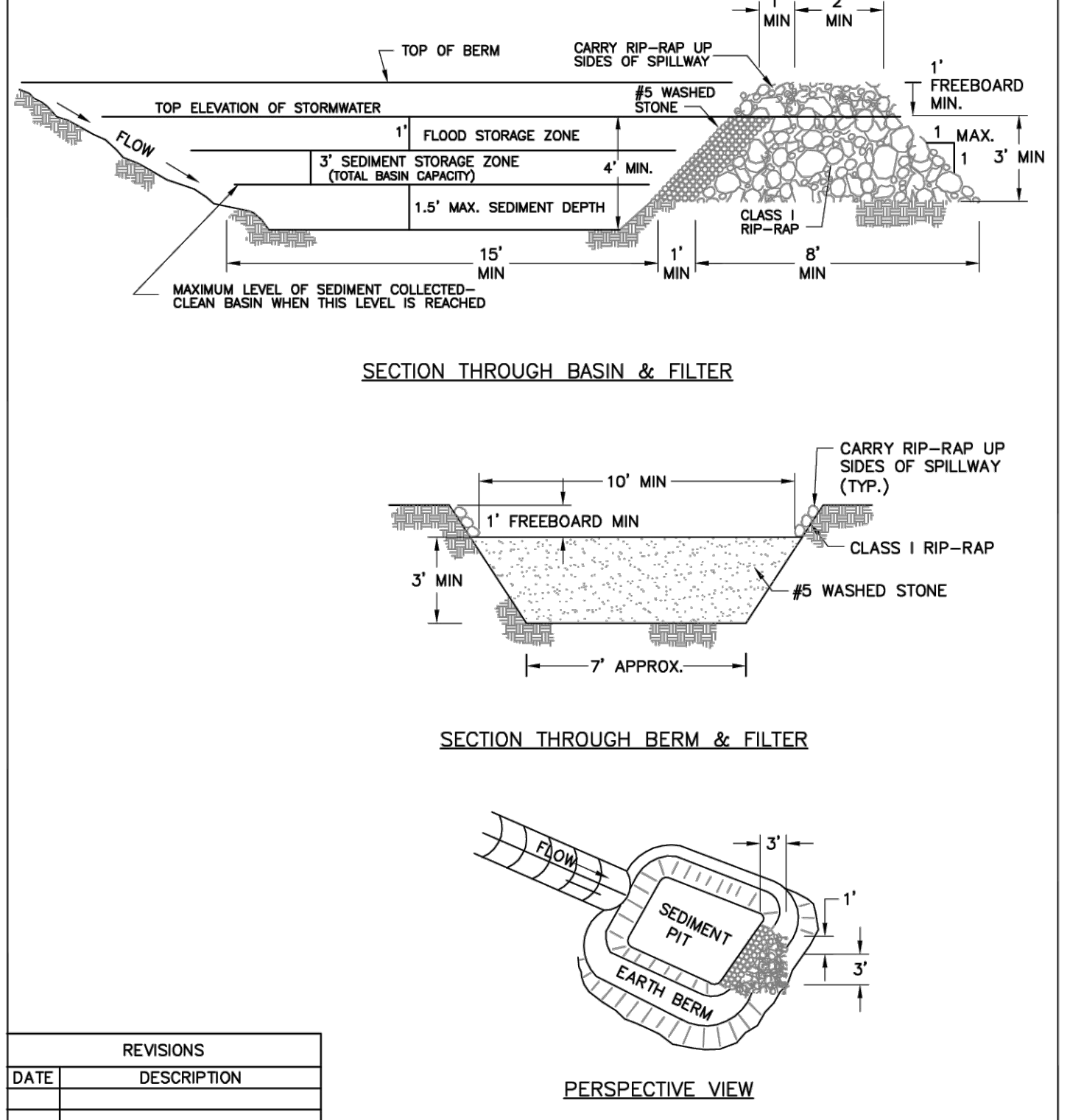
DESIGN OF SPILLWAYS

DRAINAGE AREA (ACRES)	MINIMUM WEIR LENGTH (FT)
1	4.0
2	6.0
3	8.0
4	10.0
5	12.0

- NOTES:**
- HEIGHT & WIDTH DETERMINED BY EXISTING TOPOGRAPHY AND SEDIMENT STORAGE REQUIRED.
 - KEY RIP RAP INTO THE DAM FOR STABILIZATION.

REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.05

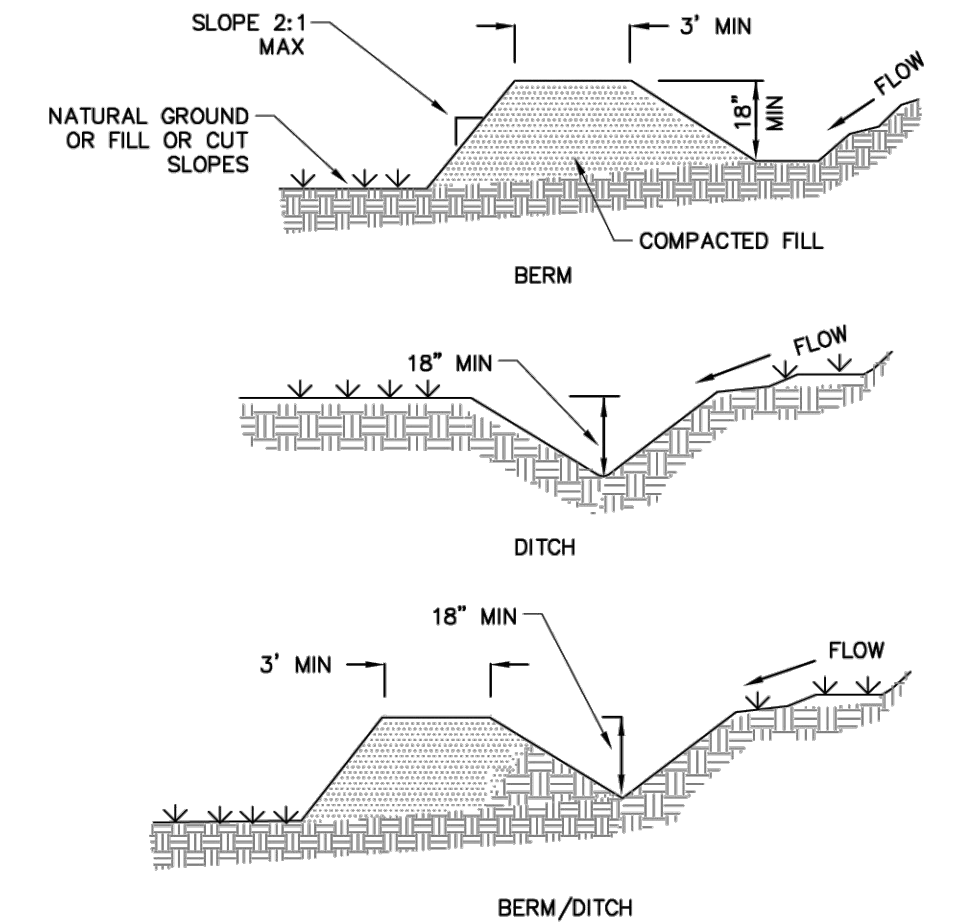
TOWN OF KNIGHTDALE STANDARD DETAILS	STANDARD CHECK DAM	STD. NO. 2.05
--	--------------------	------------------



REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.07

TOWN OF KNIGHTDALE STANDARD DETAILS	STANDARD SEDIMENT BASIN	STD. NO. 2.07
--	-------------------------	------------------

- NOTES:**
- MACHINE COMPACTION OF ALL FILL IS REQUIRED. DIVERSIONS SUFFICIENT TO DIRECT ALL SEDIMENT-LADEN STORMWATER INTO A SEDIMENT CONTROL DEVICE MUST BE INSTALLED PRIOR TO CLEARING AND GRUBBING OF THE AREA (OR IN CONJUNCTION WITH THIS OPERATION IF SEDIMENT CONTROLS AND DIVERSIONS ARE INSTALLED AS EACH CRITICAL POINT IS REACHED).
 - DIVERSIONS SHOULD BE LOCATED TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS.
 - DIVERSIONS SHOULD BE SEED AND MULCHED IF THEY ARE TO REMAIN IN PLACE OVER 30 DAYS.
 - CHECK DEVICE AFTER EACH RAIN, BUT ONCE A WEEK REGARDLESS. REPAIR AS NECESSARY.



NOTE:
POSITIVE GRADE MUST BE PROVIDED TO ASSURE DRAINAGE. IF SLOPE EXCEEDS 2% SEED AND MULCH DIVERSION. TRY NOT TO EXCEED 2% (HIGH VELOCITIES RESULT).
MAXIMUM DRAINAGE AREA = 5 ACRES WITHOUT SUPPORTING CALCS. DIVERSIONS AT THE TOP OF SLOPES MUST BE EMPTY INTO AN APPROVED SLOPE DRAIN. BERM/DITCH IS MOST COMMONLY USED.

REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.02

TOWN OF KNIGHTDALE STANDARD DETAILS	TEMPORARY DIVERSION BERM/DITCH	STD. NO. 2.02
--	--------------------------------	------------------

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Engineers
Planners
Surveyors
Landscape Architects

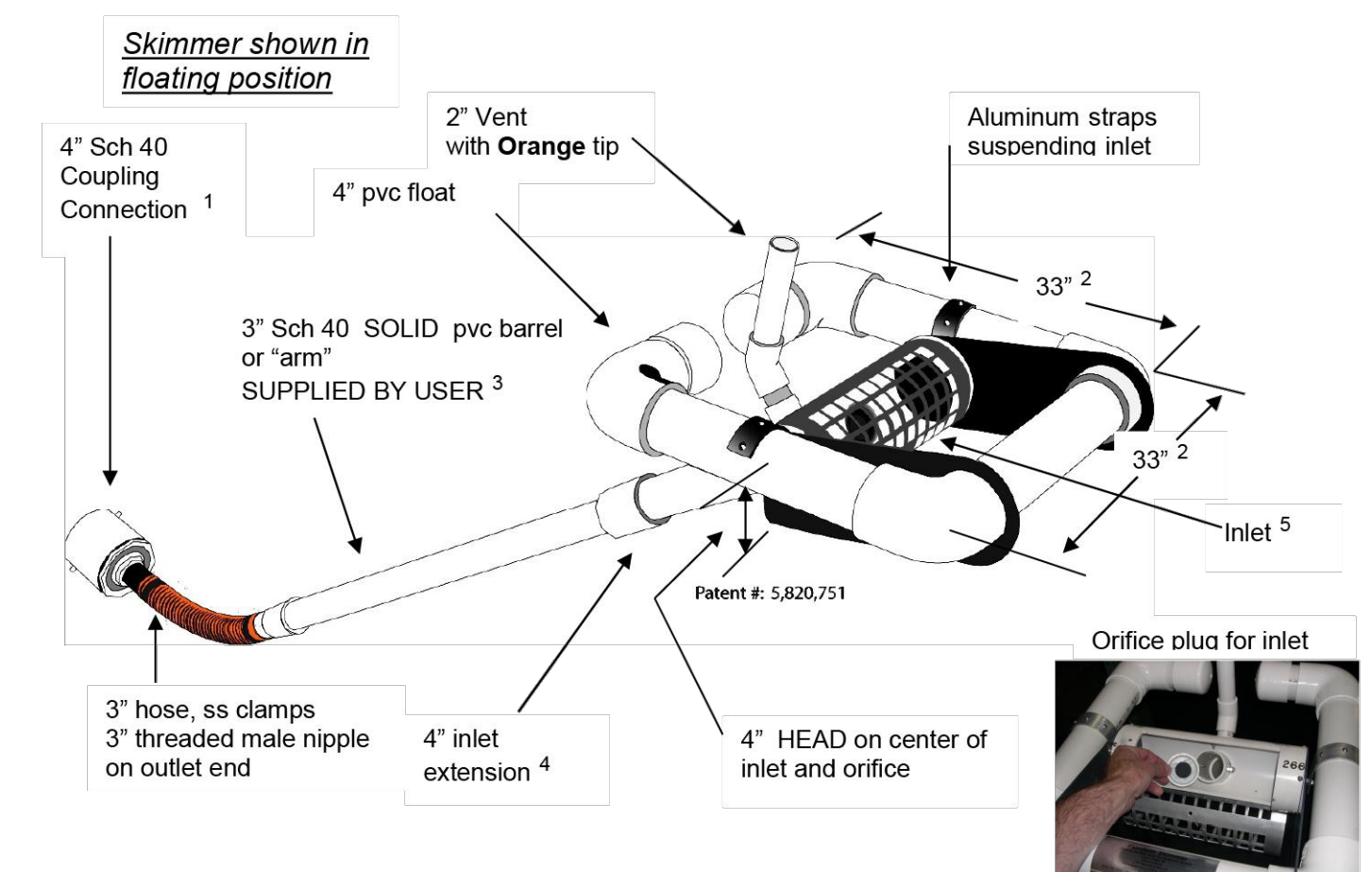
NORTH CAROLINA PROFESSIONAL SEAL
033861
W. J. DODD
REGISTERED PROFESSIONAL ENGINEER

REVISIONS:

NO.	DATE	DESCRIPTION	BY
4	10/09/24	COVER SHEET REVISION	
3	09/23/24	MASTER PLAN COMMENTS	
2	09/03/24	TOWN COUNCIL WORKSHOP	
1	05/12/24	MASTER PLAN - FIRST SUBMITTAL	

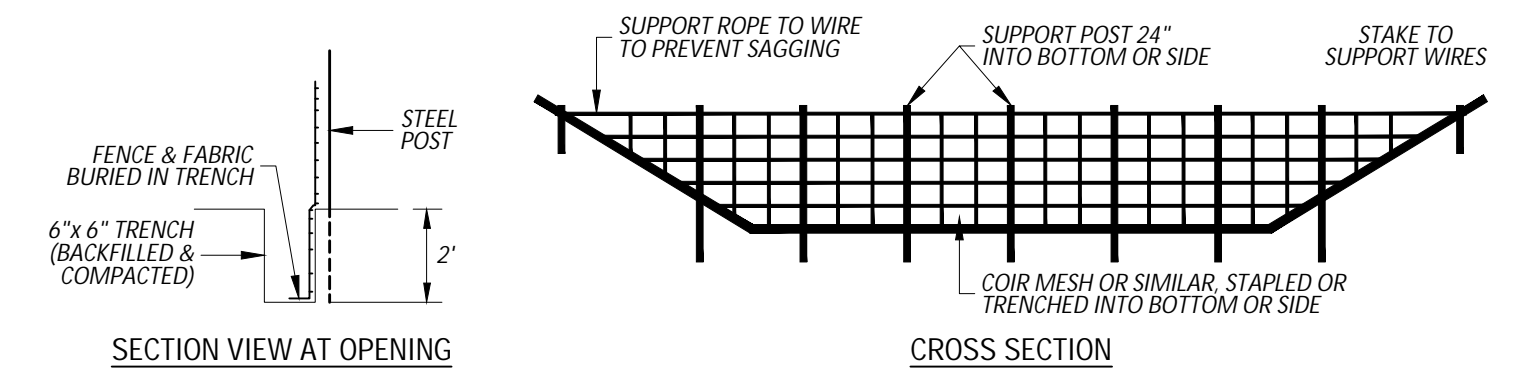
P:\LANDDEV\AMPE-AMPLE_STG-NC\KNTDALE-2023008\CADD_DRAWINGS\DETAILS\DWG - LAYOUT1 - 5/21/2024 10:08:41 AM - MATT PROKOP

4" Faircloth Skimmer® Surface Drain Cut Sheet
J. W. Faircloth & Son, Inc.
www.FairclothSkimmer.com



- Coupling can be removed and hose attached to outlet using the threaded 3" nipple. Typical methods used: on a metal structure a steel stubout welded on the side at the bottom with a 3" threaded coupling or reducers; on a concrete structure with a hole or orifice at the bottom, use a steel plate with a hole cut in it and coupling welded to it that will fit over the hole in the concrete and bolted to the structure with sealant. It is possible to grout a 4" pvc pipe in a hole in the concrete to connect the skimmer but this is less secure than other methods.
- Dimensions are approximate, not intended as plans for construction.
- Barrel (solid, not foam core pipe) should be 1.4 times the depth of water with a minimum length of 8' so the inlet can be pulled to the side for maintenance. If more than 10' long weight may have to be added to inlet to counter the increased buoyancy.
- Inlet tapers down from 4" maximum inlet to a 3" barrel and hose. Barrel is smaller to reduce buoyancy and tendency to lift inlet but is sufficient for flow through inlet because of slope. The inlet orifice can be reduced using the plug and cutter provided to control the outflow rate.
- Inlet is 8" pipe between the straps with slots cut in the inlet and aluminum screen door (smaller than shown in illustration) for access to the 4" inlet and orifice inside.
- Capacity 20,109 cubic feet per day maximum with 4" inlet and 4" head. Inlet can be reduced by installing a smaller orifice using the plug and cutter provided to adjust flow rate for the particular basin volume and drawdown time required.
- Shipped assembled. User glues inlet extension and barrel, installs vent, cuts orifice in plug and attaches to outlet pipe or structure. Includes flexible hose, rope, orifice cutter, etc.

4inchCut TM 11-07 January 15, 2019



- NOTES:**
- BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM & SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
 - MOST OF THE SEDIMENT WILL ACCUMULATE IN THE FIRST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
 - PROVIDE 3 BAFFLES (USE 2 IF LESS THAN 20' IN LENGTH) PROVIDE 5 BAFFLES FOR DRAINAGE AREAS GREATER THAN 10 ACRES.
 - BAFFLE SHALL BE 700 G/M2 COIR EROSION BLANKET.
 - TOPS OF BAFFLES SHALL BE 2" LOWER THAN THE TOP OF THE BERMS.
 - INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL.

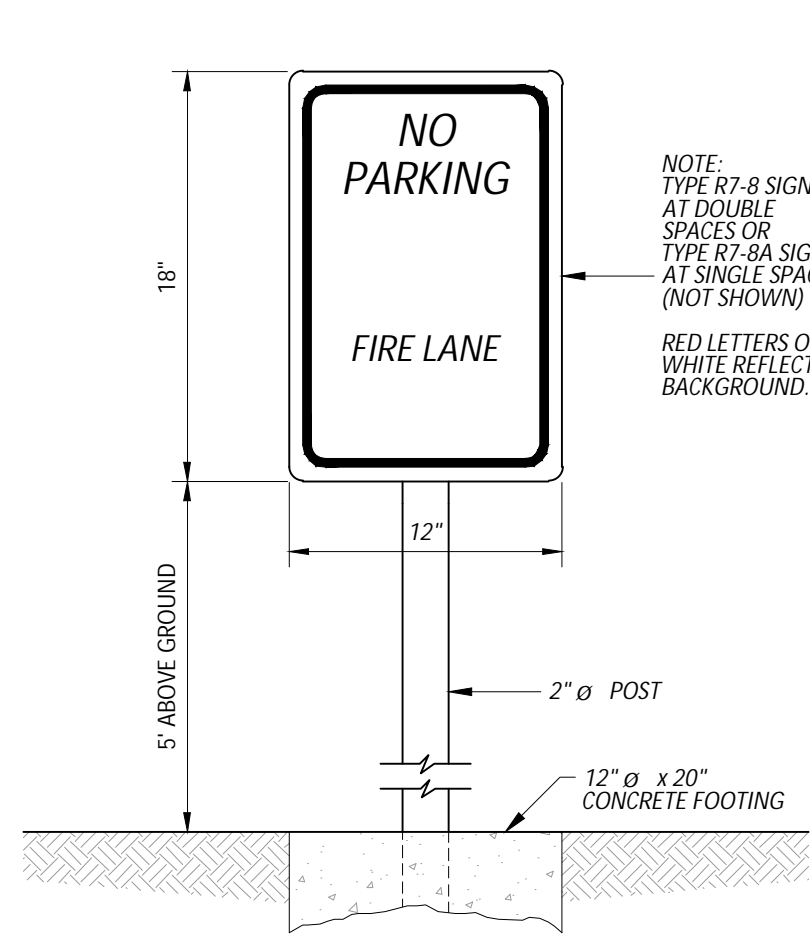
STANDARD BAFFLES
N.T.S.

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL DETAILS

DATE: MAY 22, 2024

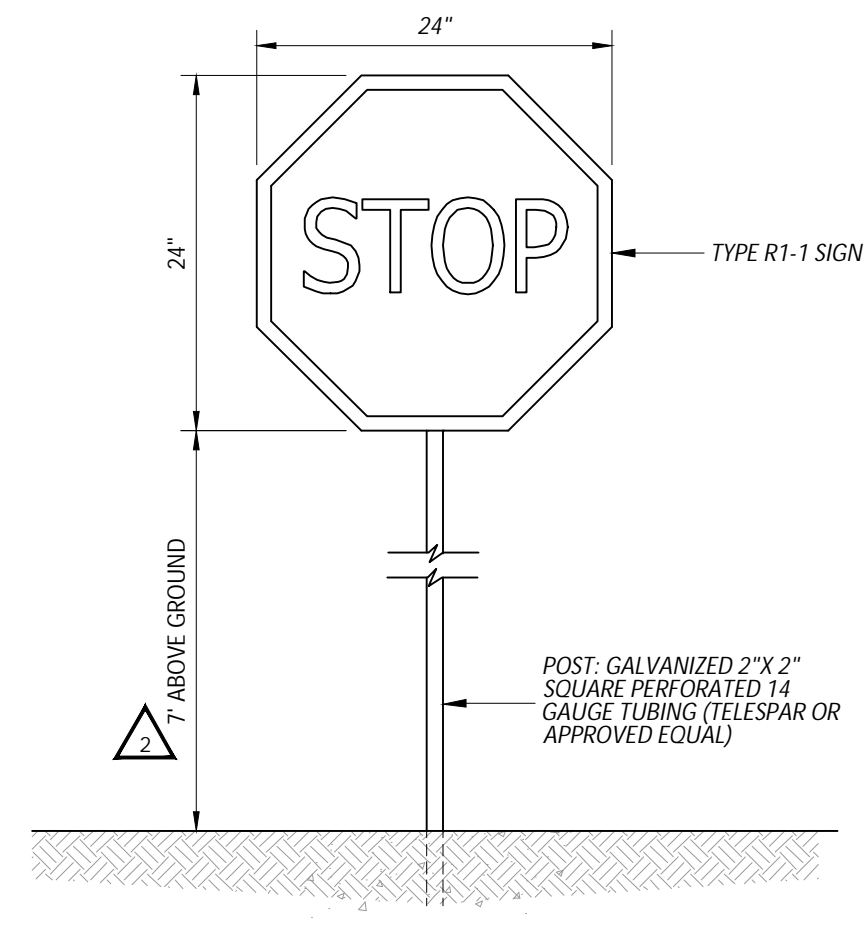
DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT No.	2023008
DRAWING No.	W-4073-MP
SCALE:	1" = 20'
SHEET No.	C5.22



FIRE LANE SIGN

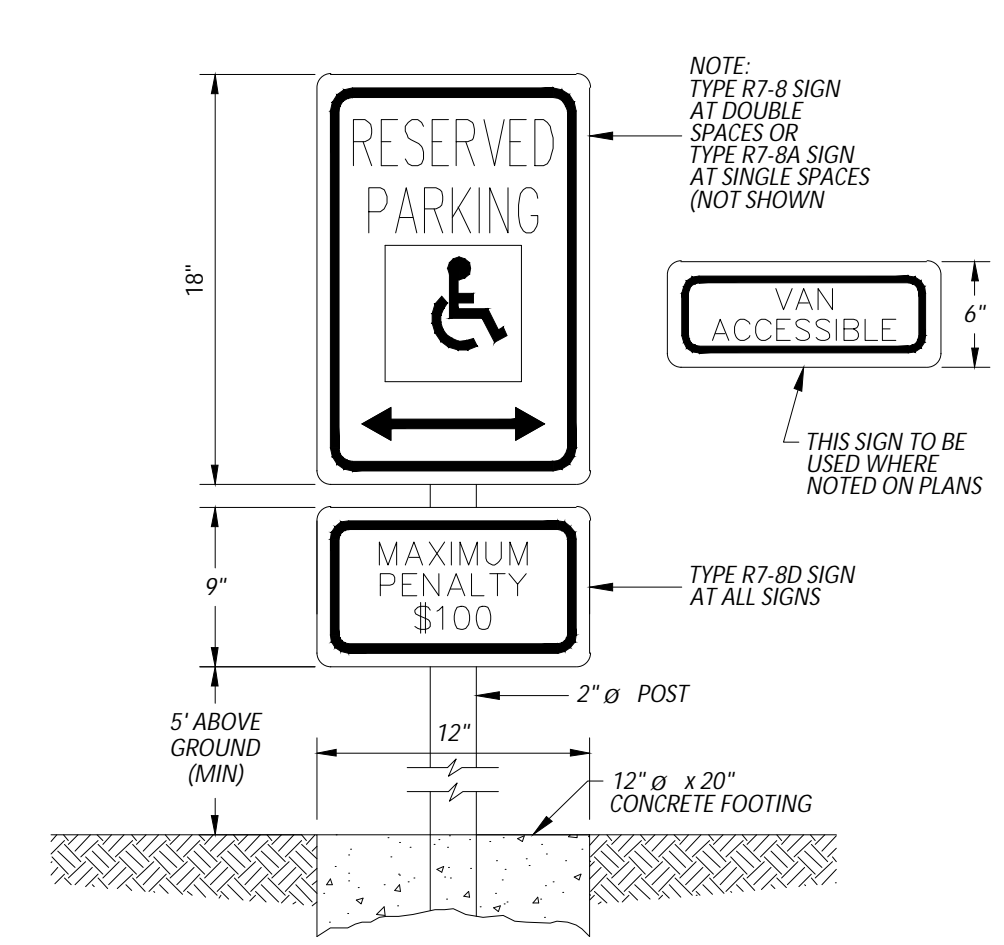
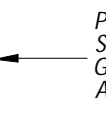
N.T.S.
PVMT-40A MOD

NOTE:
TYPE R7-8 SIGN
AT DOUBLE
SPACES OR
TYPE R7-8A SIGN
AT SINGLE SPACES
(NOT SHOWN)
RED LETTERS ON A
WHITE REFLECTIVE
BACKGROUND.



STOP SIGN

N.T.S.



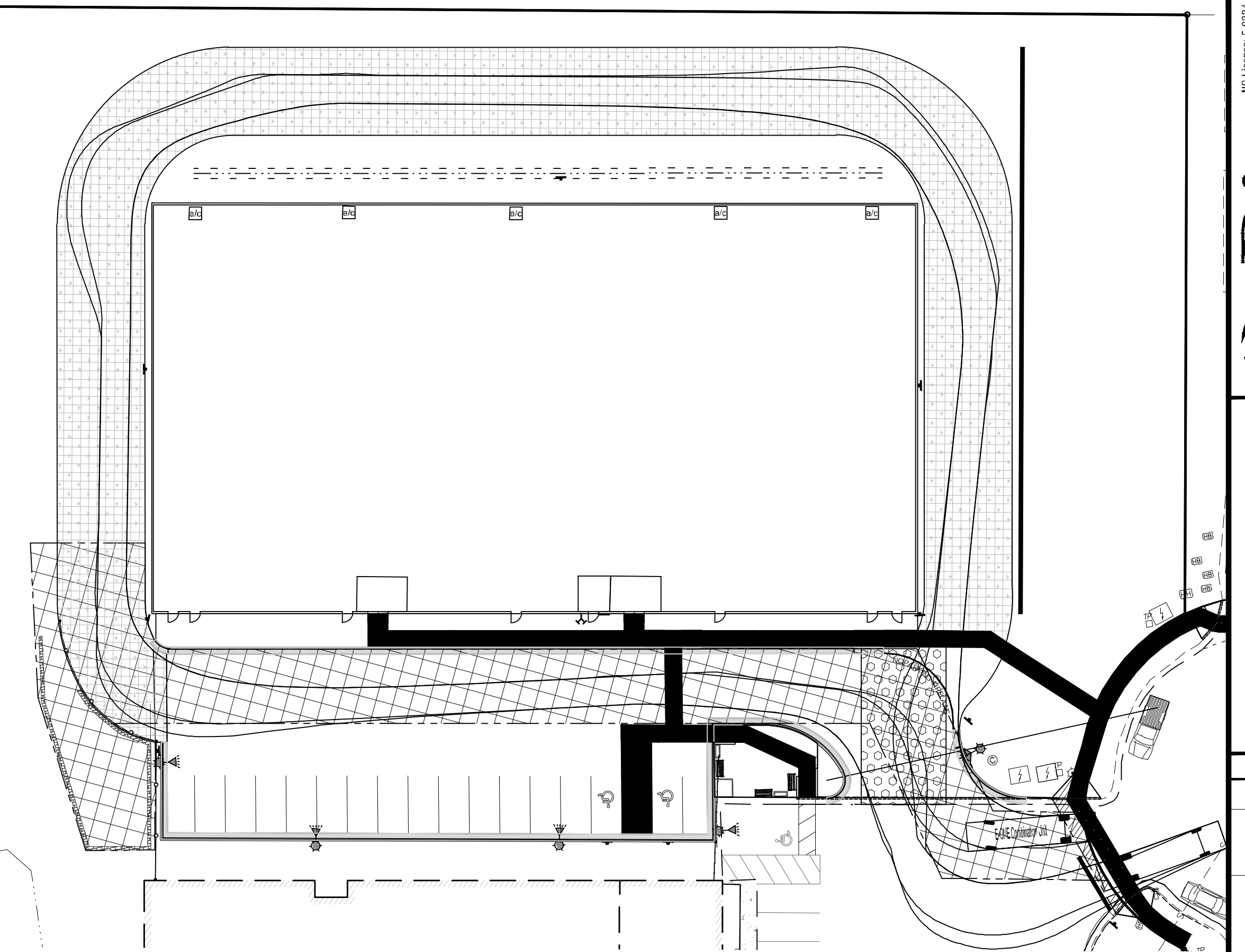
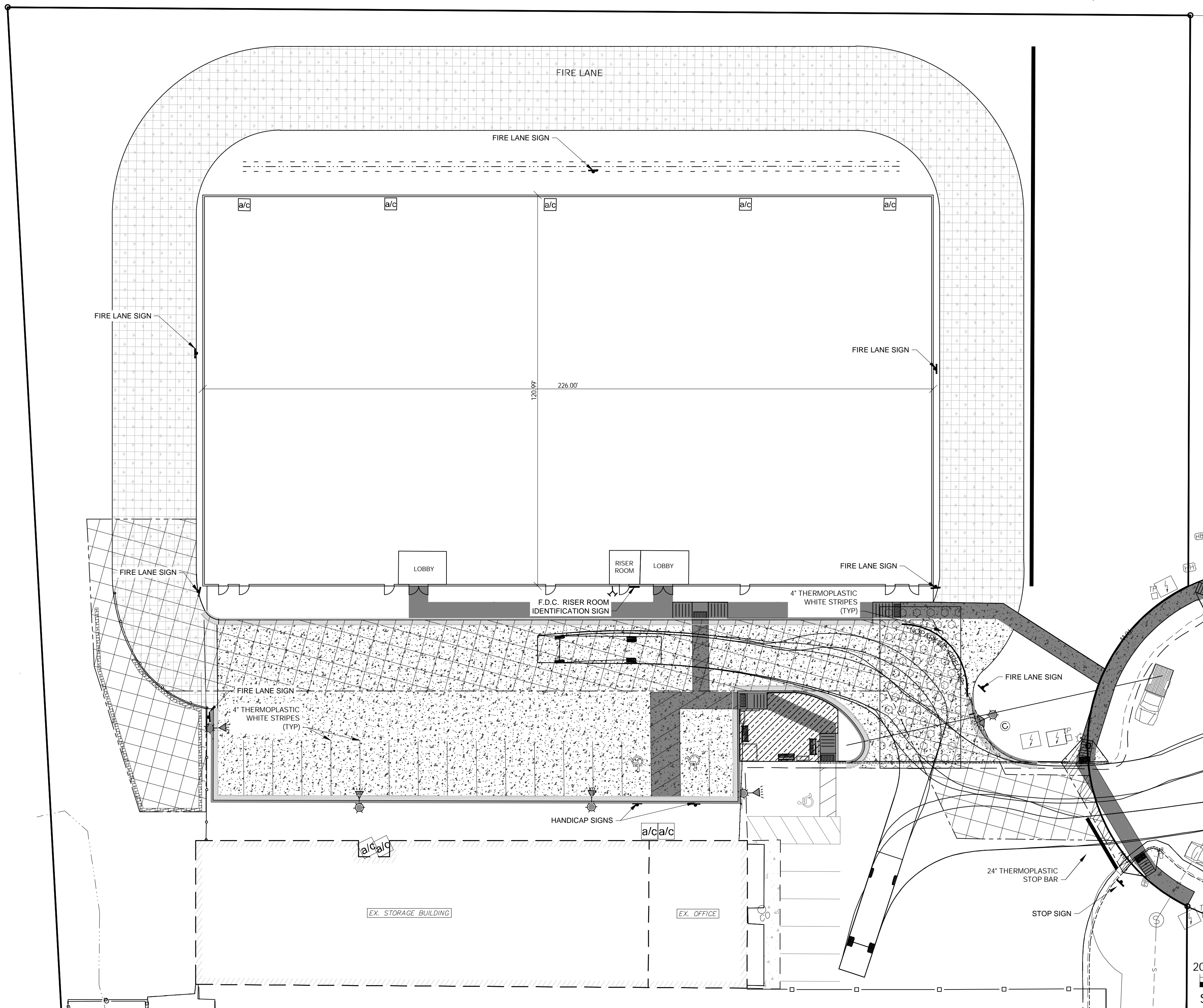
HANDICAPPED SIGN

N.T.S.
PVMT-06A MOD

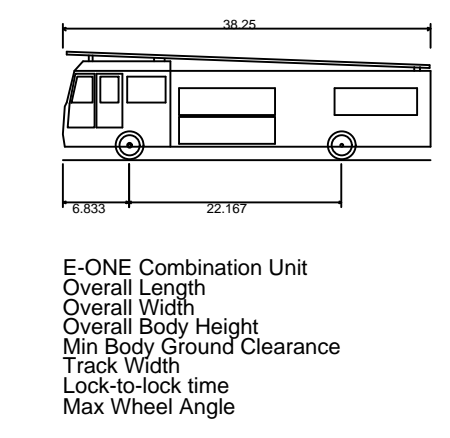
NOTE:
TYPE R7-8 SIGN
AT DOUBLE
SPACES OR
TYPE R7-8A SIGN
AT SINGLE SPACES
(NOT SHOWN)

VAN
ACCESSIBLE

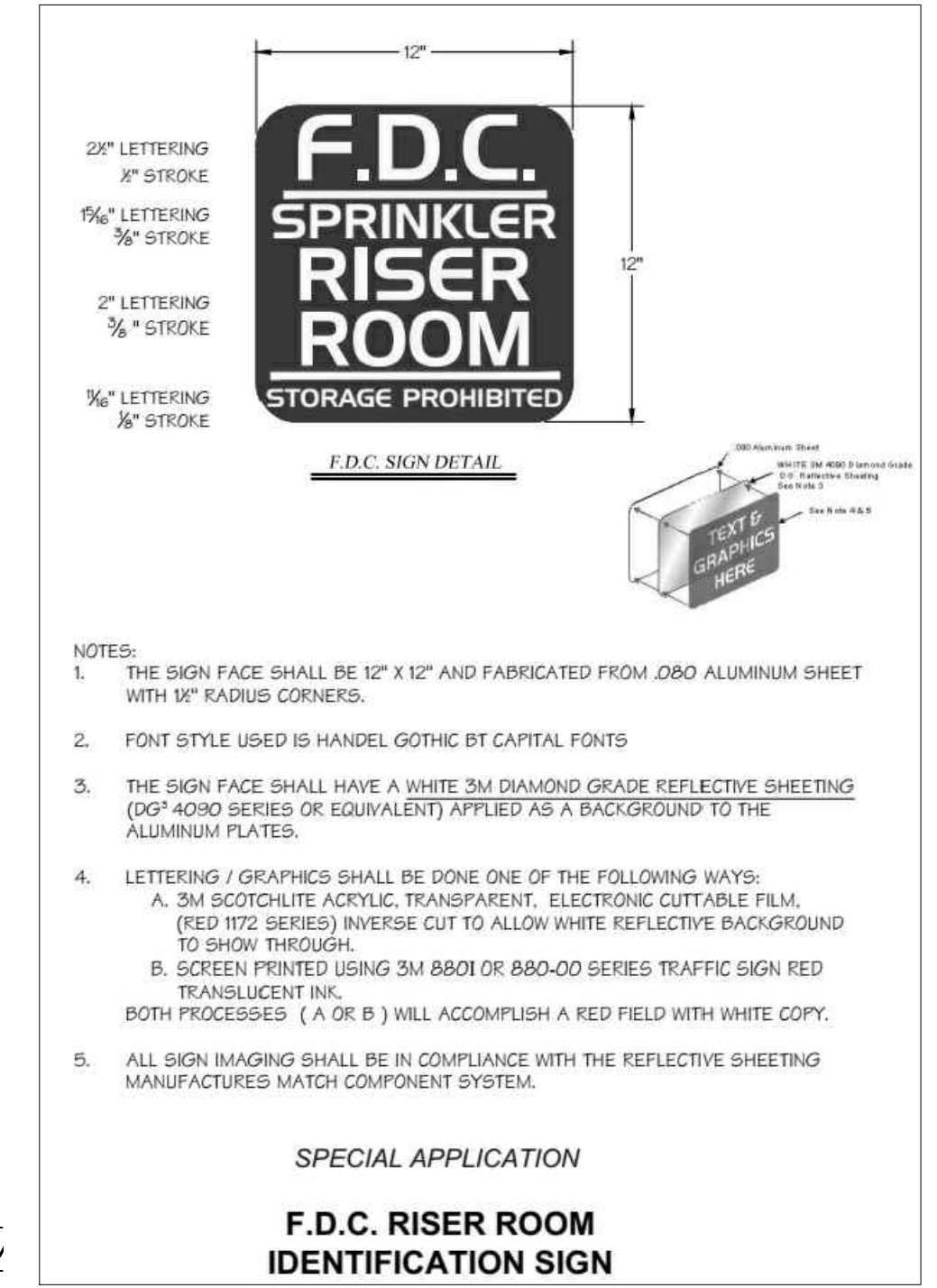
THIS SIGN TO BE
USED WHERE
NOTED ON PLANS



30' 0 15' 30'
SCALE 1 inch = 30 ft



VEHICLE DETAIL



- NOTES:
1. THE SIGN FACE SHALL BE 12" X 12" AND FABRICATED FROM .080 ALUMINUM SHEET WITH 1/2" RADIUS CORNERS.
 2. FONT STYLE USED IS HANDEL GOTHIC BT CAPITAL FONTS
 3. THE SIGN FACE SHALL HAVE A WHITE 3M DIAMOND GRADE REFLECTIVE SHEETING (D97-4030 SERIES OR EQUIVALENT) APPLIED AS A BACKGROUND TO THE ALUMINUM PLATES.
 4. LETTERING / GRAPHICS SHALL BE DONE ONE OF THE FOLLOWING WAYS:
A. 3M SCOTCHLITE ACRYLIC, TRANSPARENT, ELECTRONIC CUTTABLE FILM (RED 172 SERIES) INVERSE CUT TO ALLOW WHITE REFLECTIVE BACKGROUND TO SHOW THROUGH.
B. SCREEN PRINTED USING 3M 8801 OR 880-00 SERIES TRAFFIC SIGN RED TRANSLUCENT INK. BOTH PROCESSES (A OR B) WILL ACCOMPLISH A RED FIELD WITH WHITE COPY.
 5. ALL SIGN IMAGING SHALL BE IN COMPLIANCE WITH THE REFLECTIVE SHEETING MANUFACTURERS MATCH COMPONENT SYSTEM.

SPECIAL APPLICATION
F.D.C. RISER ROOM IDENTIFICATION SIGN

SITE UPDATED SEE SHEET C2.01
-CHANGE PANTING TO THERMOPLASTIC
-CHANGE STOP SIGN HEIGHT
-ADDED VIEW

20' 0 10' 20'
SCALE 1 inch = 20 ft



Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

By: _____ Date: _____
Administrator

NC License # 03324
Rivers
ENGINEERS, ARCHITECTS, & ASSOCIATES, INC.
SINCE 1918
107 East Second Street
Greenville, NC 27658
(252) 752-4135
Engineers
Planners
Surveyors
Landscape Architects



REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	05/21/24		IMASTER PLAN - FIRST SUBMITTAL
2	09/03/24		TOWN COUNCIL WORKSHOP
3	09/23/24		MASTER PLAN COMMENTS
4	10/09/24		COVER SHEET REVISION

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
PAVEMENT MARKING, SIGNAGE & TRAFFIC CONTROL PLAN

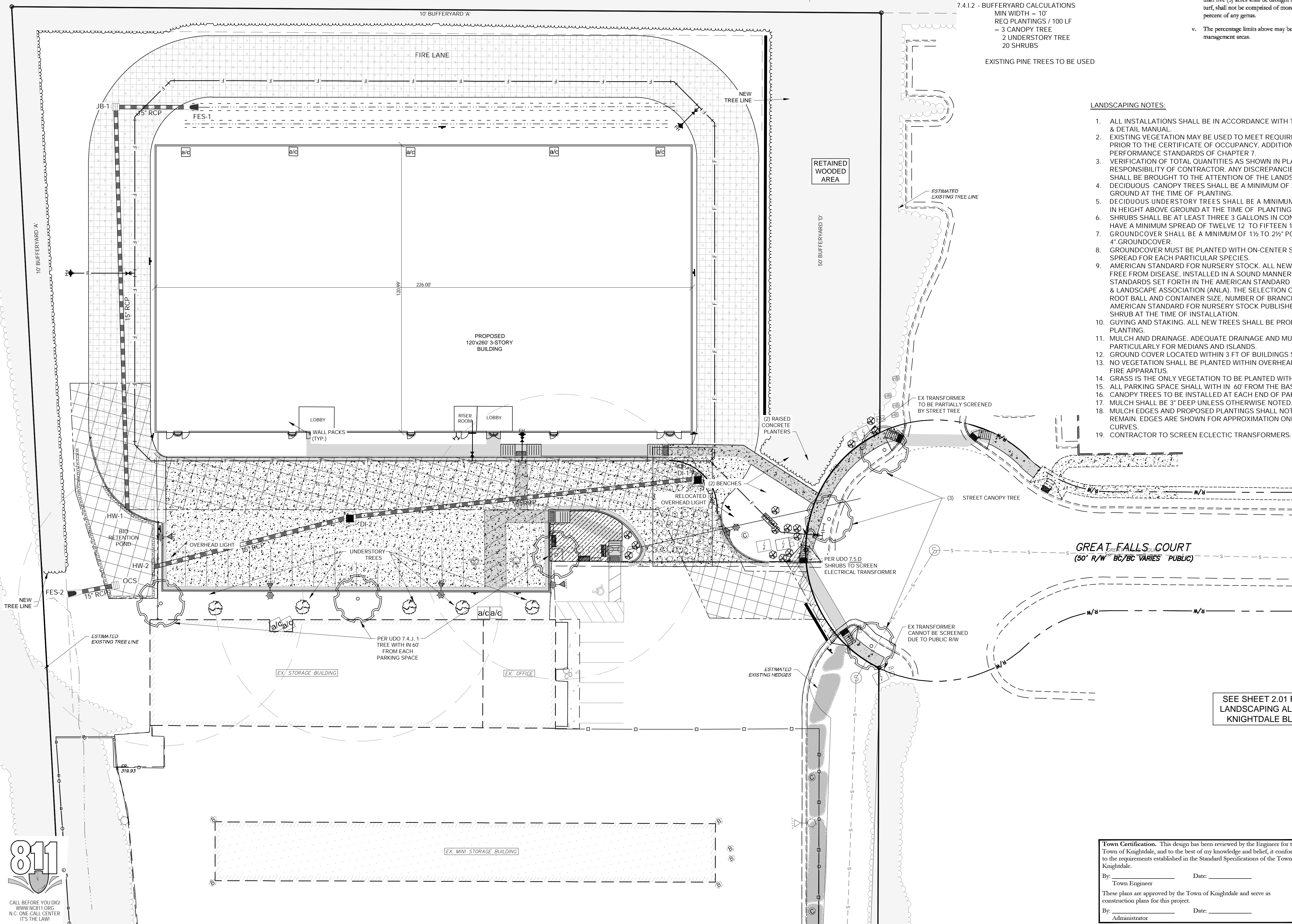
DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: 1" = 20'
SHEET No. **C6.41**

P:\LANDDEV\AMPE_AMPLE_SIG-KNIGHTDALE-2023008\CADD_DRAWINGS\MASTER PLAN\W-4073-SIGS\MARKINGS.DWG - LAYOUT1 - 02/12/2024 5:42:14 PM - MATI PRODD

P:\LANDSCAPE\AMPE - AMPLE STORAGE - MASTER PLAN\W-4073 LANDSCAPE.DWG - LAYOUT - 9/23/2024 11:20:09 AM - IMAT PROLOG



CALL BEFORE YOU DIG!
WWW.NC811.ORG
N.C. ONE-CALL CENTER
IT'S THE LAW!



LANDSCAPING REQUIREMENTS

- 7.4.M.2 - TREE COVER AREA (SITE AREA ONLY)
 <10% REQ.
 ESTIMATED UNDISTURBED, TREE CANOPY 31,139 SF / 303,818 SF = .1024 OR 10.2%
- 7.4.J - PARKING LOT LANDSCAPING
 1 PER END OF PARKING ROW = 2
 60' FROM PARKING = 1
 3 REQ
 3 PROVIDED
- 7.8.L - STREET TREE PLANTING
 GREAT FALLS CT FRONTAGE = 120'
 3 TREES REQ
 3 PROVIDED
- 7.4.I.2 - BUFFERYARD CALCULATIONS
 MIN WIDTH = 10'
 REQ PLANTINGS / 100 LF
 = 3 CANOPY TREE
 2 UNDERSTORY TREE
 20 SHRUBS

Species Diversity Requirements.

- i. At a minimum, the species of every other tree along the street frontage shall alternate in order to maximize diversity as deemed appropriate by the Land Use Administrator.
- ii. A minimum of fifty (50) percent of the landscape features utilized on a parcel that is less than one-half (0.5) acre shall be drought and salt-tolerant native species.
- iii. A minimum of sixty (60) percent of the landscape features utilized on a parcel that is between one-half (0.5) and five (5) acres shall be drought and salt-tolerant native species. Total landscape features, excluding turf, shall not be comprised of more than thirty (30) percent of any single species or fifty (50) percent of any genus.
- iv. A minimum of seventy-five (75) percent of the landscape features utilized on a parcel that is greater than five (5) acres shall be drought and salt-tolerant native species. Total landscape features, excluding turf, shall not be comprised of more than twenty (20) percent of any single species or twenty-five (25) percent of any genus.
- v. The percentage limits above may be varied in conjunction with approval of vegetated stormwater management areas.

EXISTING PINE TREES TO BE USED

LANDSCAPING NOTES:

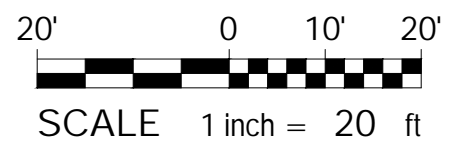
1. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARD SPECIFICATIONS & DETAIL MANUAL.
2. EXISTING VEGETATION MAY BE USED TO MEET REQUIREMENTS PER CHAPTER 7 OF THE UDO; HOWEVER, PRIOR TO THE CERTIFICATE OF OCCUPANCY, ADDITIONAL PLANTINGS MAY BE REQUIRED TO ACHIEVE PERFORMANCE STANDARDS OF CHAPTER 7.
3. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN PLANT LIST AND ON THE PLAN SHALL BE THE RESPONSIBILITY OF CONTRACTOR. ANY DISCREPANCIES BETWEEN PLANT LIST AND PLANTING PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
4. DECIDUOUS CANOPY TREES SHALL BE A MINIMUM OF 2" CALIPER AND A MINIMUM OF 8' IN HEIGHT ABOVE GROUND AT THE TIME OF PLANTING.
5. DECIDUOUS UNDERSTORY TREES SHALL BE A MINIMUM 1 1/4" CALIPER AND HAVE A MINIMUM HEIGHT OF 6' IN HEIGHT ABOVE GROUND AT THE TIME OF PLANTING.
6. SHRUBS SHALL BE AT LEAST THREE 3 GALLONS IN CONTAINER SIZE, HAVE A MINIMUM HEIGHT OF 18" AND HAVE A MINIMUM SPREAD OF TWELVE 12 TO FIFTEEN 15'.
7. GROUND COVER SHALL BE A MINIMUM OF 1 1/2 TO 2 1/2" POTS WITH A MINIMUM SPREAD OF FOUR 4" GROUND COVER.
8. GROUND COVER MUST BE PLANTED WITH ON-CENTER SPACING EQUIVALENT TO THE AVERAGE MATURE SPREAD FOR EACH PARTICULAR SPECIES.
9. AMERICAN STANDARD FOR NURSERY STOCK. ALL NEW PLANT MATERIAL SHALL BE OF GOOD QUALITY, FREE FROM DISEASE, INSTALLED IN A SOUND MANNER, MULCHED (3-4 INCH LAYER), AND MEET THE STANDARDS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE SELECTION OF PLANTS, PLANTING METHODS, MINIMUM HEIGHT, ROOT BALL AND CONTAINER SIZE, NUMBER OF BRANCHES, AND WIDTH, SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE ANLA FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
10. GUYING AND STAKING. ALL NEW TREES SHALL BE PROPERLY GUYED AND STAKED AT THE TIME OF PLANTING.
11. MULCH AND DRAINAGE. ADEQUATE DRAINAGE AND MULCHING SHALL BE PROVIDED IN ALL CASES, PARTICULARLY FOR MEDIANS AND ISLANDS.
12. GROUND COVER LOCATED WITHIN 3 FT OF BUILDINGS SHALL COMPLY WITH NC FIRE CODE.
13. NO VEGETATION SHALL BE PLANTED WITHIN OVERHEAD POWER LINE EASEMENT NOR WITHIN 3 FT OF ANY FIRE APPARATUS.
14. GRASS IS THE ONLY VEGETATION TO BE PLANTED WITHIN FIRE LANE.
15. ALL PARKING SPACE SHALL WITH IN 60' FROM THE BASE OF CANOPY TREE.
16. CANOPY TREES TO BE INSTALLED AT EACH END OF PARKING ROW.
17. MULCH SHALL BE 3" DEEP UNLESS OTHERWISE NOTED.
18. MULCH EDGES AND PROPOSED PLANTINGS SHALL NOT DISTURB ANY EXISTING GROUPS OF TREES TO REMAIN. EDGES ARE SHOWN FOR APPROXIMATION ONLY, BUT ARE TO INDICATE SMOOTH, CLEAN CURVES.
19. CONTRACTOR TO SCREEN ECLECTIC TRANSFORMERS.

NEW PLANT SCHEDULE

	LG Large Tree Thornless Honeylocust	4 EA.
	SH Shrubs Dwarf Yaupon	13 EA.
	SEEDED FIRE LANE	15,434 S.F.
	EX. UNDISTURBED PLANTED AREA	

SEE SHEET 2.01 FOR LANDSCAPING ALONG KNIGHTDALE BLVD

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator



Rivers
 & ASSOCIATES, INC.
 L I V E R S . A N D . A S S O C I A T E S . C O . I N C .
 107 East Second Street
 Greenville, NC 27658
 (252) 752-4135
 Engineers
 Planners
 Surveyors
 Landscape Architects



REVISIONS:

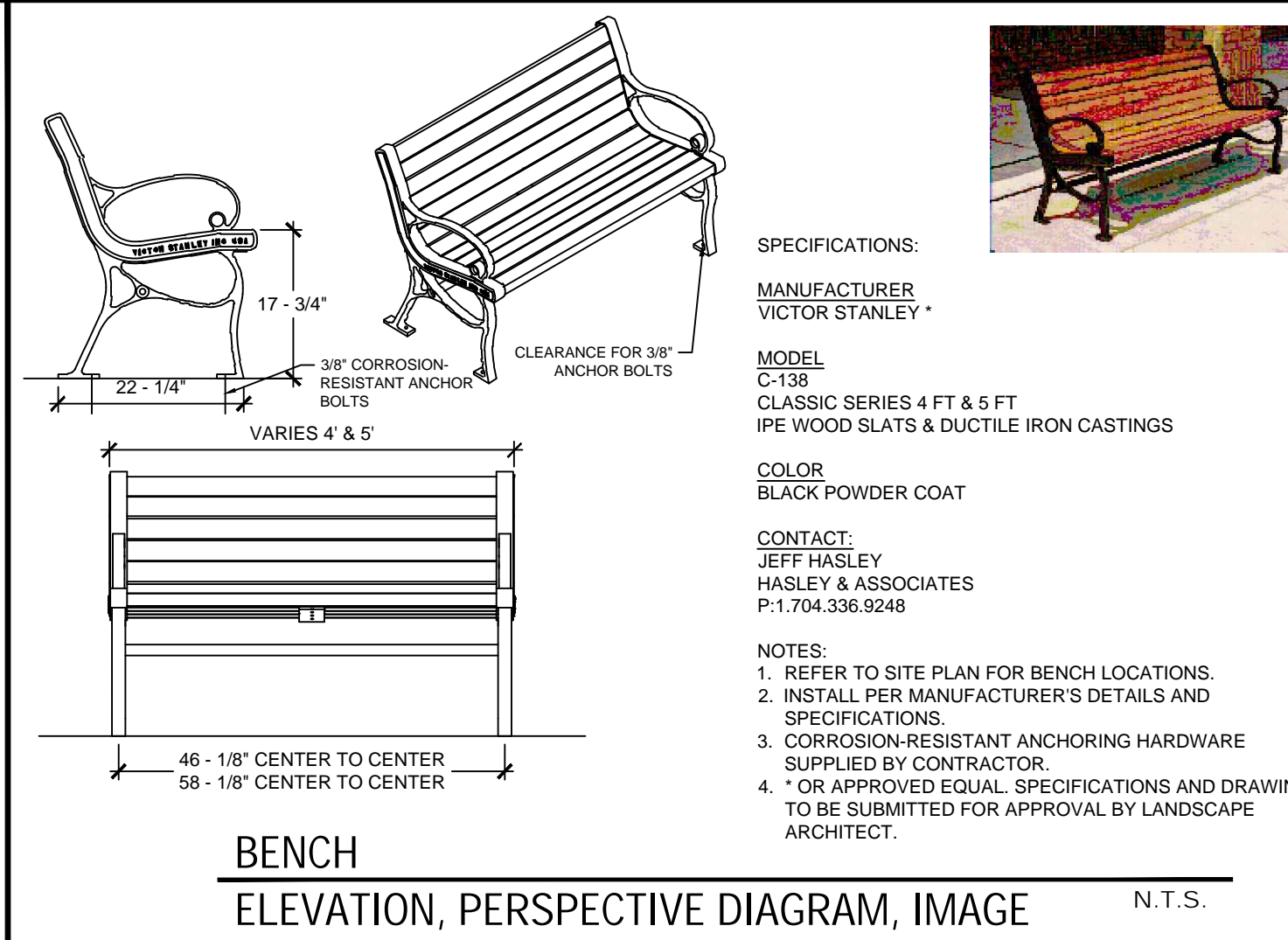
NO.	DESCRIPTION	DATE	BY
4	COVER SHEET REVISION	10/09/24	
3	MASTER PLAN COMMENTS	09/23/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
LANDSCAPING PLAN

DATE: MAY 22, 2024

DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT No.	2023008
DRAWING No.	W-4073-MP
SCALE:	1" = 20'
SHEET No.	L1.01

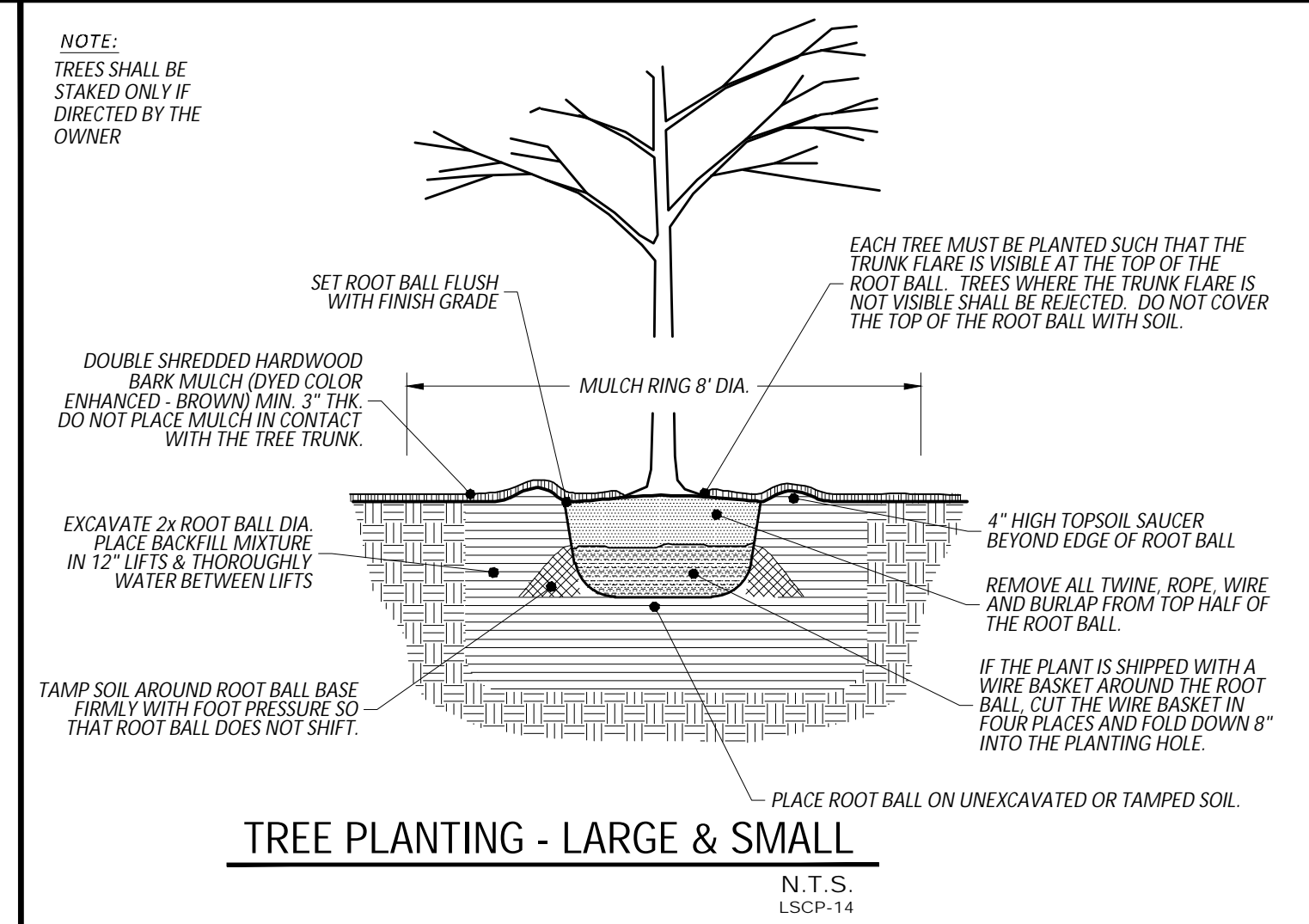
P:\LANDSCAPE\AMPE-AMPE_SIT-DIGITAL-202308\CADD_DRAWINGS\MASTER PLAN\W-4073 LANDSCAPE.DWG - LAYOUT 2 - 09/20/2024 11:27:09 AM - MATTPRODUP



SPECIFICATIONS:
 MANUFACTURER: VICTOR STANLEY
 MODEL: C-136 CLASSIC SERIES 4 FT & 5 FT IPE WOOD SLATS & DUCTILE IRON CASTINGS
 COLOR: BLACK POWDER COAT
 CONTACT: JEFF HASLEY, HASLEY & ASSOCIATES, P:1.704.336.9248

NOTES:
 1. REFER TO SITE PLAN FOR BENCH LOCATIONS.
 2. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 3. CORROSION-RESISTANT ANCHORING HARDWARE SUPPLIED BY CONTRACTOR.
 4. *OR APPROVED EQUAL. SPECIFICATIONS AND DRAWINGS TO BE SUBMITTED FOR APPROVAL BY LANDSCAPE ARCHITECT.

BENCH
 ELEVATION, PERSPECTIVE DIAGRAM, IMAGE N.T.S.



TREE PLANTING - LARGE & SMALL
 N.T.S. LSCP-14

NOTE:
 TREES SHALL BE STAKED ONLY IF DIRECTED BY THE OWNER

DOUBLE SHREDDED HARDWOOD BARK MULCH (DYED COLOR ENHANCED - BROWN) MIN. 3" THK. DO NOT PLACE MULCH IN CONTACT WITH THE TREE TRUNK.

SET ROOT BALL FLUSH WITH FINISH GRADE

MULCH RING 8" DIA.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

EXCAVATE 2x ROOT BALL DIA. PLACE BACKFILL MIXTURE IN 12" LIFTS & THOROUGHLY WATER BETWEEN LIFTS

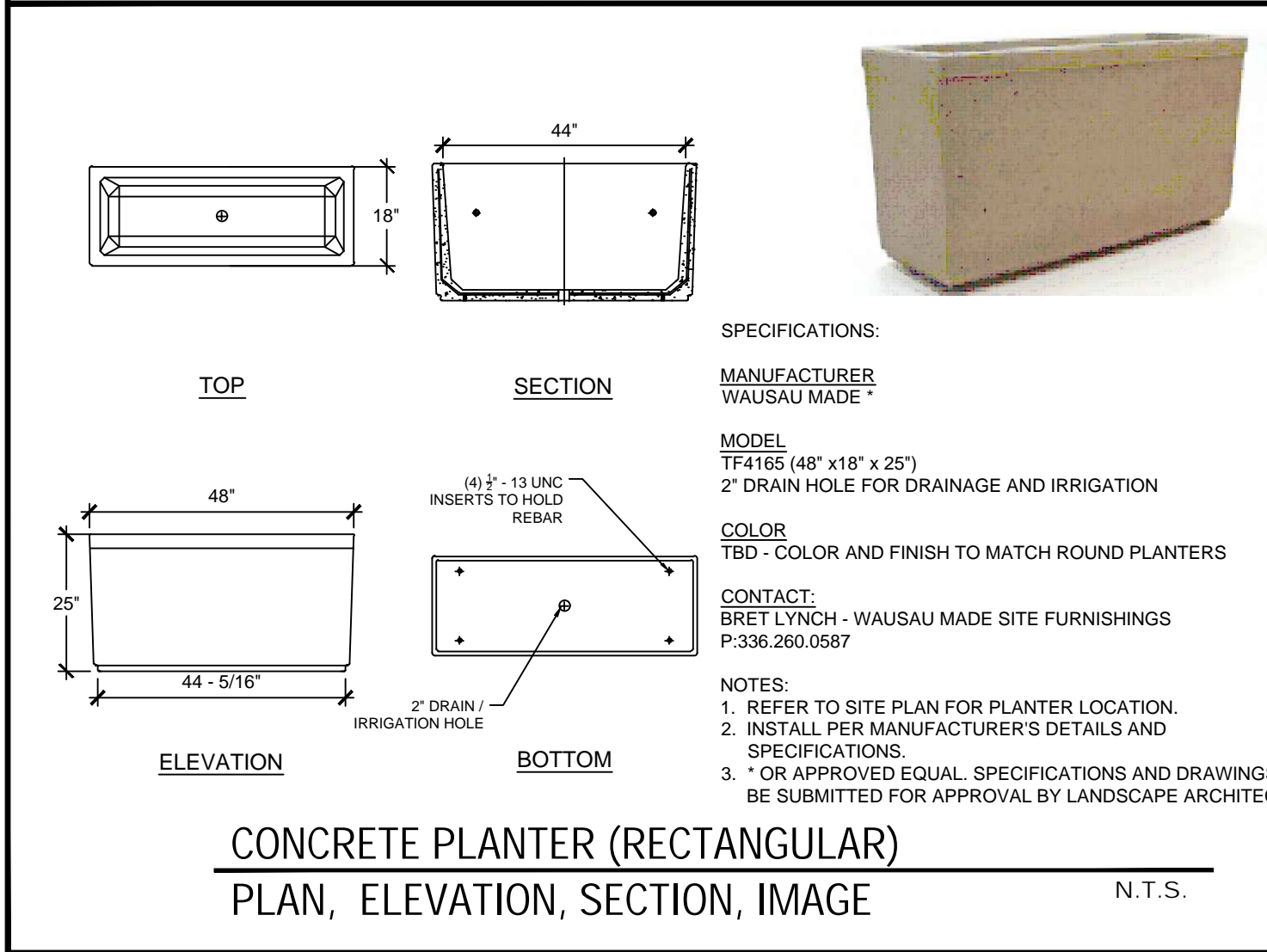
4" HIGH TOPSOIL SAUCER BEYOND EDGE OF ROOT BALL

REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF THE ROOT BALL

IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO THE PLANTING HOLE

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

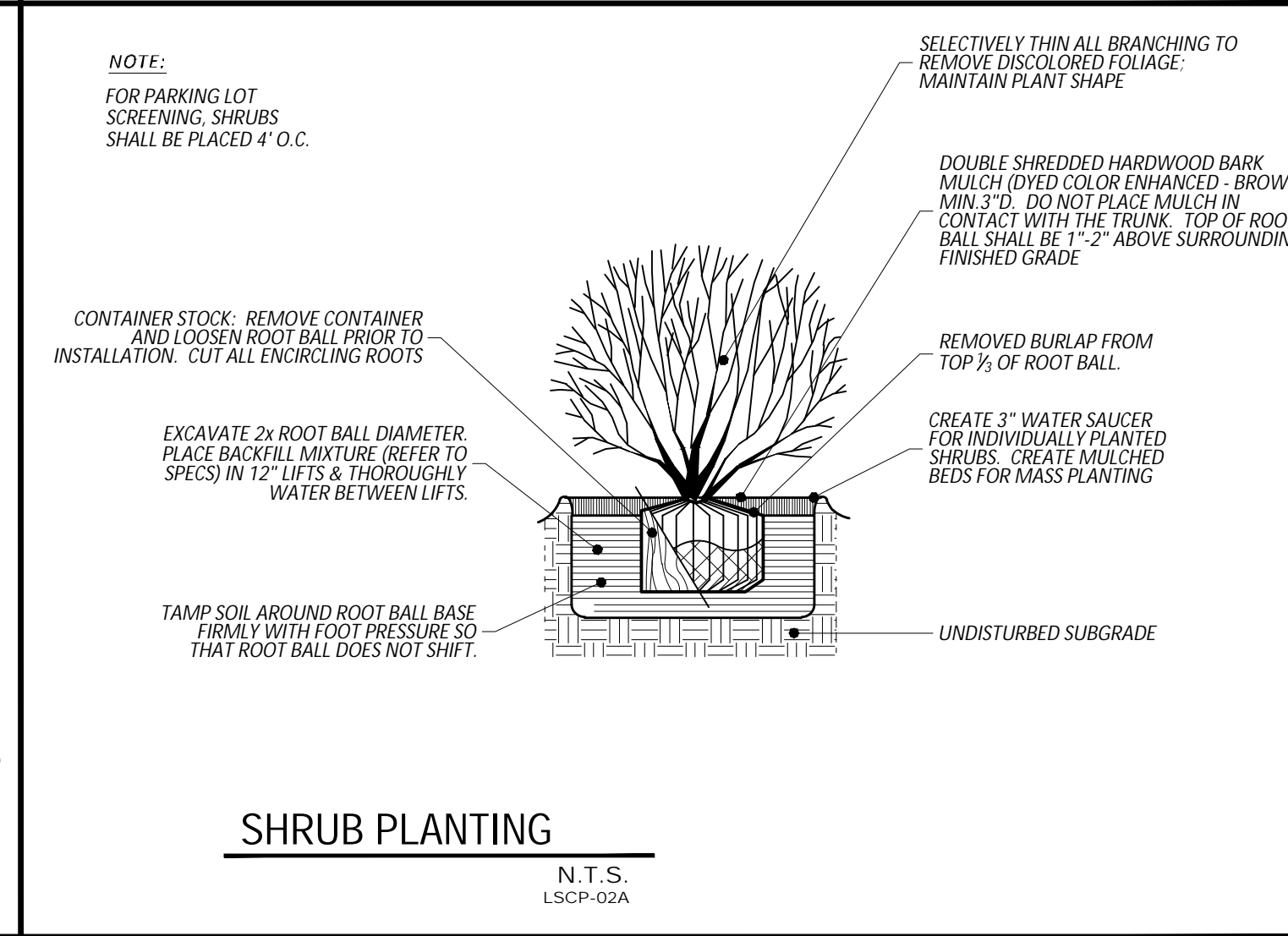
PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.



SPECIFICATIONS:
 MANUFACTURER: WAUSAU MADE
 MODEL: TF4165 (48" x 18" x 25")
 2" DRAIN HOLE FOR DRAINAGE AND IRRIGATION
 COLOR: TBD - COLOR AND FINISH TO MATCH ROUND PLANTERS
 CONTACT: BRET LYNCH - WAUSAU MADE SITE FURNISHINGS, P:336.260.0587

NOTES:
 1. REFER TO SITE PLAN FOR PLANTER LOCATION.
 2. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 3. *OR APPROVED EQUAL. SPECIFICATIONS AND DRAWINGS TO BE SUBMITTED FOR APPROVAL BY LANDSCAPE ARCHITECT.

CONCRETE PLANTER (RECTANGULAR)
 PLAN, ELEVATION, SECTION, IMAGE N.T.S.



SHRUB PLANTING
 N.T.S. LSCP-02A

NOTE:
 FOR PARKING LOT SCREENING, SHRUBS SHALL BE PLACED 4' O.C.

SELECTIVELY THIN ALL BRANCHING TO REMOVE DISCOLORED FOLIAGE. MAINTAIN PLANT SHAPE

DOUBLE SHREDDED HARDWOOD BARK MULCH (DYED COLOR ENHANCED - BROWN) MIN. 3" THK. DO NOT PLACE MULCH IN CONTACT WITH THE TRUNK. TOP OF ROOT BALL SHALL BE 1"-2" ABOVE SURROUNDING FINISHED GRADE

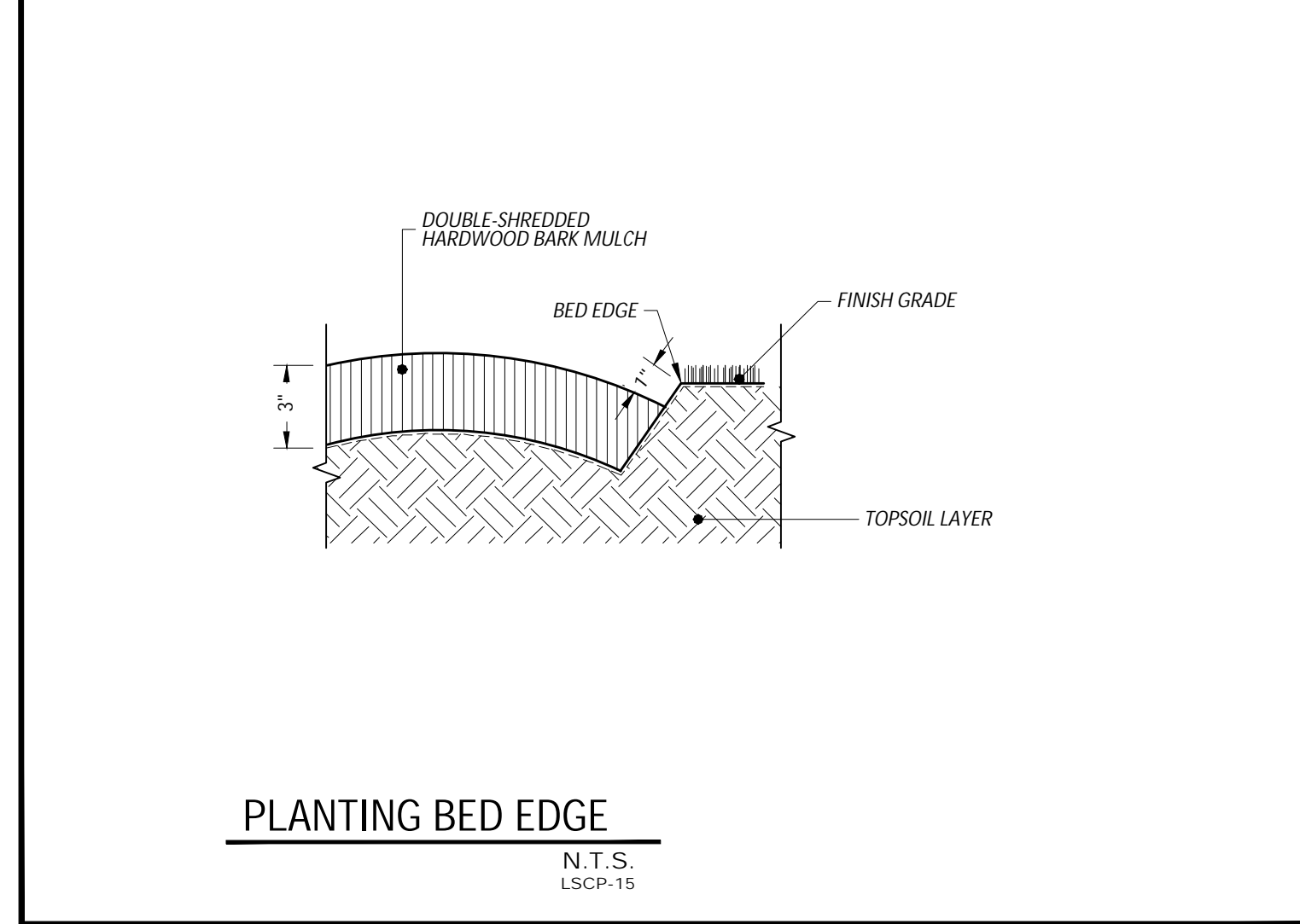
EXCAVATE 2x ROOT BALL DIAMETER. PLACE BACKFILL MIXTURE (REFER TO SPECS) IN 12" LIFTS & THOROUGHLY WATER BETWEEN LIFTS.

REMOVE BURLAP FROM TOP 1/2 OF ROOT BALL

CREATE 3" WATER SAUCER FOR INDIVIDUALLY PLANTED SHRUBS. CREATE MULCHED BEDS FOR MASS PLANTING

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

UNDISTURBED SUBGRADE



PLANTING BED EDGE
 N.T.S. LSCP-15

DOUBLE SHREDDED HARDWOOD BARK MULCH

BED EDGE

FINISH GRADE

TOPSOIL LAYER

NC License # 63934
Rivers
 ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS
 LIVERMORE AND ASSOCIATES, INC. Since 1918
 riveandassoc.state.nc.us
 107 East Second Street
 Greenville, NC 27658
 (252) 752-4135
 Landscape Architects

SEAL
 033861
 N.C. ENGINEER
 W. J. DOUGLAS

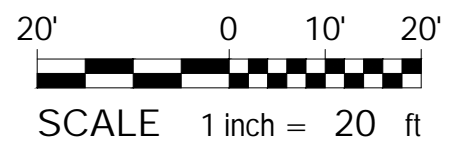
REVISIONS:

NO.	DATE	DESCRIPTION
4	10/09/24	COVER SHEET REVISION
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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
LANDSCAPING DETAILS

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No. **L2.01**

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator



Conditional Rezoning Neighborhood Meeting Ample Storage Expansion

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: May 21, 2024.

Attendees:

Gideon Smith – Town of Knightdale

Terry Wethington – Lampe Management (Owner / Applicant)

Jeff Inman - Lampe Management

Matt Prokop – Rivers & Associates (Engineer)

Neighborhood meeting was held at the site location 1107 Great Falls Ct. Attendees gathered at approximately 5:30 pm to await the arrival of any invited property owners. Applicant communicated that the most affected party (Wake Stone Corporation) had viewed the plans and gave verbal approval.

Various other aspects of the review process were discussed between the applicant and the Town, including requests for a variance on the building plan and the possibility of a traffic impact analysis. The potential long-term damage from the nearby blasting activities on any brick façade was discussed. Applicant stated they could provide previous studies indicating the lack of a need for any additional TIA.

Attendees waited at the meeting site until approximately 7:00 pm before concluding that no member of the public was going to attend. Meeting was adjourned at approximately 7:00 pm.

April 1, 2024

RCP Investments IV, LLC
307 Berkley Woods Dr
Ashland, VA 23005-1253

Re: Ample Storage Expansion

Dear RCP Investments IV, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

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Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule (https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2nd St, Greenville, NC 27858, (252) 752-4135 mprokop@riversandassociates.com

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.



ENGINEERS

PLANNERS

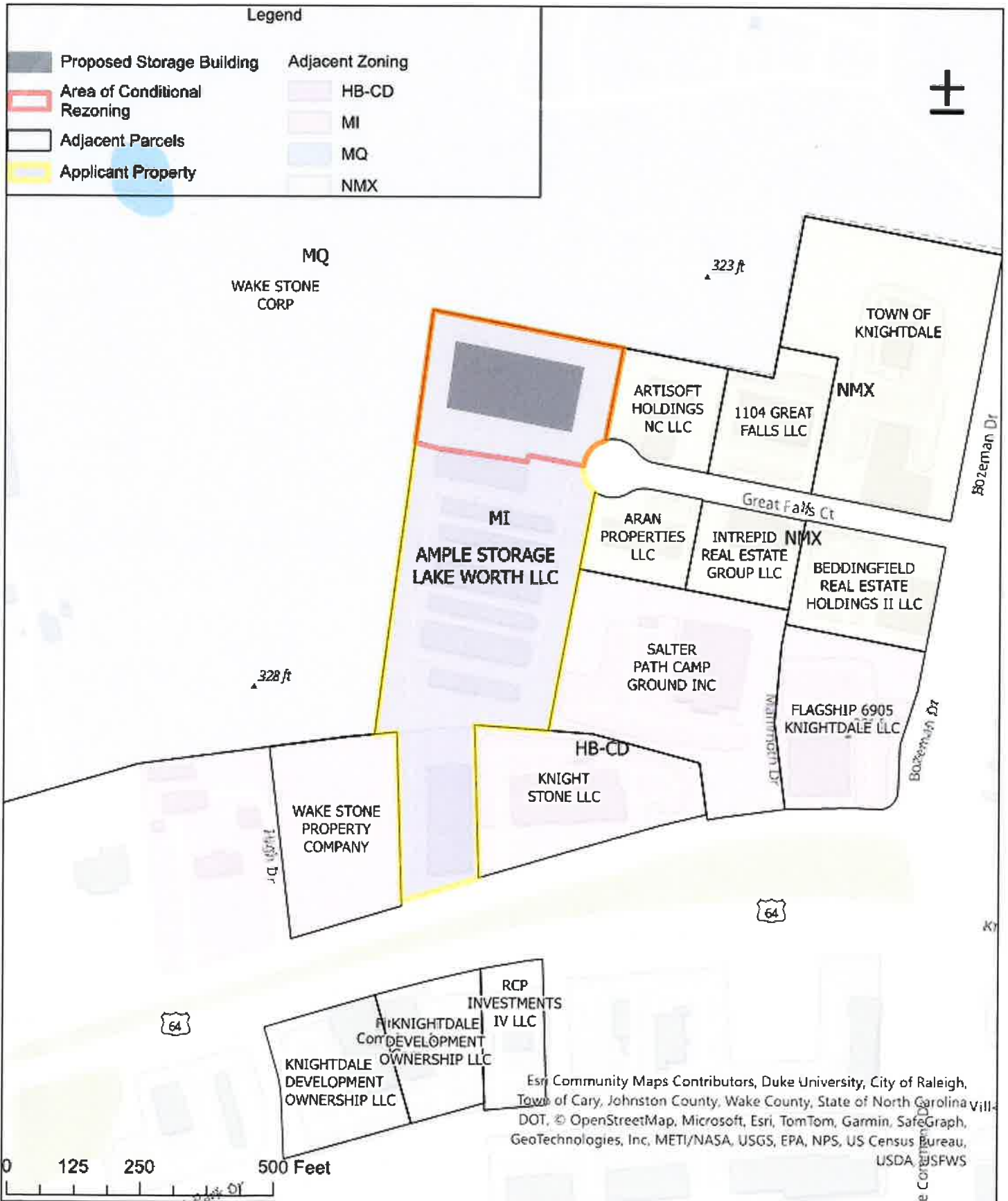
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



April 1, 2024

Beddingfield Real Estate Holdings II, LLC
114 W Main St
Durham, NC 27701-3604

Re: Ample Storage Expansion

Dear Beddingfield Real Estate Holdings:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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ENGINEERS

PLANNERS

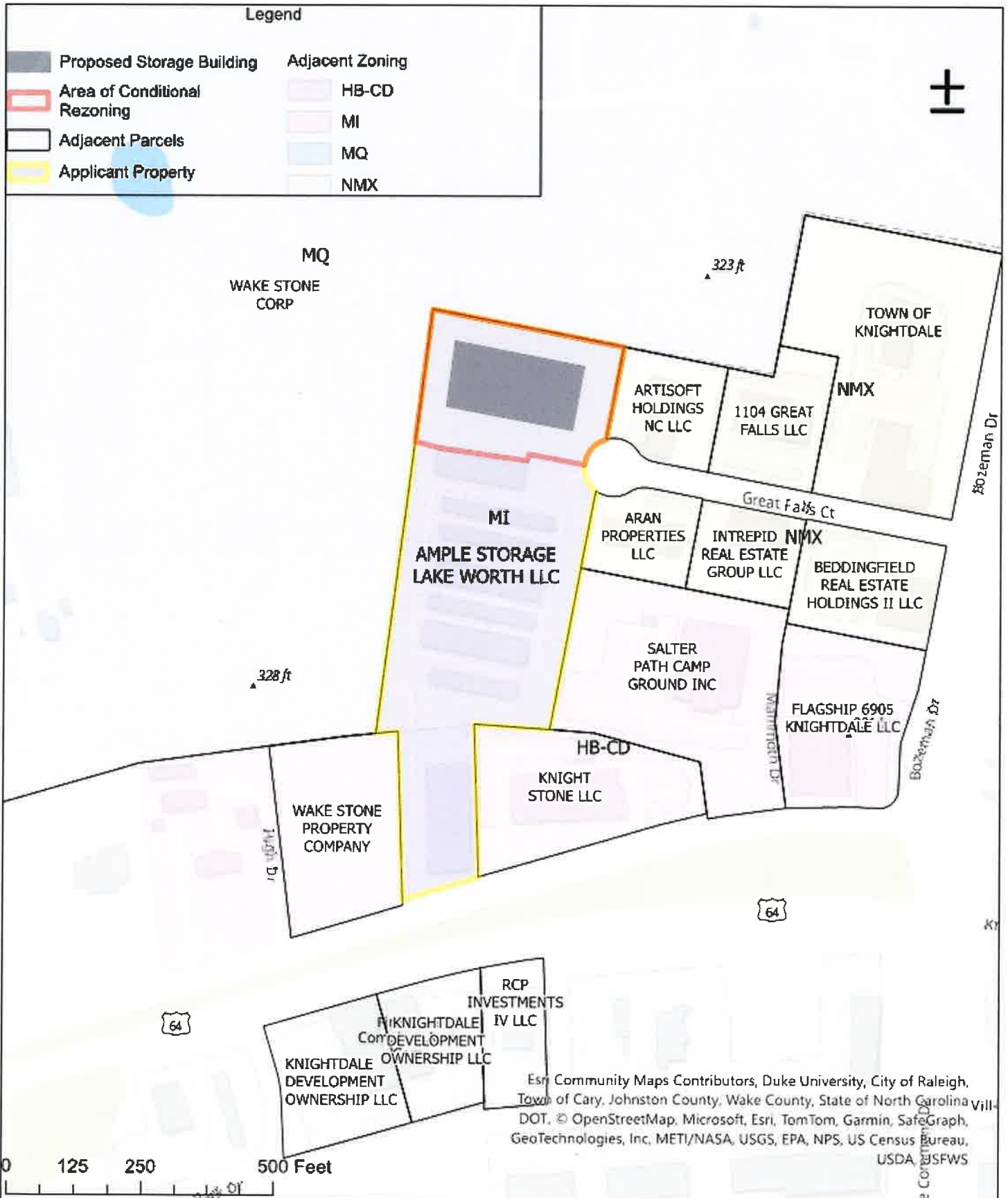
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Ample Storage Expansion





ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Intrepid Real Estate Group, LLC
200 Maplewood Dr
Knightdale, NC 27545-9659

Re: Ample Storage Expansion

Dear Intrepid Real Estate Group:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Description of proposal: Conditional District Rezoning – Mini-Warehouse

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ENGINEERS

PLANNERS

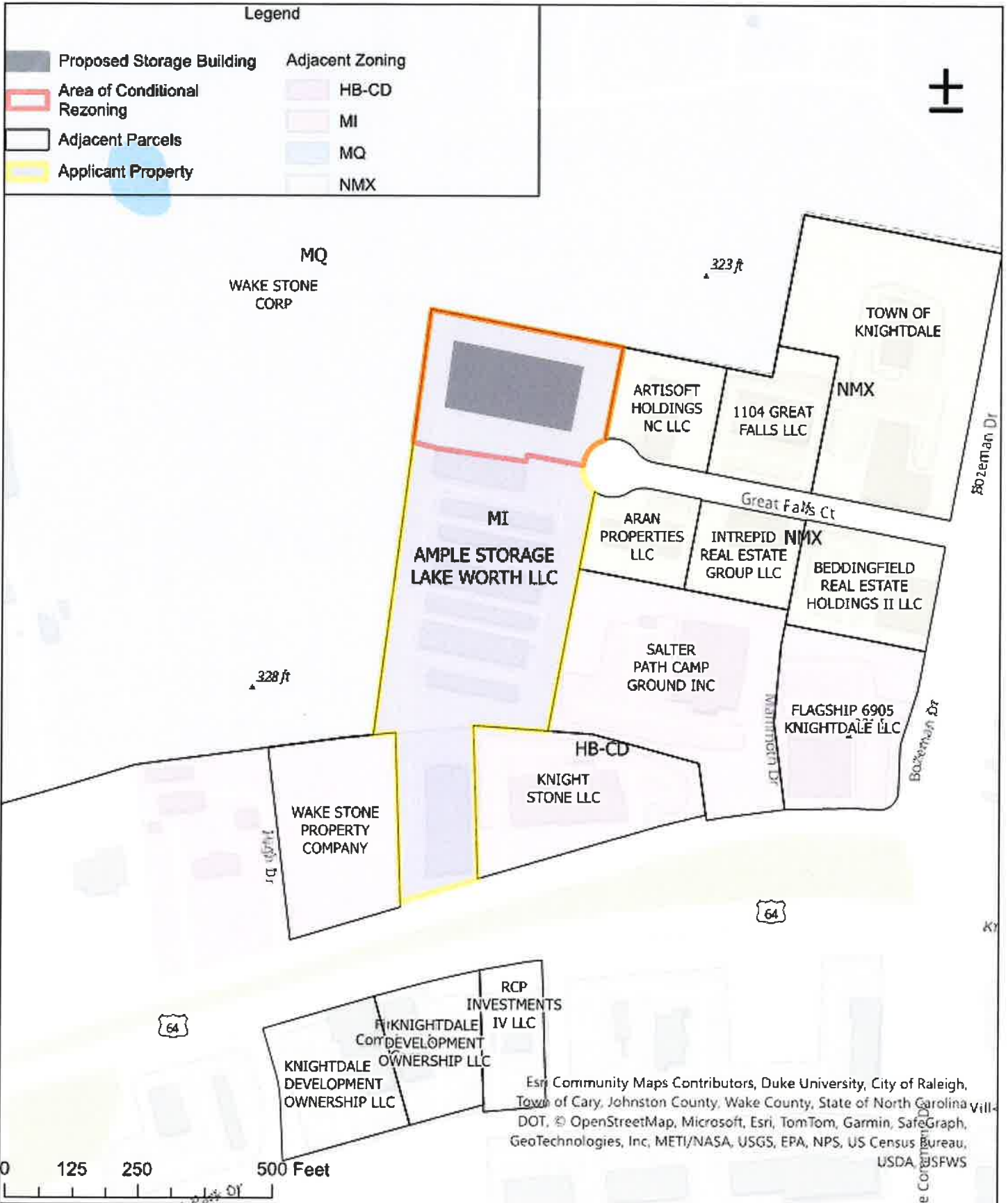
SURVEYORS

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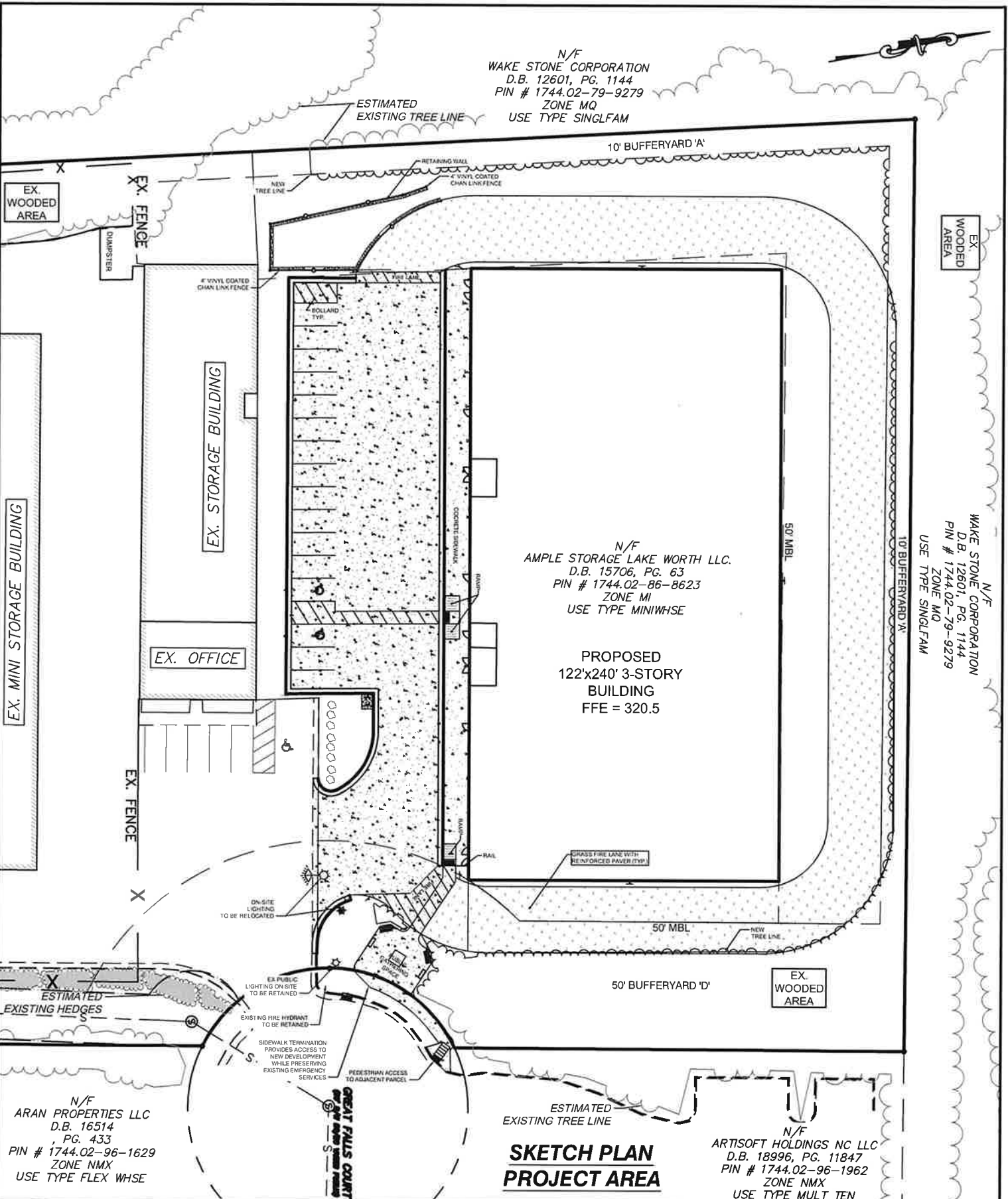
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City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**

**Engineers
 Planners
 Surveyors
 Landscape Architects**

Rivers
 & ASSOCIATES, INC.
 Since 1918
 riversandassociates.com

Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008
DRAWN BY:	EDN	DRAWING No.	W-4073-SK
CHECKED BY:	JSJ	SCALE	1"=50'
		DATE	APRIL 1, 2024

SHEET No.
1

P:\PROJECTS\2023\AMPLE - SITE\2023\2023008\2023008-003 SITE & S&L DWG - LANDSCAPE - 4/1/2024 2:12:30 PM - LDWR\NANCY

April 1, 2024

1104 Great Falls, LLC
107 Fayetteville St, Ste 400
Raleigh, NC 27601-2916

Re: Ample Storage Expansion

Dear 1104 Great Falls LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Time: 6:00PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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ENGINEERS

PLANNERS

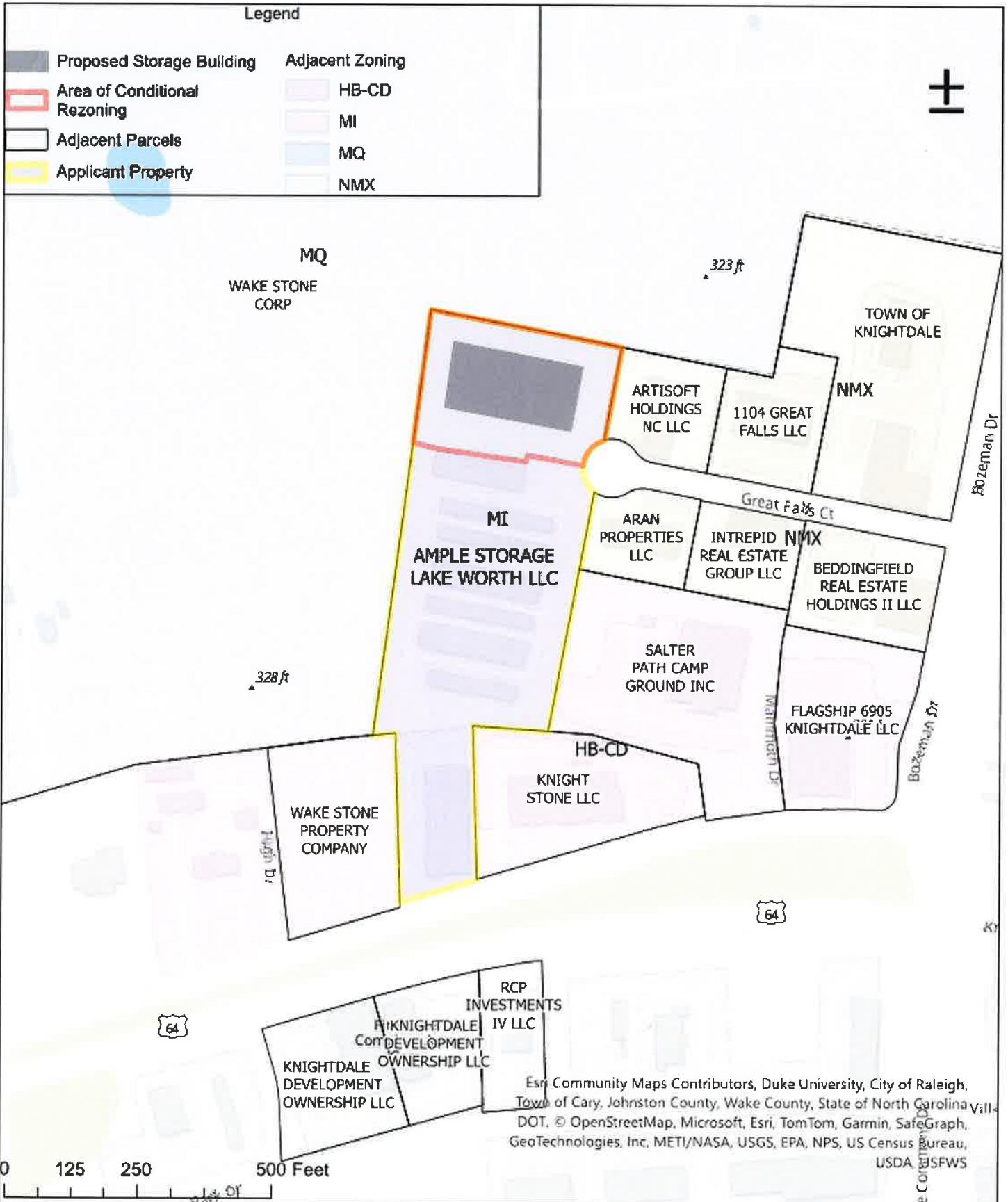
SURVEYORS

LANDSCAPE ARCHITECTS

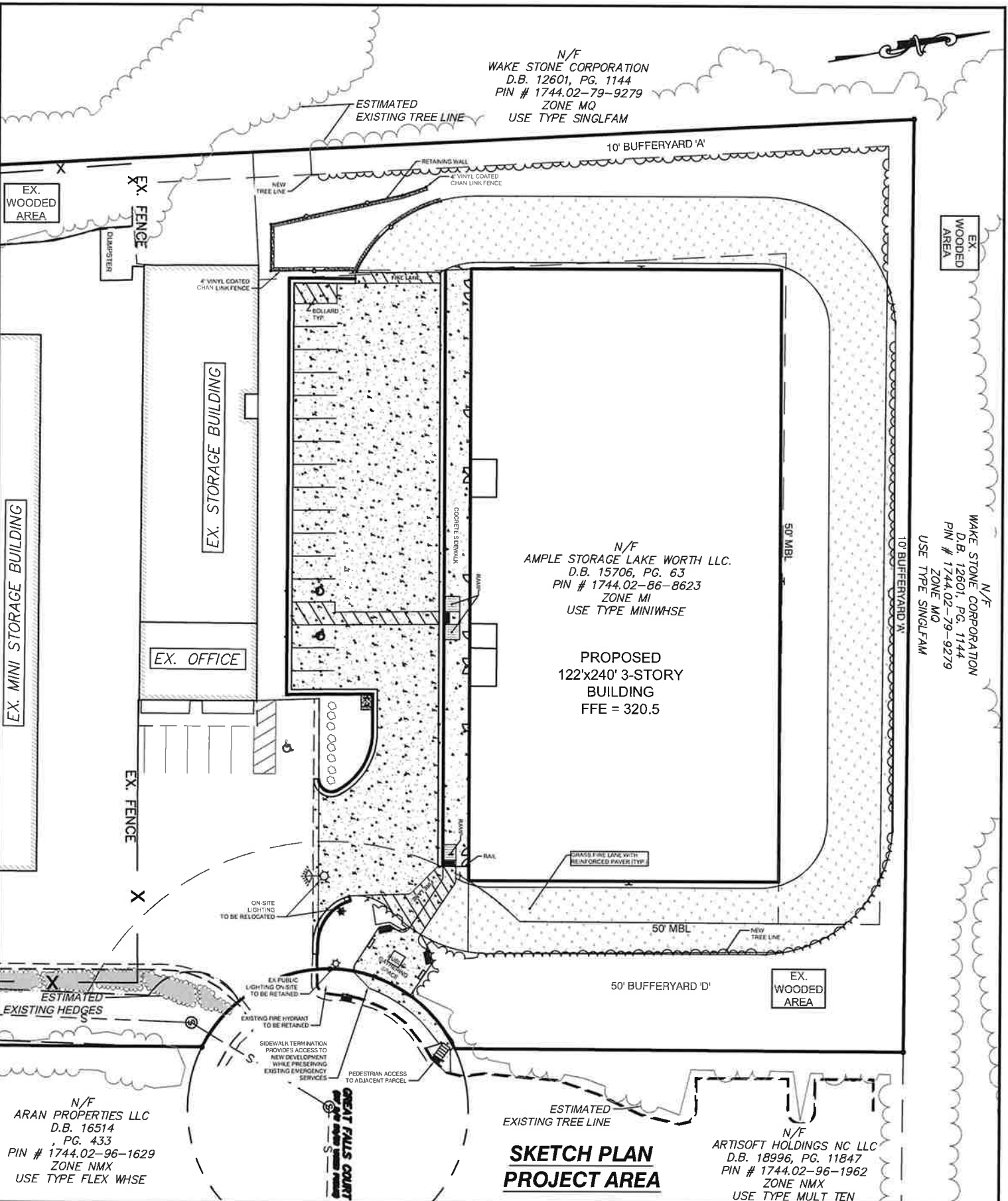
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Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**

Engineers
 Planners
 Surveyors
 Landscape Architects

Rivers
 & ASSOCIATES, INC.
 Since 1918
 riversandassociates.com

Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.
DRAWN BY:	EDN	DRAWING No.	W-4073-SK	
CHECKED BY:	JSJ	SCALE	1"=50'	
		DATE	APRIL 1, 2024	

PIN: 1744.02-96-1629-ARAN; SITE: 1744.02-96-1629-ARAN; DATE: 04/01/2024; 8:12:50 PM - TOWN PLAN

April 1, 2024

Aran Properties, LLC
1621 Kirby Ln
Raleigh, NC 27614-7228

Re: Ample Storage Expansion

Dear Aran Properties:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal.

Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_mee ting_schedule_2022.pdf) for future public meetings dates.

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These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.



ENGINEERS

PLANNERS

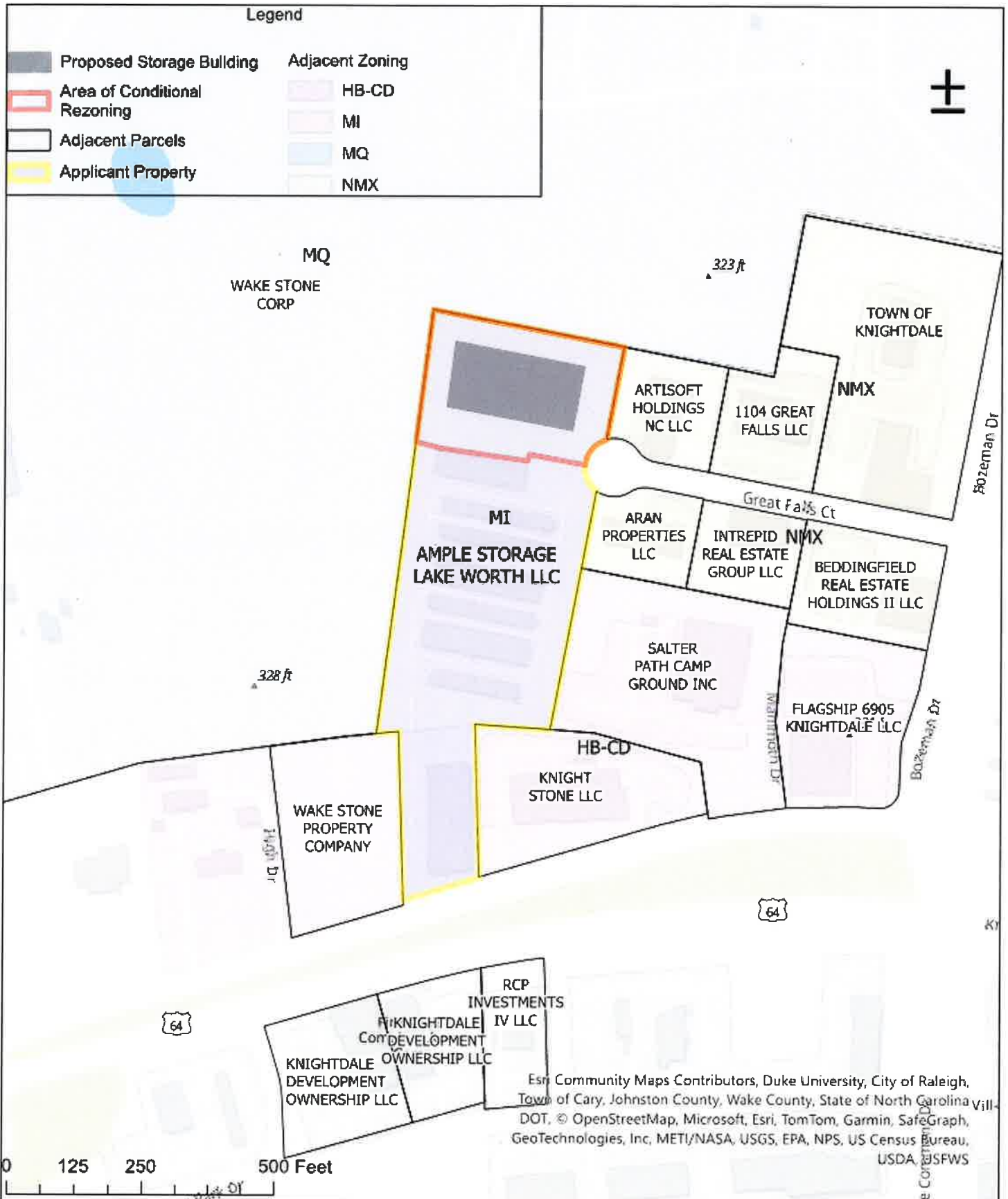
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
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Engineer: Rivers & Associates, Inc.
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City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
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Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
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 BUILDING
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EX. WOODED AREA

EX. WOODED AREA

N/F
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 USE TYPE SINGLFAM

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EX. OFFICE

EX. WOODED AREA

N/F
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 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
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 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
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**SKETCH PLAN
 PROJECT AREA**



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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTOALE - ST. MATTHEWS TWSWP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008
DRAWN BY:	EDN	DRAWING No.	W-4073-SK
CHECKED BY:	JSJ	SCALE	1"=50'
		DATE	APRIL 1, 2024

SHEET No.
1

P:\PROJECTS\AMPLE - MAPLE - SITE\PROJECT\2023008\DRAWING\PROJECT\DWG\AMPLE - PROJECT\DWG - 4/1/2024 2:17:01 PM - EDWIN HANSE

April 1, 2024

Artisoft Holdings, LLC
1106 Great Falls Ct
Knightdale, NC 27545-5801

Re: Ample Storage Expansion

Dear Artisoft Holdings, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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Development Services 2022 Meeting & Submittal Schedule

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ENGINEERS

PLANNERS

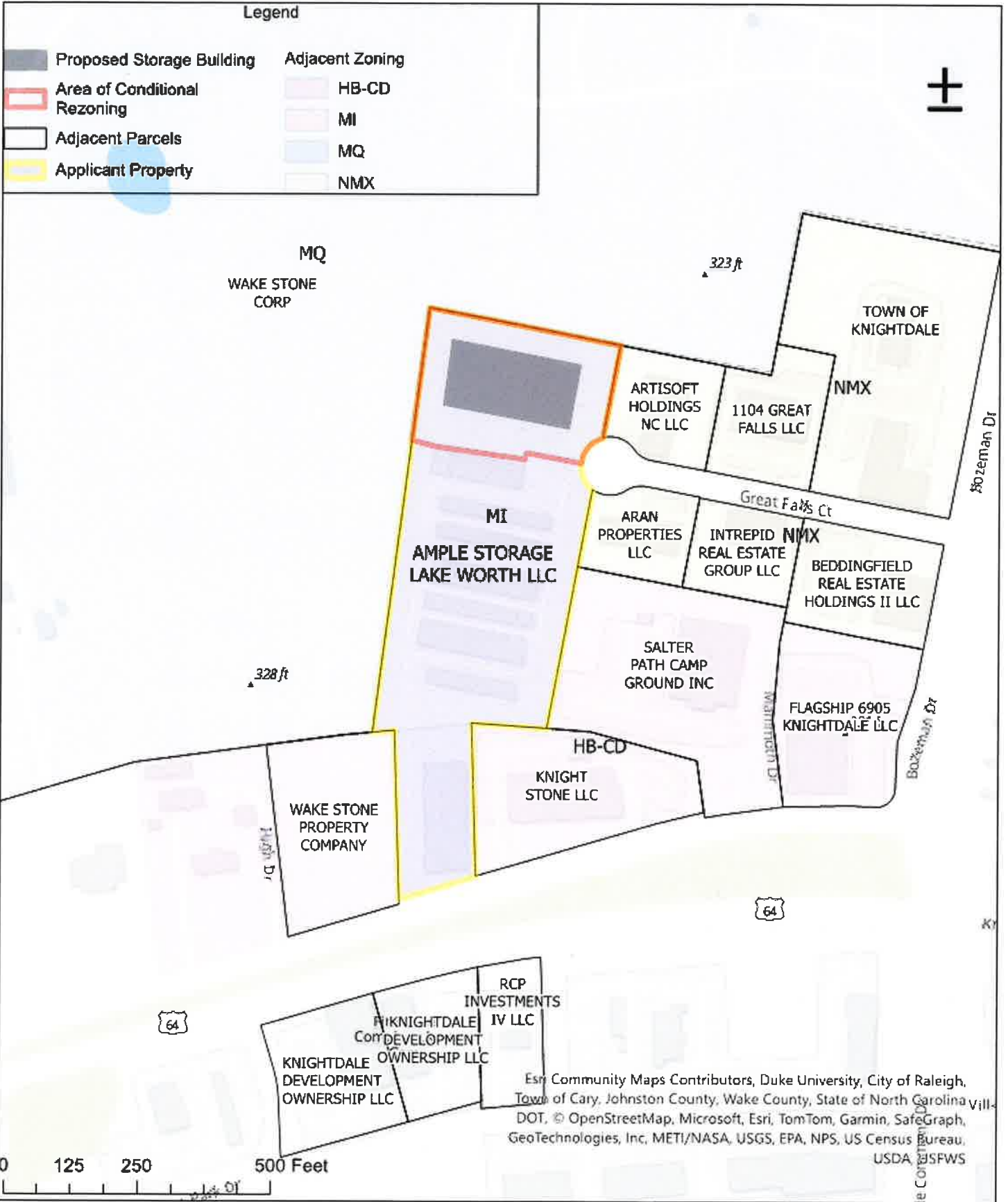
SURVEYORS

LANDSCAPE ARCHITECTS

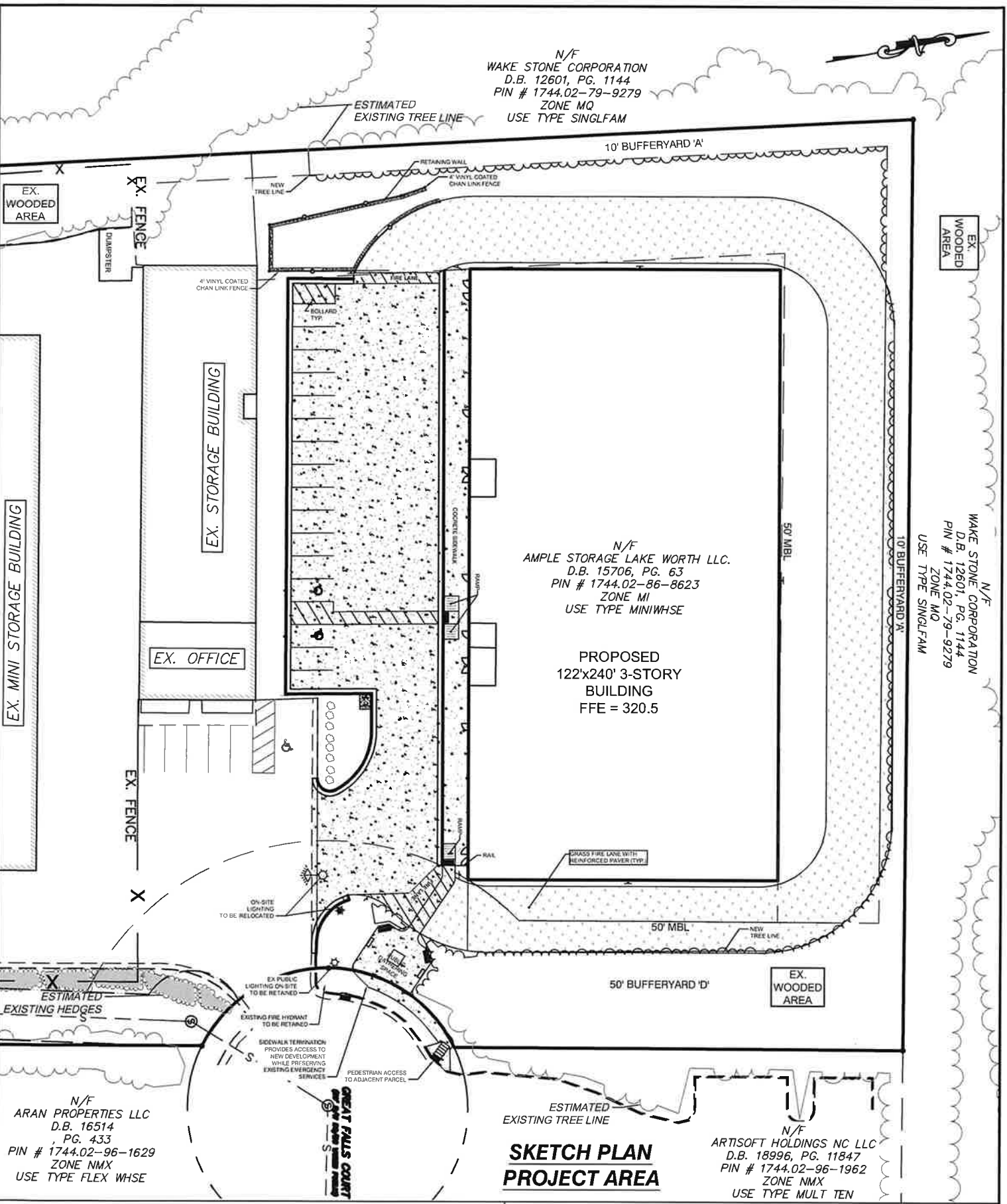
Project Contact Information

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Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM



P:\PROJECTS\2024\20240604\20240604.DWG - DWGSETUP\DWGSETUP.DWG - 8.5.11.2024 - LAYOUT1 (1) - 4/17/2024 2:12:50 PM - LORIAN HANCOCK

Engineers
Planners
Surveyors
Landscape Architects

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LAMPE MANAGEMENT COMPANY

AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWSP, - WAKE CO, - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

April 1, 2024

Ample Storage Lake Worth, LLC
PO Box 608
Smithfield, NC 27577-0608

Re: Ample Storage Expansion

Dear Ample Storage Lake Worth, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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ENGINEERS

PLANNERS

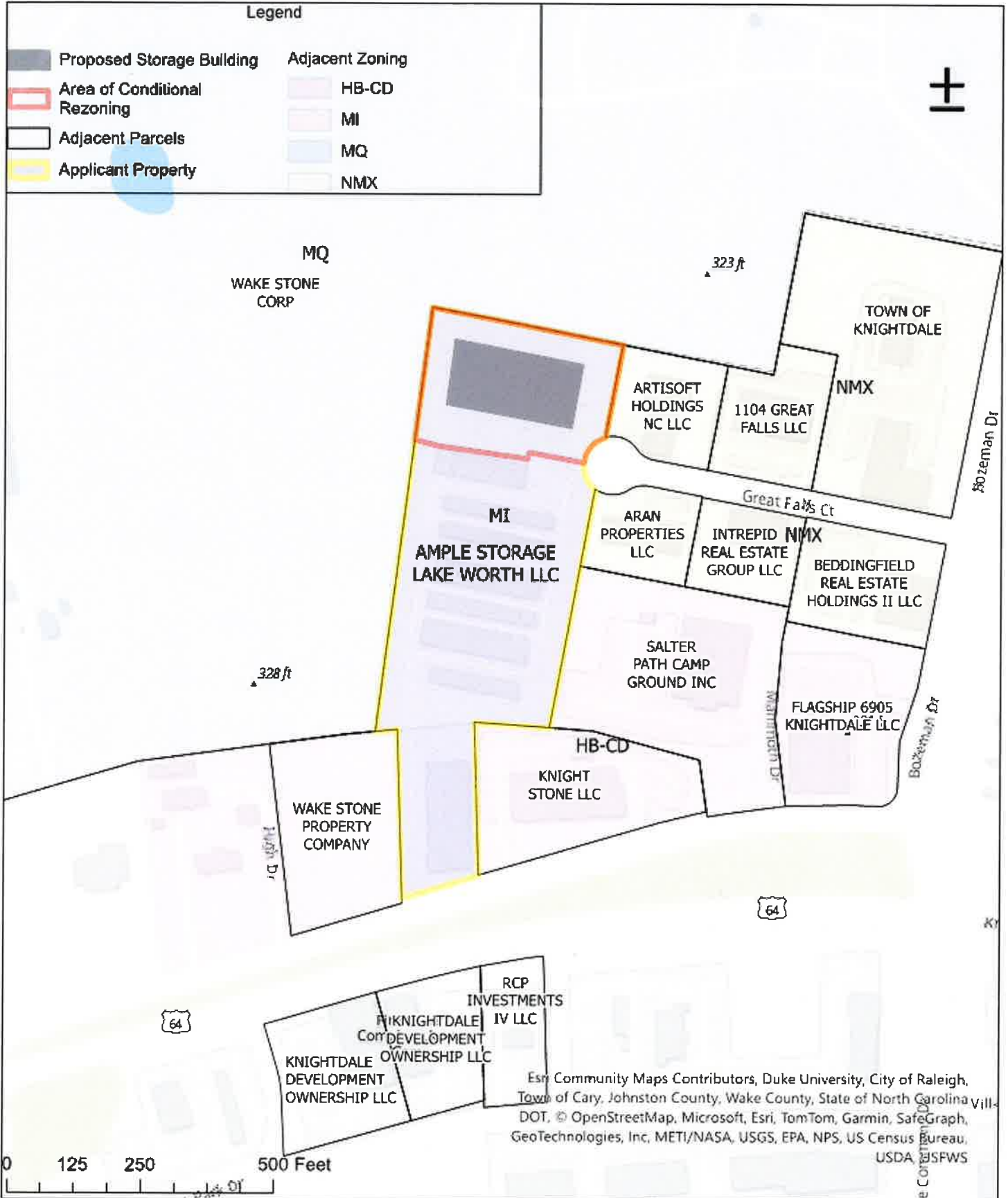
SURVEYORS

LANDSCAPE ARCHITECTS

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City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



April 1, 2024

Salter Path Camp Ground, LLC
PO Box 2323
Atlantic Beach, NC 28512-2323

Re: Ample Storage Expansion

Dear Salter Path Camp Ground:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Approving Authority: Town Council Legislative Approval

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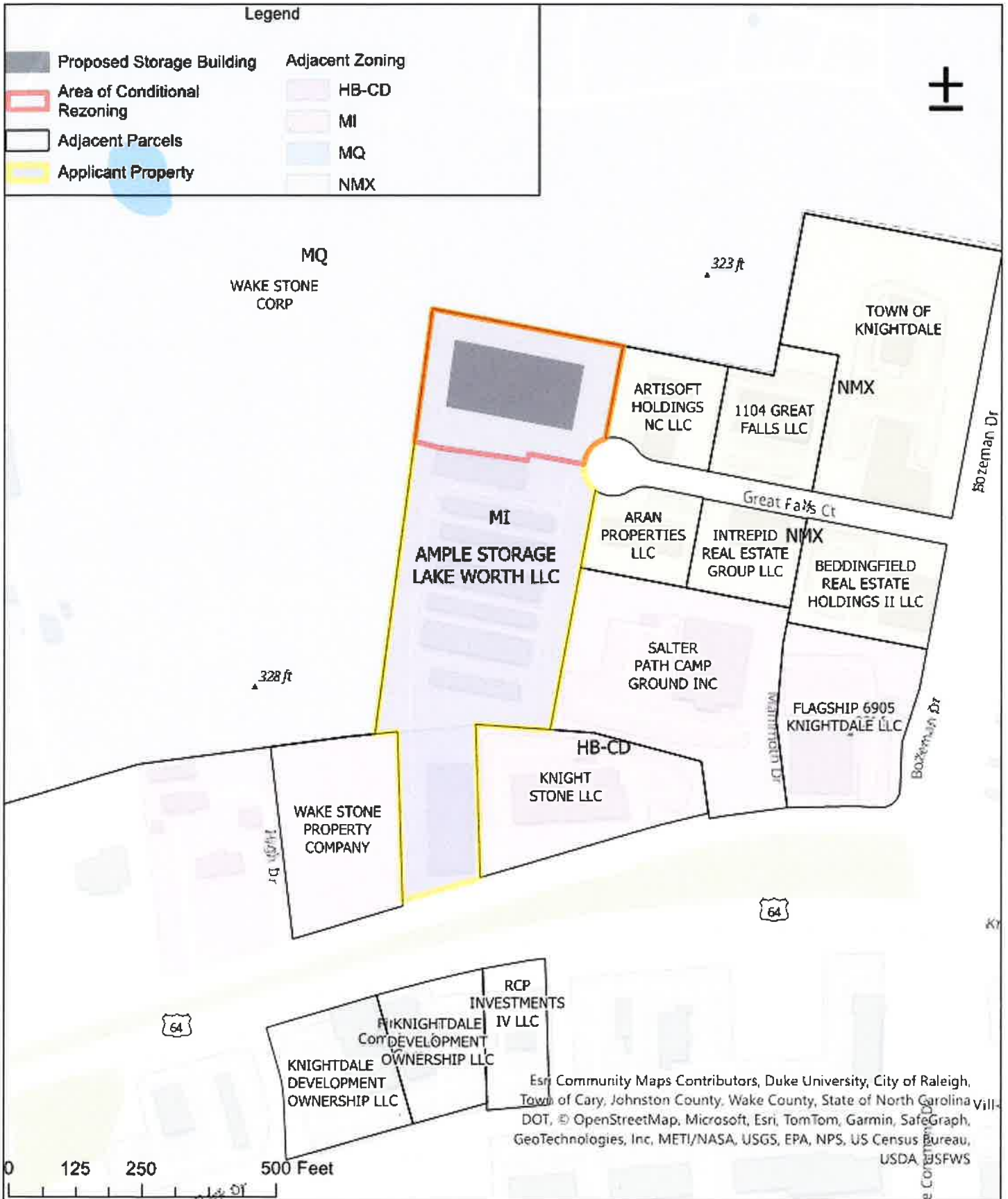
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Location: 1107 Great Falls Ct, Knighdale, NC 27545
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City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
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Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

ESTIMATED
 EXISTING TREE LINE

10' BUFFERYARD 'A'

EX. WOODED AREA

EX. FENCE

EX. STORAGE BUILDING

EX. OFFICE

EX. MINI STORAGE BUILDING

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

10' BUFFERYARD 'A'

50' MBL

50' BUFFERYARD 'D'

EX. WOODED AREA

ESTIMATED
 EXISTING HEDGES

ON-SITE LIGHTING TO BE RELOCATED

EX. PUBLIC LIGHTING ON SITE TO BE RETAINED

EXISTING FIRE HYDRANT TO BE RETAINED

SIDEWALK TERMINATION PROVIDES ACCESS TO NEW DEVELOPMENT WHILE PRESERVING EXISTING EMERGENCY SERVICES

PEDESTRIAN ACCESS TO ADJACENT PARCEL

GREAT FALLS COURT

ESTIMATED
 EXISTING TREE LINE

**SKETCH PLAN
 PROJECT AREA**

N/F
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 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

N/F
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 D.B. 16514
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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008
DRAWN BY:	EDN	DRAWING No.	W-4073-SK
CHECKED BY:	JSJ	SCALE	1"=50'
		DATE	APRIL 1, 2024

SHEET No.
1

PLANNING: JAMIE WATKINS, DESIGN: JEFFREY WATKINS, LANDSCAPE ARCHITECTURE: JEFFREY WATKINS, 4073 STATE ST. SUITE 400, RALEIGH, NC 27609

April 1, 2024

Knightdale Development Group, LLC
The Widewaters Group, Inc
5845 Widewaters Pkwy, Ste 100
East Syracuse, NY 13057-3078

Re: Ample Storage Expansion

Dear Knightdale Development Group, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

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Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

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ENGINEERS

PLANNERS

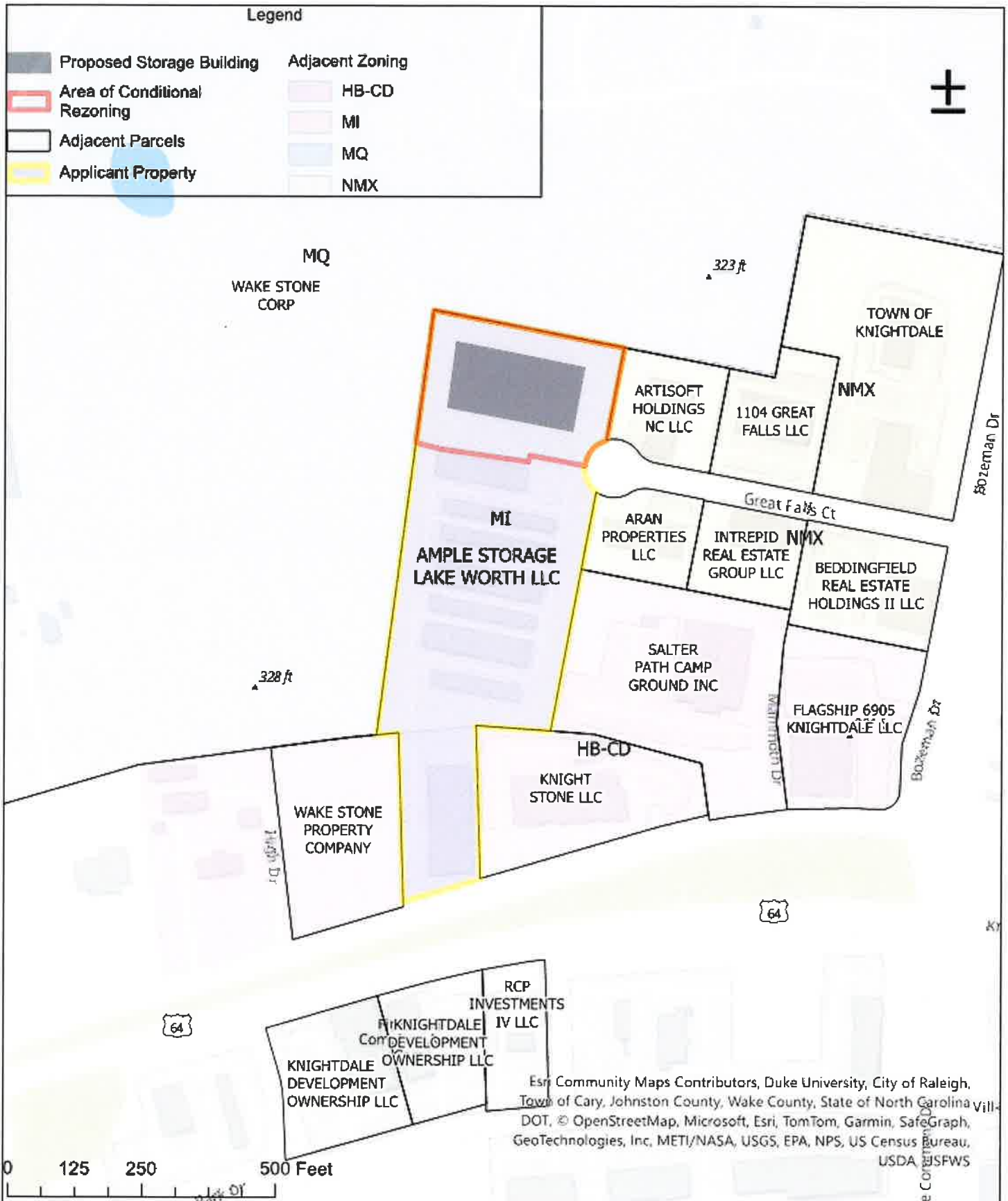
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

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Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

EX. WOODED AREA

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
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EX. WOODED AREA

**SKETCH PLAN
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N/F
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 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

PLANNING AND DESIGN SERVICES, INC. 4073 STATE STREET, SUITE 200, RALEIGH, NC 27609 (919) 871-1111



ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Wake Stone Corporation
PO Box 190
Knightdale, NC 27545-0190

Re: Ample Storage Expansion

Dear Wake Stone Corporation:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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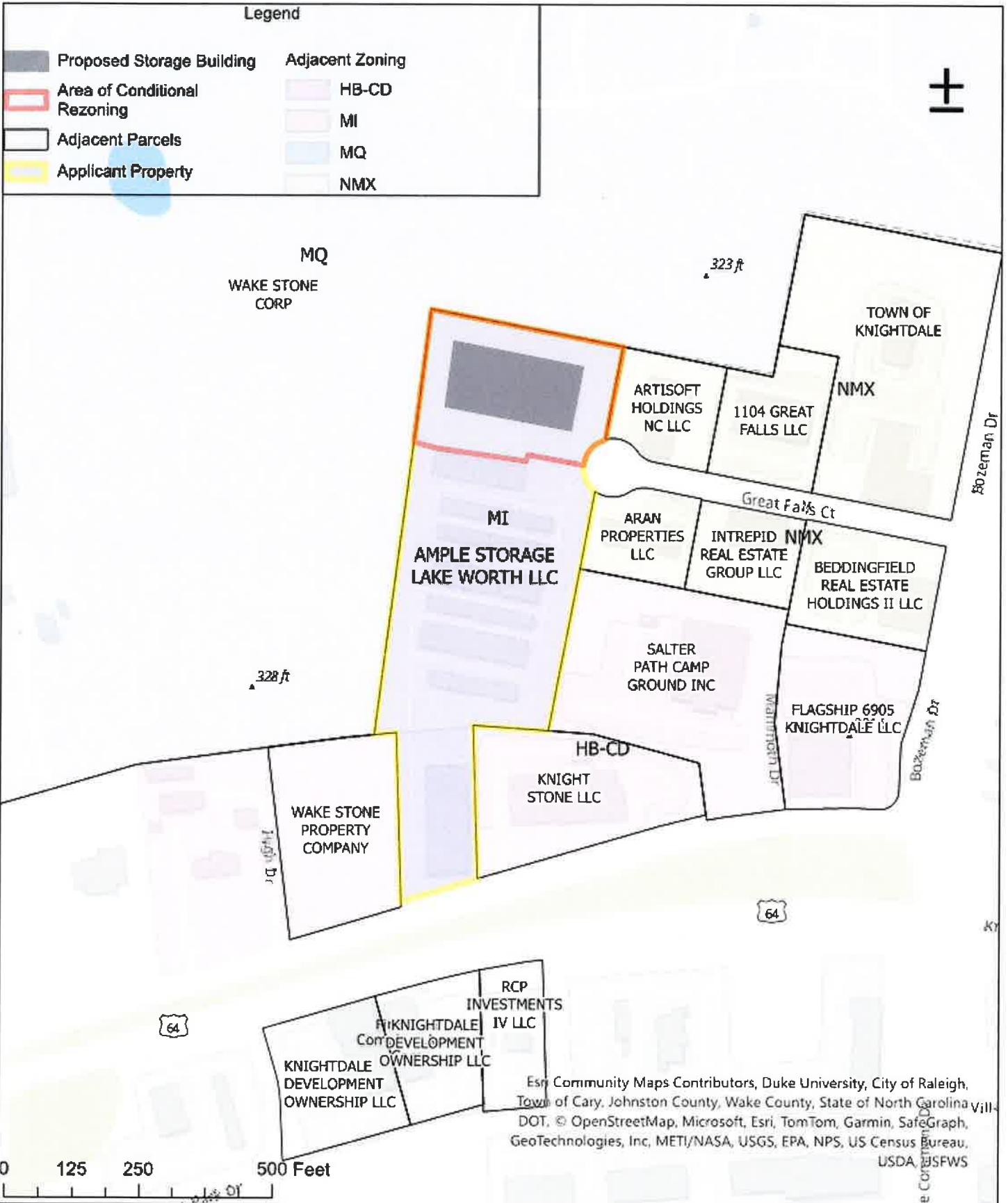
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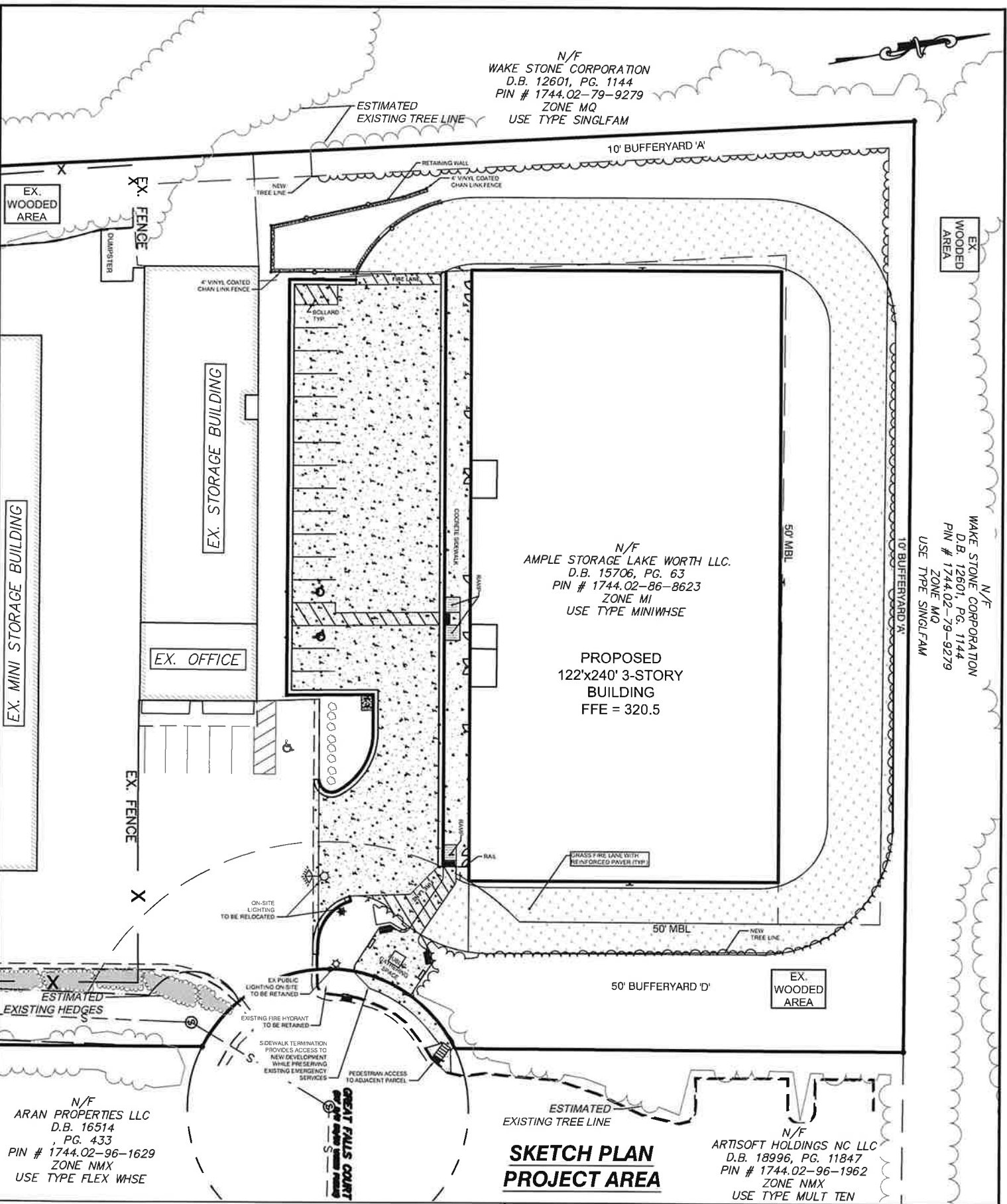
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City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



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N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

**SKETCH PLAN
 PROJECT AREA**

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Engineers
Planners
Surveyors
Landscape Architects

Rivers & ASSOCIATES, INC.
 Since 1918
 riversandassociates.com

Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWSP. ~ WAKE CO. ~ NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

P:\PROJECTS\AMPLE - WAKE - ESTD\POSTAL\2023008\DWG - DWG\SETUP\4073-SK.dwg - 4/1/2024 2:12:50 PM - CORIN WANCE

April 1, 2024

Ready Mixed Concrete Co
3015 Windward Plaza, Suite 300
Alpharetta, GA 30005-8713

Re: Ample Storage Expansion

Dear Ready Mixed Concrete Company:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule (https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2nd St, Greenville, NC 27858, (252) 752-4135 mprokop@riversandassociates.com

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.



ENGINEERS

PLANNERS

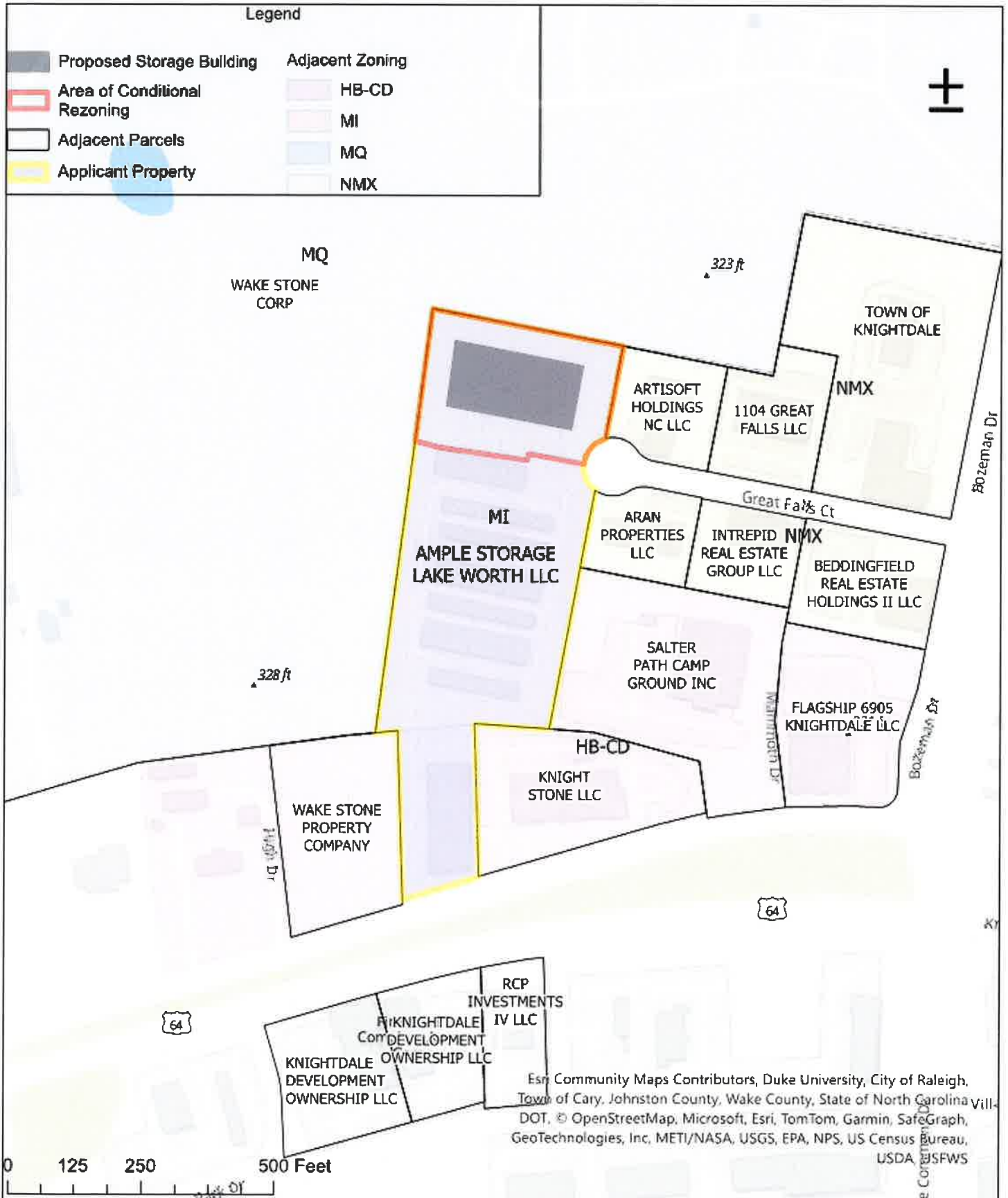
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

ESTIMATED
 EXISTING TREE LINE

10' BUFFERYARD 'A'

EX. WOODED AREA

EX. FENCE

EX. STORAGE BUILDING

EX. OFFICE

EX. MINI STORAGE BUILDING

EX. FENCE

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 O.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

10' BUFFERYARD 'A'

EX. WOODED AREA

50' BUFFERYARD 'D'

ESTIMATED EXISTING HEDGES

ON-SITE LIGHTING TO BE RELOCATED

EX PUBLIC LIGHTING ON-SITE TO BE RETAINED

EXISTING FIRE HYDRANT TO BE RETAINED

SIDEWALK TERMINATION PROVIDES ACCESS TO NEW DEVELOPMENT WHILE PRESERVING EXISTING EMERGENCY SERVICES

GREAT FALLS COURT
 4000 Falls Road
 Raleigh, NC 27609

N/F
 ARAN PROPERTIES LLC
 O.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

ESTIMATED EXISTING TREE LINE

**SKETCH PLAN
 PROJECT AREA**

N/F
 ARTISOFT HOLOINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Engineers
 Planners
 Surveyors
 Landscape Architects



Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No:	2023008
DRAWN BY:	EDN	DRAWING No:	W-4073-SK
CHECKED BY:	JSJ	SCALE:	1"=50'
		DATE:	APRIL 1, 2024

SHEET No.
1

PLAN NUMBER: AMPL-0001, DATE: 04/01/2024, DRAWN BY: EDN, CHECKED BY: JSJ, PROJECT: AMPLE STORAGE - EXPANSION, SHEET: 1 OF 1

April 1, 2024

Knight Stone, LLC
1655 Wake Dr, Unit 101
Wake Forest, NC 27587-4746

Re: Ample Storage Expansion

Dear Knight Stone, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule (https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2nd St, Greenville, NC 27858, (252) 752-4135 mprokop@riversandassociates.com

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.



ENGINEERS

PLANNERS

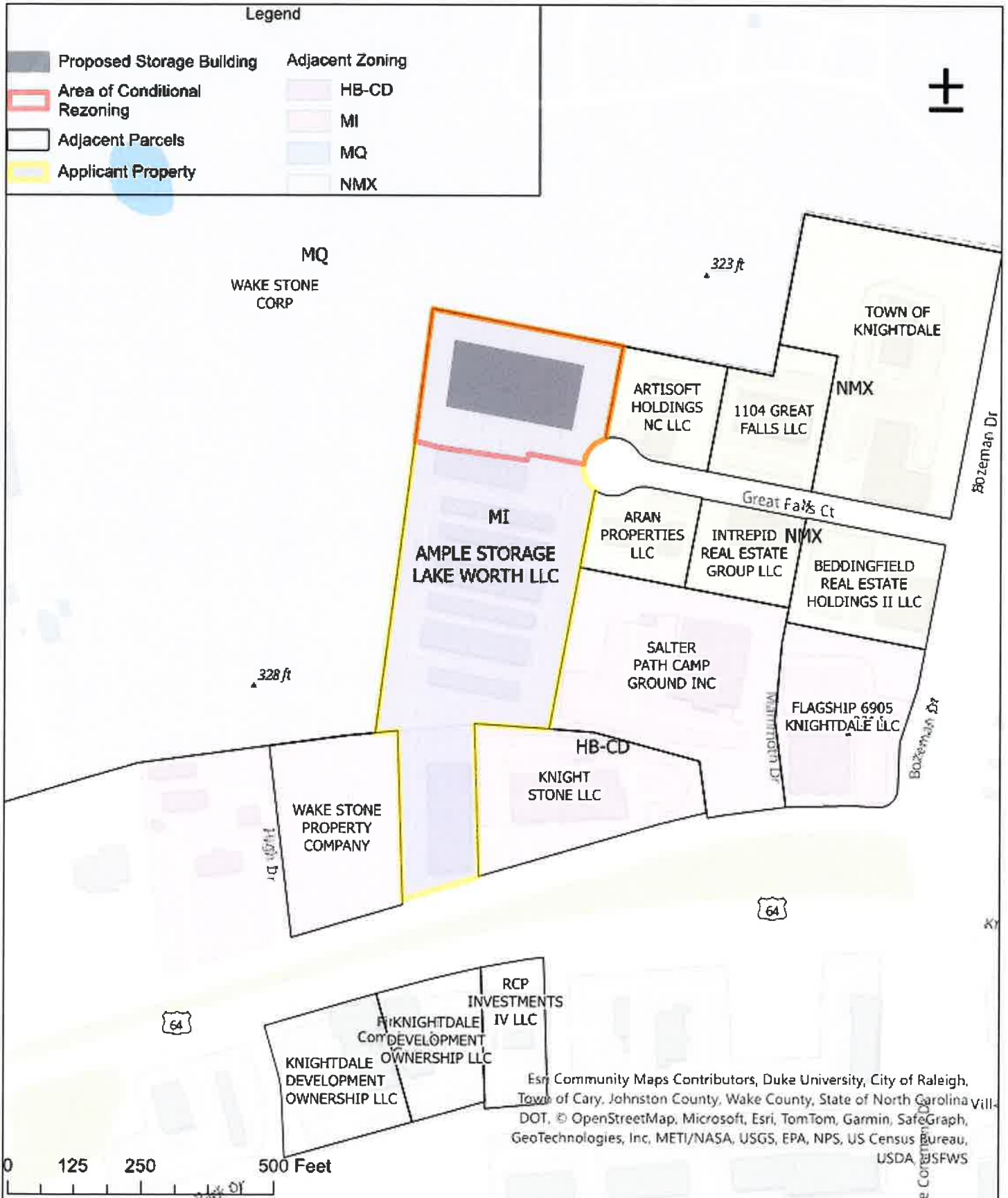
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

ESTIMATED
 EXISTING TREE LINE

10' BUFFERYARD 'A'

EX. WOODED AREA

EX. FENCE

DUMPSTER

EX. STORAGE BUILDING

EX. OFFICE

EX. MINI STORAGE BUILDING

EX. FENCE

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 O.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

10' BUFFERYARD 'A'

50' MBL

50' MBL

50' BUFFERYARD 'D'

EX. WOODED AREA

ESTIMATED EXISTING HEDGES

ON-SITE LIGHTING TO BE RELOCATED

EX PUBLIC LIGHTING ON-SITE TO BE RETAINED

EXISTING FIRE HYDRANT TO BE RETAINED

SIDEWALK TERMINATION PROVIDES ACCESS TO NEW DEVELOPMENT WHILE PRESERVING EXISTING EMERGENCY SERVICES

GREAT FALLS COURT
 4000 Falls Court
 Raleigh, NC 27609
 (919) 871-1111

N/F
 ARAN PROPERTIES LLC
 O.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

ESTIMATED EXISTING TREE LINE

**SKETCH PLAN
 PROJECT AREA**

N/F
 ARTISOFT HOLOINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Engineers
 Planners
 Surveyors
 Landscape Architects

Rivers
 & ASSOCIATES, INC.
 Since 1918
 riversandassociates.com

Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No:	2023008
DRAWN BY:	EDN	DRAWING No:	W-4073-SK
CHECKED BY:	JSJ	SCALE:	1"=50'
		DATE:	APRIL 1, 2024

SHEET No.
1

PLAN NUMBER: MAMP - MAMEL - SITE - 4073/1/24 - 2023008/0000 - 4073 SITE 4.5 X 11.0 DIMS - 1/4"=10' (1/4"=10' 1/2"=20') - 4073/0000 2.12.2024 - TOWN OF KNIGHTDALE

April 1, 2024

Flagship 6905 Knightdale, LLC
2701 Coltsgate Rd, Ste 300
Charlotte, NC 25211-3596

Re: Ample Storage Expansion

Dear Flagship 6905 Knightdale, LLC

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule (https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

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
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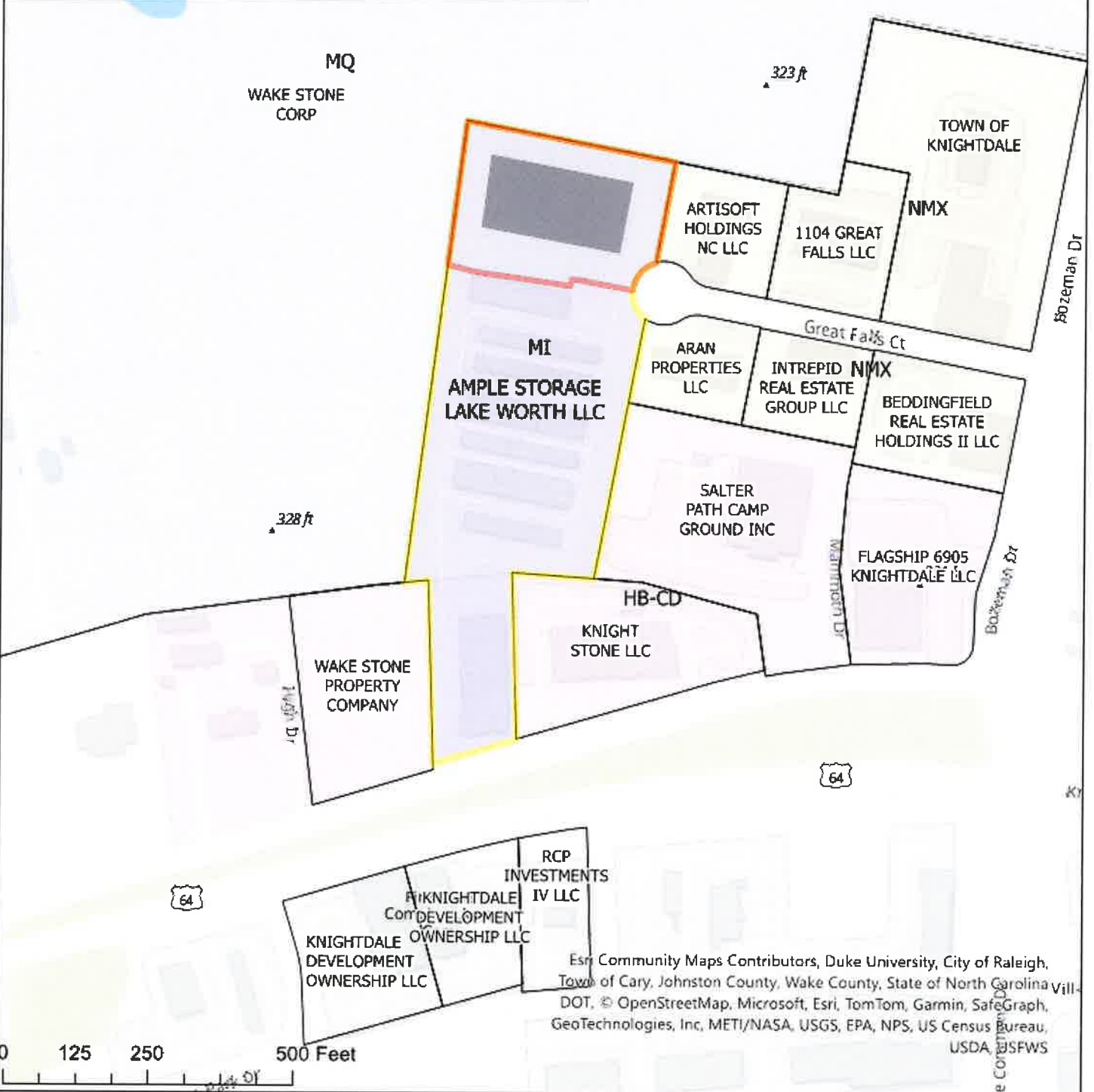
Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion

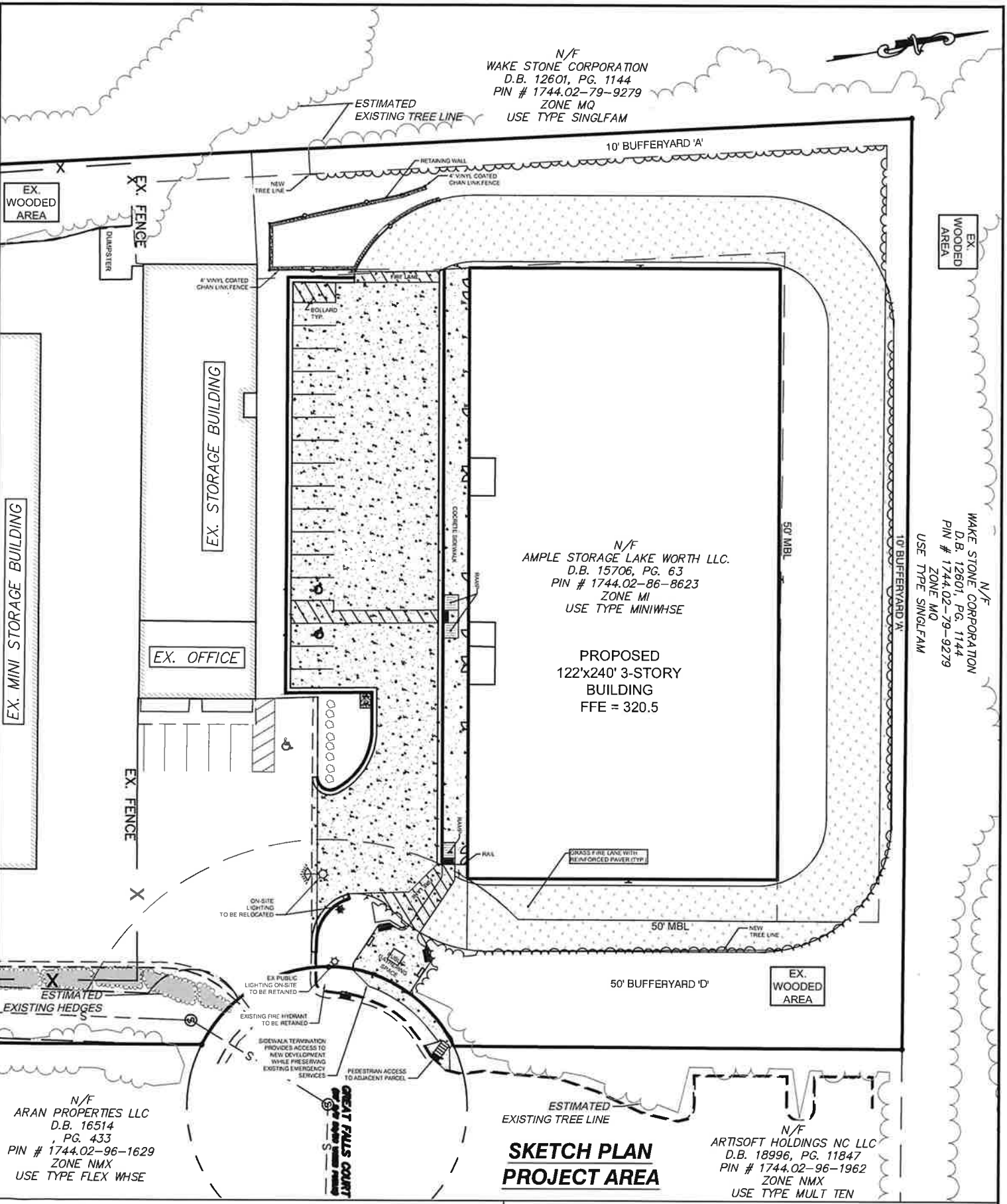
Legend

	Proposed Storage Building	Adjacent Zoning
	Area of Conditional Rezoning	 HB-CD
	Adjacent Parcels	 MI
	Applicant Property	 MQ
		 NMX



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N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

ESTIMATED
 EXISTING TREE LINE
**SKETCH PLAN
 PROJECT AREA**

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**Engineers
 Planners
 Surveyors**

Rivers & ASSOCIATES, INC.
 Since 1918

Landscpe Architects riversandassociates.com

Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY

AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

FIRST-CLASS

US POSTAGE IMPITNEY BOWES
ZIP 27858 \$ 000.64⁰
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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

RCP Investments IV, LLC
307 Berkley Woods Dr.
Ashland, VA 23005-1253

ENGINEERS DI A UNEDC CUBUEVNDG I AMDCPADE ADPHTERTYS



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

**Beddingfield Real Estate
Holdings II, LLC
114 W. Main Street
Durham, NC 27701-3604**

FNRMFEDCS

DI AMMDCS

CIDHVFVDC

I AMPCADE ADPQTEPTC

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\$ 000.64⁰

FIRST-CLASS

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Intrepid Real Estate Group, LLC
200 Maplewood Drive
Knightdale, NC 27545-9659

LANDSCAPE ARCHITECTS

SURVEYORS

PLANNERS

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ZIP 27858
02 7H
0006042582

\$ 000.64⁰

APR 01 2024



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

1104 Great Falls, LLC
107 Fayetteville Street
Suite 400
Raleigh, NC 27601-2916

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SURVEYORS

LANDSCAPE ARCHITECTS

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ZIP 27858 \$ 000.64⁰
02 7H APR 01 2024
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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Aran Properties, LLC
1621 Kirkby Lane
Raleigh, NC 27614-7228

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Artisoft Holdings NC, LLC
1106 Great Falls Court
Knightsdale, NC 27545-5801

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SURVEYORS

LANDSCAPE ARCHITECTS

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0006042582 APR 01 2024

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Ample Storage Lake Worth, LLC
P.O. Box 608
Smithfield, NC 27577-0608

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

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US POSTAGE TM PITNEY BOWES



ZIP 27858 \$ 000.64⁰
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0006042582 APR 01 '2024



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Salter Path Camp Ground, Inc.
P.O. Box 2323
Atlantic Beach, NC 28512-2323

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SURVEYORS

LANDSCAPE ARCHITECTS

US POSTAGE IMPIPITNEY BOWES



ZIP 27858 \$ 000.64⁰
02 7^H
0006042582 APR 01 2024



FIRST-CLASS



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Knightdale Development Ownership, LLC
5845 Widewaters Parkway
Suite 100
East Syracuse, NY 13057-3078

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SURVEYORS

LANDSCAPE ARCHITECTS

FIRST-CLASS



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ZIP 27858 \$ 000.88⁰

02 7H APR 01 2024
0006042582



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Wake Stone Corp.
P.O. Box 190
Knightdale, NC 27545-0190

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

FIRST-CLASS



US POSTAGE PAID



ZIP 27858
02 7H
0006042582 APR \$ 00



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

**Ready Mixed Concrete Co.
3015 Windward Plaza
Suite 300
Alpharetta, GA 30005-8713**

ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

FIRST-CLASS

US POSTAGE PAID PITNEY BOWES



ZIP 27858 \$ 000.88⁰⁰
02 7H
0006042582 APR 01 2024



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835



Knight Stone, LLC
1655 Wake Drive
Unit 101
Wake Forest, NC 27857-4746

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

FIRST-CLASS



US POSTAGE



ZIP 27858
02 7H
0006042582 APR 01 2024

SMI PITNEY BOWES



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Flagship 6905 Knightdale, LLC
2701 Coltsgate Road
Suite 300
Charlotte, NC 28211-3596

ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS



NEIGHBORHOOD MEETING ATTENDANCE SHEET

Please list Neighborhood Meeting Attendees who provided their name and/or contact information either during the meeting or via phone/email before or after the meeting. Use duplicate sheets if needed.

	Name/Organization	Address	Phone Number	Email Address	Follow Up Requested?
1.					
2.	NONE IN ATTENDANCE				
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					
11.					
12.					
13.					
14.					
15.					