

Town of Knightdale

950 Steeple Square Ct Knightdale, NC 27545 KnightdaleNC.gov

Project Overview #1083040

Project Title: Ample Storage Expansion

Jurisdiction: Town of Knightdale

Application Type: Conditional District Rezoning (Full)State: NCWorkflow: Conditional District Rezoning: Master Plan (Step 2)County: Wake

#### **Project Contacts**

**Contact Info: Applicant** 

Terry Wethington
Lampe Management
225 E. Peedin Rd
Smithfield, NC 27577
P:252-640-2664

terryw@lampemanagement.com

Contact Info: Engineer

Matthew Prokop

Rivers & Associates, Inc.

6131 Falls of Neuse Road, Suite 300

Raleigh, NC 27609 P:(919) 848-3347

mprokop@riversandassociates.com

Please indicate which of the following contacts should be

included in this project.: Engineer

## **Contact Info: Property Owner**

Terry Wethington Lampe Management 225 E. Peedin Rd Smithfield, NC 27577 P:252-640-2664

terryw@lampemanagement.com

#### **Project Location**

#### **Project Address:**

 6839 KNIGHTDALE BLVD, KNIGHTDALE, NC 27545
 1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545

Total Acreage: 2.01

PIN: 1744868623

#### **Project Description**

#### **Brief Description of Project:**

Ample Storage Center, located at 6839 Knightdale Blvd, desires to expand their existing facility on the north end of their property (Parcel # 1744868623). Enclosed is the Sketch Plan for review.

The existing facility was developed in two phases. Phase 1 is located at1107 Great Falls Ct and includes the more traditional one-story exterior storage units. Phase 2 is located at 6839 Knightdale Blvd and includes a multi-story mini-storage building. The proposed development will be the construction of one 29,280 sf, 3-story indoor mini-storage facility (87,840 sf total floor area) at the rear of the property, abutting TRW Electric Supply and the Wake Stone Corporation quarry.

The project area is currently wooded. No other environmental features are present on site. Proposed development is consistent with the existing development on the same parcel. The project area is bounded on two sides by the existing quarry and a third side by the existing on-site development. The final side adjoins TRW Electric Supply and will include preservation of the existing wooded area as part of the requisite screening buffer. The existing and proposed tree lines are shown on the Natural Resources Sketch Plan.

The proposed development will be accessed via the existing Phase 1 entrance at the end of Great Falls Ct. The proposed use will likely not increase traffic demand along the street significantly, and will not require any additional public infrastructure outside of fire protection.

Given that the proposed development matches the existing development on site, and given the adjacent land use and site location, the proposed indoor mini-storage facility fits within the spirit of the Knightdale Comprehensive Plan. Detailed reasonings are discussed below.

Applicant seeks to request a variance pertaining to UDO 6.4 and UDO 6.12. Applicant has attached proposed building elevations and a depiction of the visible effects on neighboring properties to illustrate the non-offensive nature of the requested variance once required vegetative buffers are accounted for. Applicant intends on requesting this variance from the Town Council.

#### **Project Location Data**

Inside Corporate Limits: Yes

Current Land Use: Manufacturing/Wholesale/Storage

Proposed Land Use (General):

Current Zoning: MI - Manufacturing and Industrial

Manufacturing/Wholesale/Storage

#### **Residential Information**

Does this project include a residential component?: No Proposed Density:

Number of Townhome Lots:

Number of Detached Single Family Lots:

Total Number of Proposed Residential Lots: 0

Number of Multi-Family/Apartments Units:

Number of alley loaded lots: Number of front loaded lots:

Please Note: Knightdale's Unified Development Ordinance has unique regulations pertaining to mass grading and landscape preservation. Please consult the UDO regulations below to ensure your proposed project meets the requirements.

As outlined in *UDO Chapter 9.3: Residential Clearing & Grading*, mass grading is prohibited except where residential lots are less than 60 feet in width.

As outlined in *UDO Chapter 7.4.H: Tree Protection*, there are requirements for landscape preservation, tree save areas, protection measures, and replacement specifications.

#### **Non-Residential Information**

Does this project include a non-residential component?: Total Number of Proposed Non-Residential Lots: 1

Yes

**Total Number of Non-Residential Buildings: 1** 

If your project contains more than three buildings, please upload total proposed square footage information as part of your project documents.

Building #1 Square Footage: 29280 Building #2 Square Footage:

**Building #3 Square Footage:** 

Please Note: Knightdale's Unified Development Ordinance has unique regulations pertaining to landscape preservation. Please consult the UDO regulations below to ensure your proposed project meets the requirements.

As outlined in *UDO Chapter 7.4.H: Tree Protection*, there are requirements for landscape preservation, tree save areas, protection measures, and replacement specifications.

#### **Utility & Stormwater Information**

Proposed Water Supply: N/A

Proposed Wastewater Supply: N/A

How will stormwater management be addressed?: New

System or Device

Does the proposed development anticipate the addition or

extension of public streets?: No

Description of Public Utility Connection (Water Supply):

**Description of Public Utility Connection (Wastewater** 

Supply):

New Device Type: Bioretention Area

Does the parcel(s) contain any of the following

environmental/natural features?: N/A

## **Neighborhood Meeting Information**

**Please Note:** A full Neighborhood Meeting Report is a required element of this application. The questions below must answered and are not a substitution for providing a full report, as outlined in the application checklist.

Date of Mailed Notification: 04/02/2024

**Number of Property Owners Contacted: 13** 

Provide a brief summary of the meeting, including any issues or concerns that were discussed.:

With zero attendance, no issues were presented at the meeting.

Verbal agreement was obtained from owner of Wake Stone Corp prior to meeting. Issue was pertaining to maintenance of a screening buffer. **Date of Neighborhood Meeting:** 04/11/2024 **Number of Residents in Attendance:** 0

## **Comprehensive Plan Consistency**

**Current 2035 Comprehensive Plan Placetype Designation:** Retail

Provide brief statements regarding whether the rezoning request is consistent with the Growth Framework designation, Growth & Conservation Placetype, and any applicable policies contained within the 2035 Comprehensive Plan.:

Though the parcel does face Knightdale Blvd, the project area will be accessed via Great Falls Ct, which is neither a high-volume road, nor has a key intersection. Retail development at the end of a cul-de-sac could potentially increase traffic demand past what the existing street could handle.

## **UDO Consistency**

**Please Note:** All standards and requirements of the corresponding Base/General District must be met, except to the extent that the conditions imposed are more restrictive than those standards. If a Conditional District is required per UDO Ch. 3, certain UDO standards may be decreased or modified.

Proposed Base Zoning District: MI - Manufacturing and

Industrial

**UDO Building Type:** Manufacturing

Project Type: New Construction or Site Development

Explain how the project is consistent with the Unified Development Ordinance:

Project is a continuation of the exiting use on the same parcel.

List all requested Land Use Categories to be permitted within the Conditional District.:

## **Water Allocation Policy Compliance**

**Please Note:** Connection to municipal water requires compliance with the Water Allocation Policy. Projects must be awarded 50 points or more to merit water allocation. Specific information regarding policy compliance must be included in the Master Plan submittal.

Land Use Category: 30 pts- All Other Uses Not Categorized Base Points: 30

Bonus Points: 0 Total Points Proposed: 30

# Ample Storage Center 6839 Knightdale Blvd Knightdale, NC 27545 Proposed Indoor Self Storage

Proposed +/-28,800 SF, 3-Story Indoor Self-Storage Building

Master Plan Submittal

Comprehensive Plan Consistency

May 21, 2024

## **General Narrative**

Ample Storage Center, located at 6839 Knightdale Blvd, desires to expand their existing facility on the north end of their property (Parcel # 1744868623). Enclosed is the Sketch Plan for review.

The existing facility was developed in two phases. Phase 1 is located at 1107 Great Falls Ct and includes the more traditional one-story exterior storage units. Phase 2 is located at 6839 Knightdale Blvd and includes a multi-story mini-storage building. The proposed development will be the construction of one 29,280 sf, 3-story indoor mini-storage facility (87,840 sf total floor area) at the rear of the property, abutting TRW Electric Supply and the Wake Stone Corporation quarry.

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The proposed development will be accessed via the existing Phase 1 entrance at the end of Great Falls Ct. The proposed use will likely not increase traffic demand along the street significantly, and will not require any additional public infrastructure outside of fire protection.

Given that the proposed development matches the existing development on site, and given the adjacent land use and site location, the proposed indoor mini-storage facility fits within the spirit of the Knightdale Comprehensive Plan. Detailed reasonings are discussed below.

## **Growth Framework Map Consistency**

The site is located within existing town limits. The project area is described as a 2-acre section of a 7-acre parcel (zoned MI). Existing development on the property includes 95,600 sf of self-storage (Mini-Warehouses).

## **Growth & Conservation Map Consistency**

The site is located within a Retail place type category. Adjacent land uses, along with the designated place type from the published map are as follows:

- Site: Ample Storage (Retail)
- North & West: Wake Stone Corporation Knightdale Quarry (Heavy Industrial).
- Northeast: TRW Electric and Supply Company (Retail).
- East: Auto DRS (Light Industrial)
   Tractor Supply Company (Retail)
- Southeast: Knightdale Pediatrics (Retail).

The growth map designates the property for commercial development (retail). The proposed development is allowed under the UDO zoning and is consistent with existing development.

Given the location and surrounding uses, the proposed office development is consistent with and promotes the vision of the Growth & Conservation Map.

## Trails & Greenways Map Consistency

The site is not located adjacent to any existing or proposed trails, greenways, bicycle routes, parks or open space located within or adjacent to the site, it is consistent with the Trails & Greenways Map.

## **Street Network Map Consistency**

Existing development abuts Knightdale Blvd (NCDOT arterial) and Great Falls Ct. Development will be accessed via the exiting driveway at the end of the cul-de-sac on Great Falls Ct (city). The proposed development (mini-warehouses) will not significantly increase the number of trips along Great Falls Ct. Due to the nature of both the existing and proposed development, pedestrian and bike traffic will be very minimal, if ever. Any increase in vehicular traffic will not pose any risks to either group. The proposed development is consistent with the street network plan.

## **Transit Network**

The project area is not located along any planned transit route. As noted above, demand for transit use will be virtually non-existent for either the existing or proposed uses along Great Falls Ct. The proposed development fits the overall transit network plan.

## **Focus Area Studies**

The project area is not located within any existing Focus Area Study.

## **Water Allocation**

As the proposed development is an expansion of the existing mini-storage facility, no new office/residential facilities are included. Customers will have access to bathroom facilities in the Phase 2 building. No water connections will be used to provide any janitorial services. Submitted plans show only a fire line as part of development. No water demand will be needed to be allocated for the proposed development.

# CIVIL ENGINEER

Rivers & Associates, INC. Greenville, NC



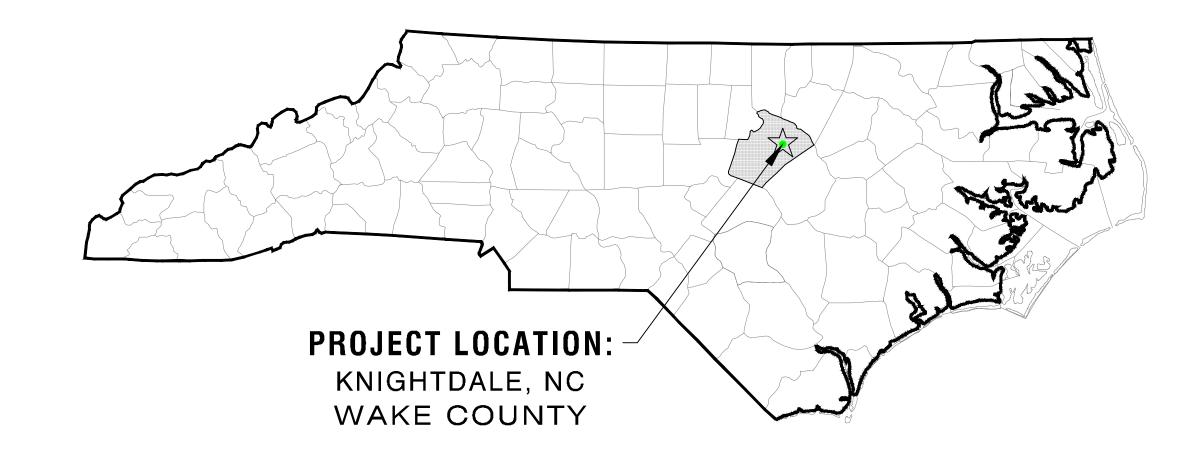
107 East Second Street Greenville, NC 27858 (252) 752-4135

Contact: MATTHEW J. PROKOP, PE mprokop@riversandassociates.com **OWNER/DEVELOPER** 

AMPLE STORAGE LAKE WORTH LLC

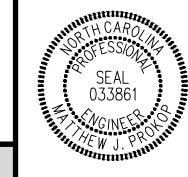
P.O. BOX 608 SMITHFIELD. NC 27577-0608

Contact: TERRY WETINGTON (252) 670-2664 terryw@lampemanagement.com









William China	
5514010110	
REVISIONS:	_

	4	4 COVER SHEET REVISION	10/09/
4	3	3 MASTER PLAN COMMENTS	09/23/
	7	2 TOWN COUNCIL WORKSHOP	./80/60
	1	IMASTER PLAN - FIRST SUBMITTAL	05/21/:
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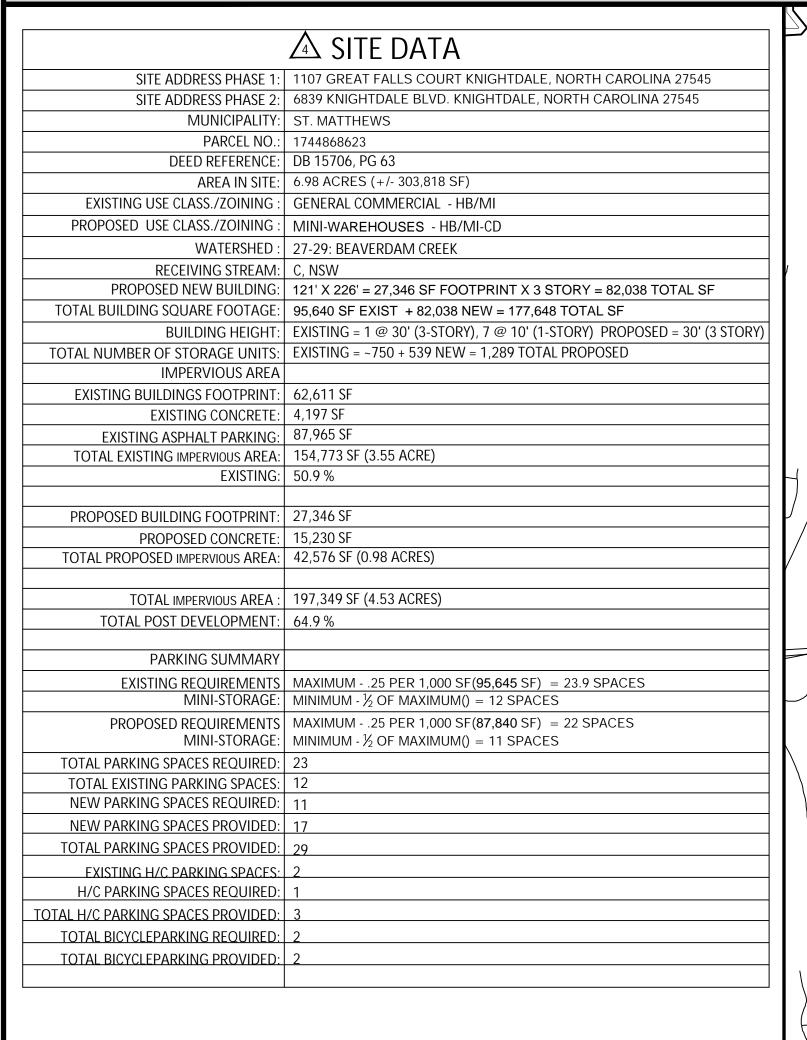
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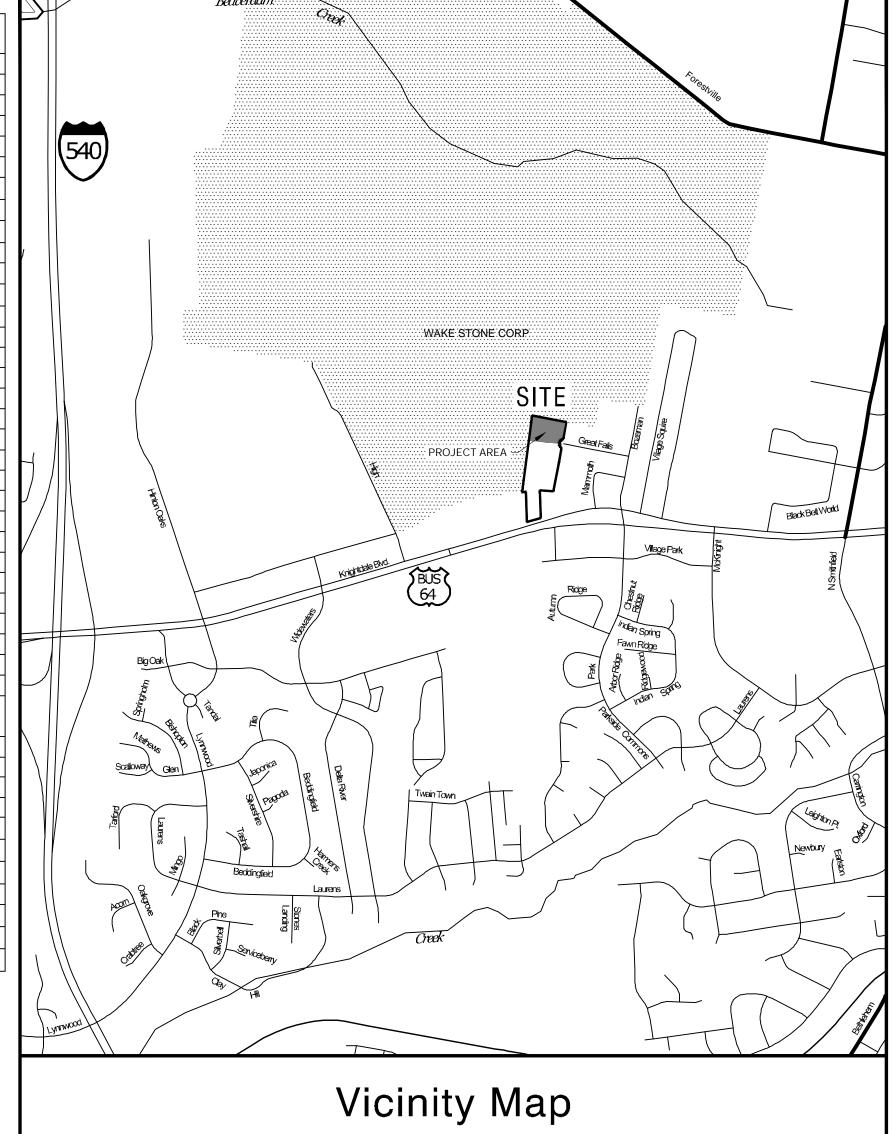
MAY 22, 2024 SIGNED BY: PROJECT No. 2023008

PRAWING No. W-4073-MPAS NOTED

MASTER PLAN (TOK Project # ZMA-5-23)

# AIMPLE STORAGE





Number			
C1.01	COVER SHEET		
C1.11	BOUNDARY SURVEY		
C1.12	NATURAL RESOURCES MASTER PLAN		
C1.21	EXISTING CONDITIONS OVERALL		
C1.22	EXISTING CONDITIONS - PROJECT AREA		
C2.01	MASTER PLAN OVERALL		
C2.10	MASTER PLAN - PROJECT AREA		
C2.51	SITE DETAILS		
C2.52	DRAFT BUILDING ELEVATIONS		
C3.01	UTILITY PLAN		
C4.01	GRADING & STORMWATER MANAGMENT PLAN		
C4.02	STORMWATER DETAILS		
C5.01	SEDIMENTATION & EROSION CONTROL PLAN		
C5.11	SEDIMENTATION & EROSION CONTROL NOTES		
C5.21	SEDIMENTATION & EROSION CONTROL DETAILS		
C5.22	SEDIMENTATION & EROSION CONTROL DETAILS		
C6.41	PAVEMENT MARKING, SIGNAGE & TRAFFIC CONTROL PLAN		
L1.01	LANDSCAPING PLAN		
L2.01	LANDSCAPING DETAILS		
SL1.01	LIGHTING DETAILS		
SL1.02	SITE LIGHTING PLAN		

SHEET INDEX

# **GENERAL NOTES:**

- PROPOSED USE (MINI-WAREHOUSES) WILL REQUIRE CONDITIONAL DISTRICT REZONING PER UDO SECTION 3.1.C.6.I NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING

- BEFORE NOTIFYING ALL APPROPRIATE AUTHORITIES TO THE DATE OF SAID ACTIVITY. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). THIS PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON FIRM PANEL NUMBER 3720174400K,
- WETLANDS AND PONDS, IF PRESENT, ARE DENOTED ON THE SURVEY. NO IMPACTS TO WETLANDS ARE ANTICIPATED. PLEASE BE ADVISED TO OF THE RULES WHICH PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE
- NEUSE AND TAR/PAMLICO RIVER BASINS. THIS RULE IS ENFORCED BY THE DIVISION OF WATER QUALITY (DWQ). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THIS RULE TO THE RALEIGH REGIONAL OFFICE. (919) 791-4200 NEW BUILDINGS MUST COMPLY WITH NC FIRE CODE SECTION 510 -- EMERGENCY RESPONDER RADIO COVERAGE. FIRE
- DEPARTMENT VEHICULAR ACCESS TO ALL STRUCTURES UNDER CONSTRUCTION SHALL BE PROVIDED AT ALL TIMES. 10. CONTRACTOR TO FURNISH ALL PAVEMENT MARKINGS AS SHOWN.
- 11. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY
- 12. SITE LIGHTING IS TO BE INSTALLED WITH COORDINATION BETWEEN CONTRACTOR, OWNER/DEVELOPER AND DUKE ENERGY. 13. COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/S.S. PERMITS, ETC.
- 14. OUTDOOR STORAGE IS PROHIBITED PER UDO SECTTION 5.7.G.1. 15. WATER ALLOCATION POLICY COMPLIANCE: NEW DEVELOPMENT WILL ONLY INCLUDE A FIRE LINE. NO DOMESTIC SERVICE IS
- 16. PROPERTY WILL NOT BE SUBDIVIDED

-OWNER CONTACT INFO UPDATED -TOK PROJ # ADDED -SITE DATA TABLE UPDATED -GENERAL NOTED UPDATED

> **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conform to the requirements established in the Standard Specifications of the Town of

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

Administrator

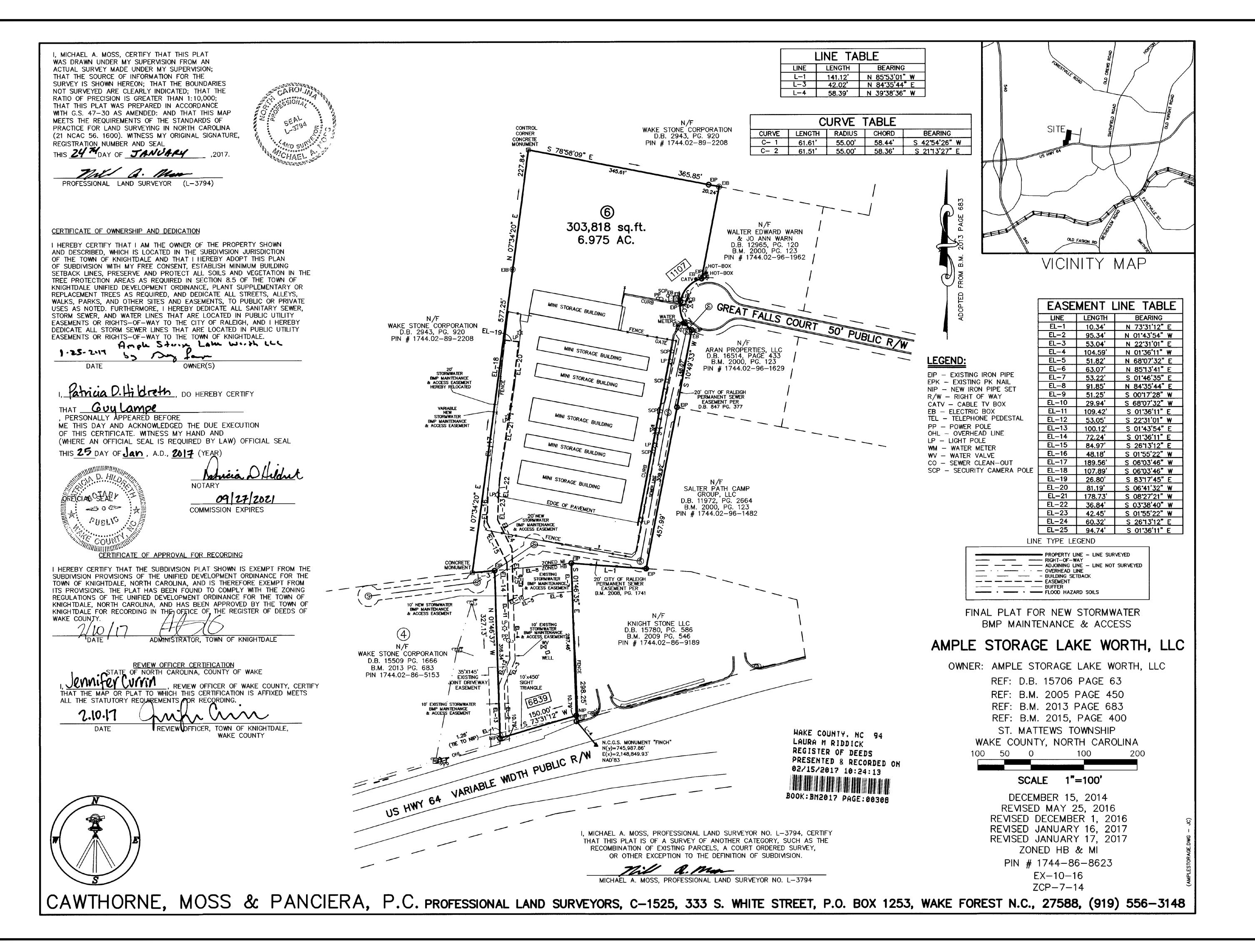
IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN THESE CONSTRUCTION DRAWINGS AND THE TOWN OF KNIGHTDALE'S APPROVED STANDARDS FOR THIS PROJECT, THE APPROVED STANDARDS SHALL CONTROL TOWN OF KNIGHTDALF APPROVED STANDARDS SHALL MEAN ALL DEVELOPMENT DOCUMENTS NECESSARY FOR APPROVAL FOR THE PROPERTY INCLUDING, BUT NOT LIMITED TO, ANY SPECIAL USE PERMIT, SUBDIVISION PLAN, SITE PLAN, SUBDIVISION PLAT(S), PHASING SCHEDULE, DEVELOPMENT AGREEMENT, UTILITY ALLOCATION AGREEMENT, ANNEXATION AGREEMENT, THE TOWN OF KNIGHTDALE STANDARD SPECIFICATION AND DETAILS MANUAL AND

APPLICABLE PROVISIONS OF THE NORTH CAROLINA STATE BUILDING

Professional Design Engineer Certification. These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale , PE, certify that the Standard Specifications of the

Town of Knightdale have been thoroughly checked and found to be applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightdale and said xceptions are shown on Sheet(s) \_\_\_\_\_ of these drawings.

Do Not Use for Construction - PRELIMINARY



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REVISIONS:

 10/09/24

 10/09/24

 10/09/24

 2
 TOWN COUNCIL WORKSHOP
 09/03/24

 1
 IMASTER PLAN - FIRST SUBMITTAL
 05/21/24

 NO.
 DESCRIPTION
 DATE

ST. MATTHEWS TWSP. ~ WAKE CO. ~ NORTH C.

7 22, 2024 E MJ

TE:

MAY 22, 2024

SIGNED BY: MJP

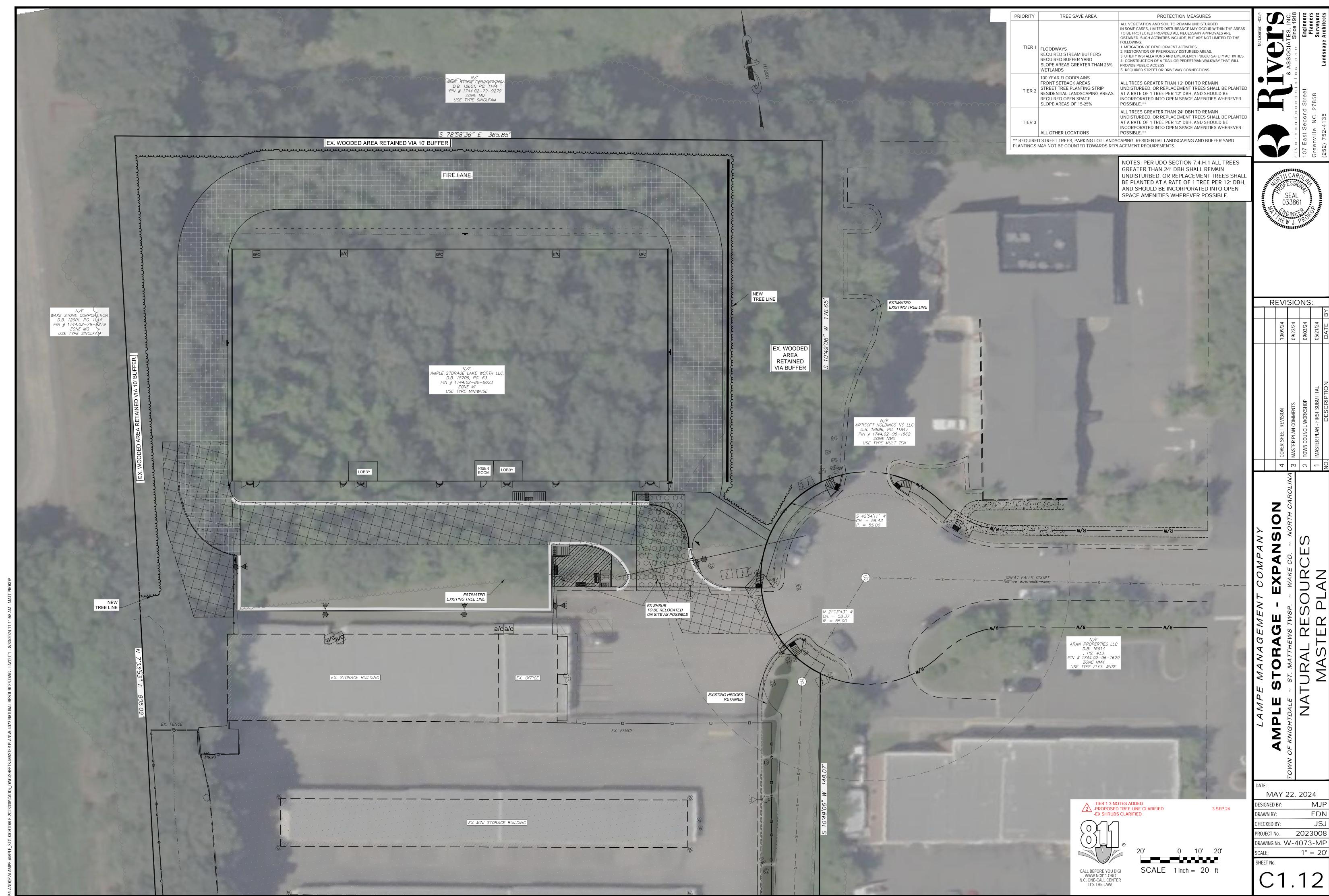
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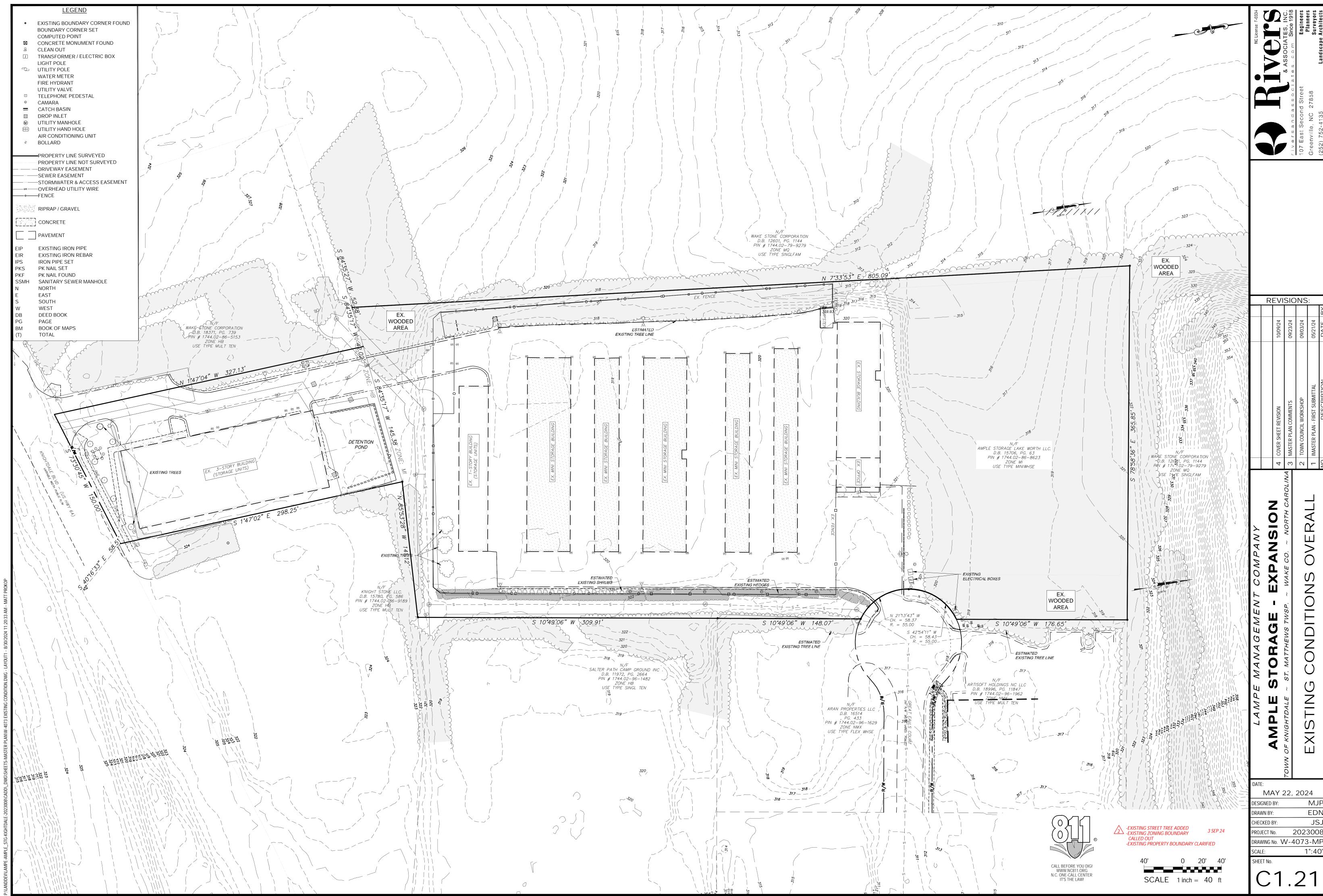
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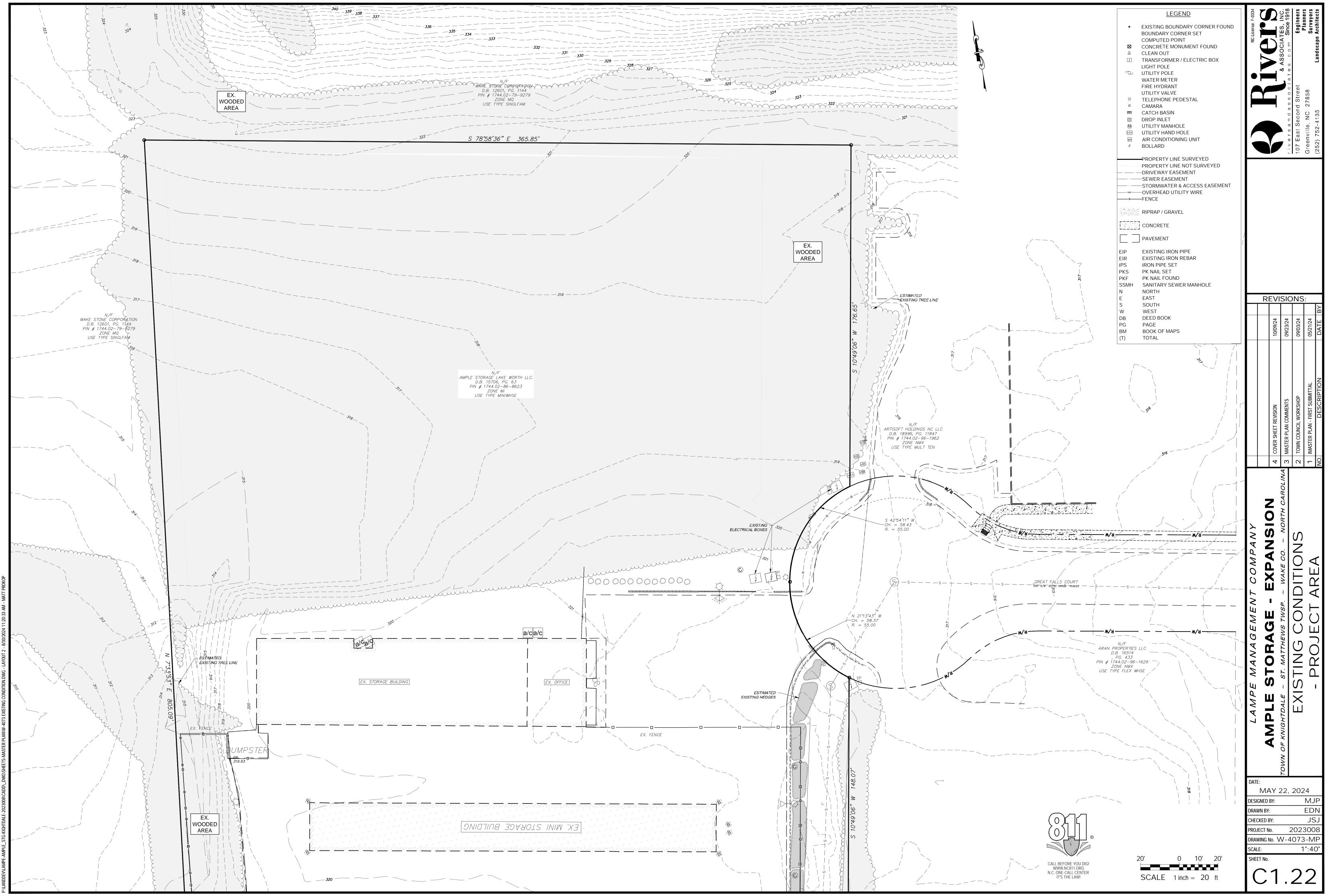
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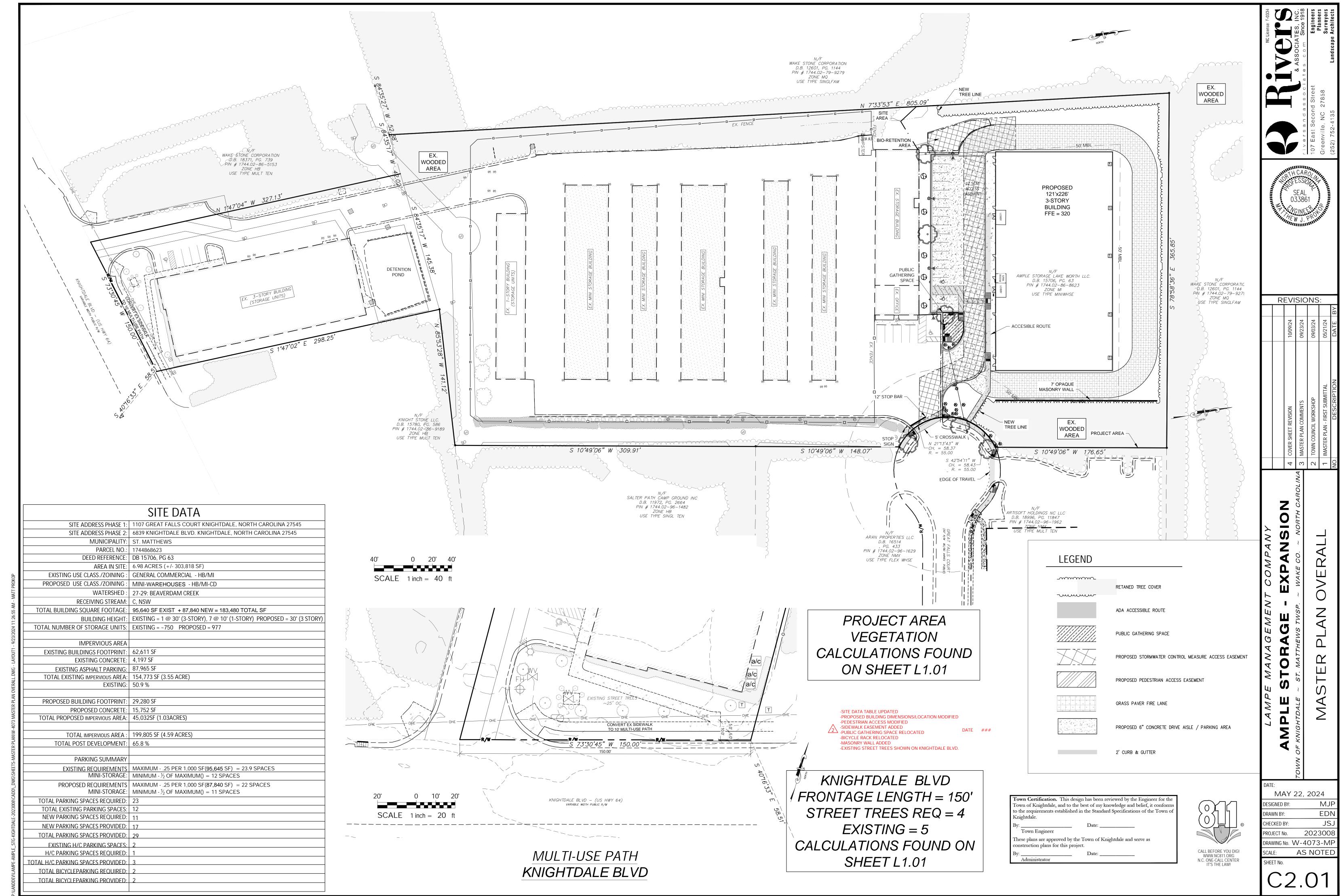
DRAWING No. W-4073-MF SCALE: NOT TO SCALE

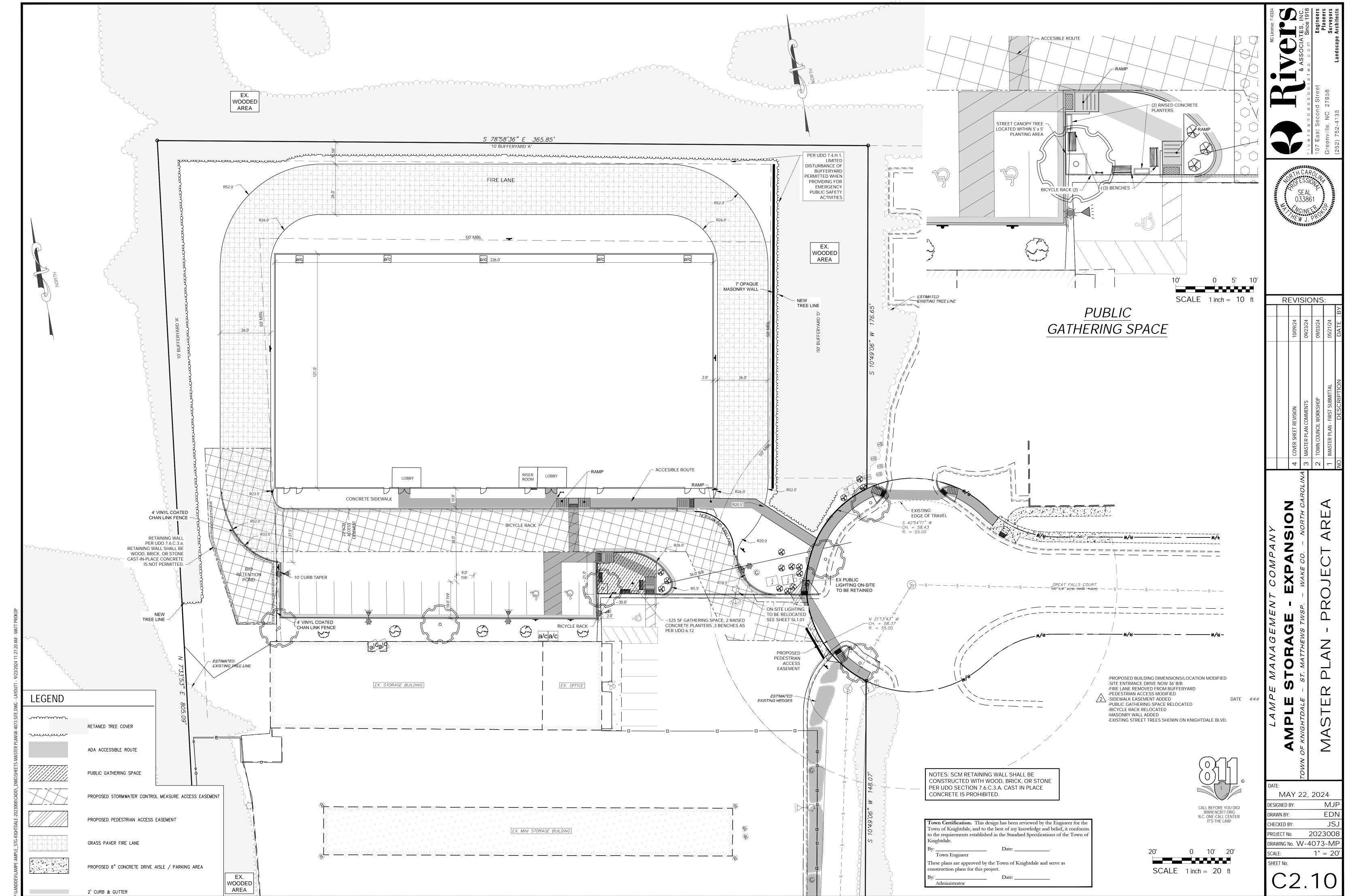
C1.11



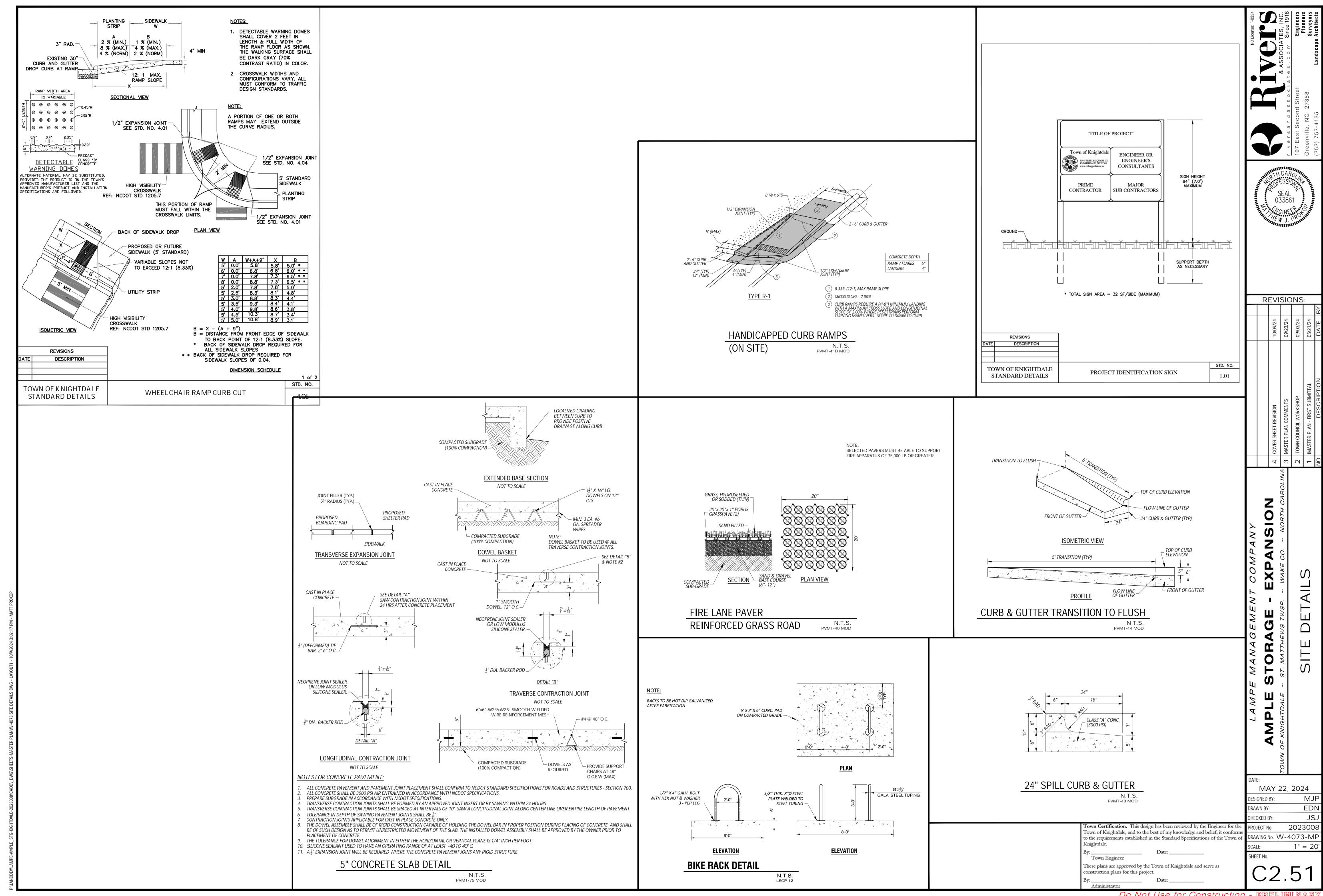






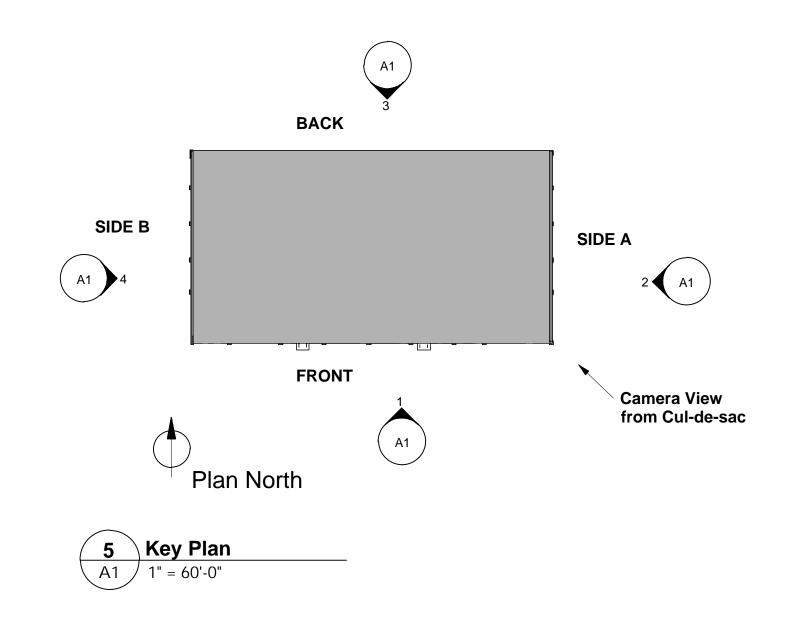


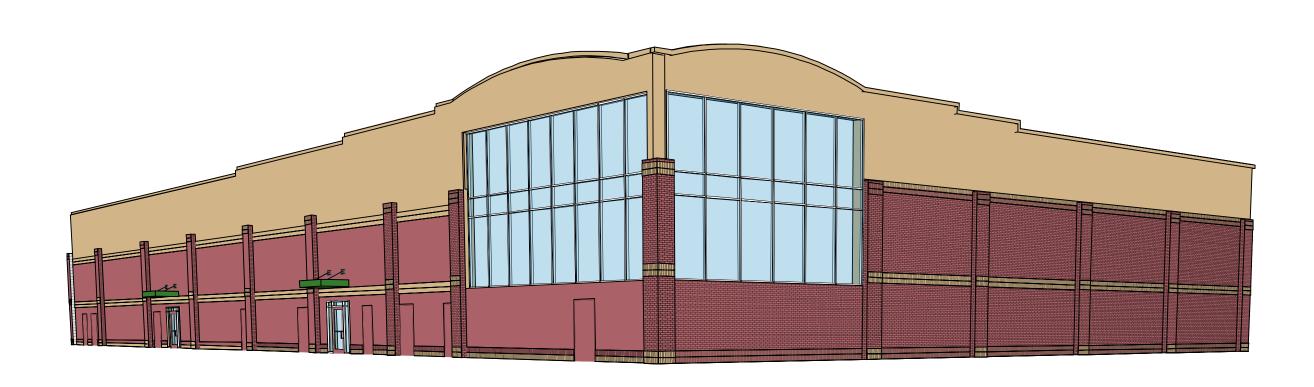
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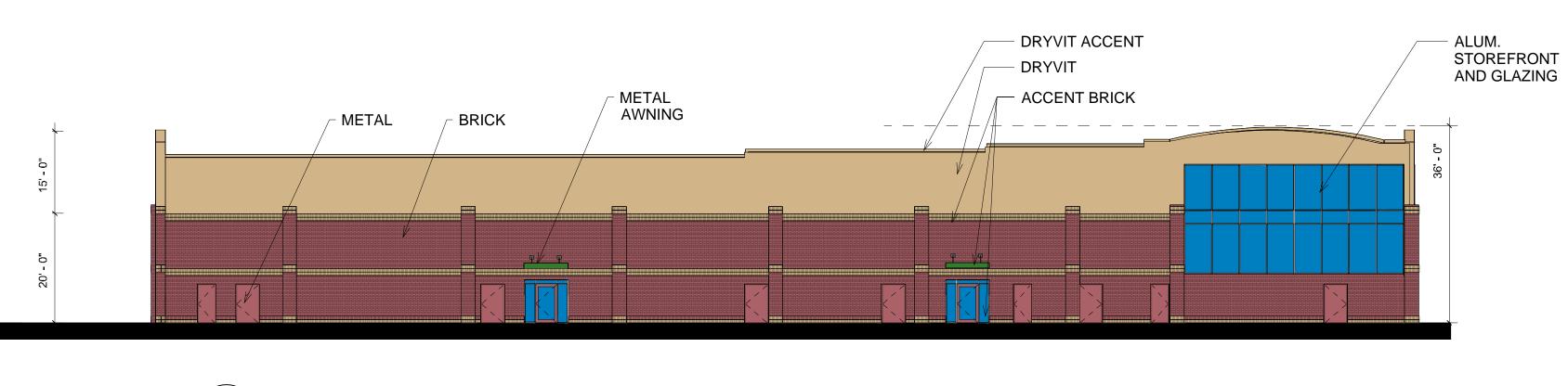


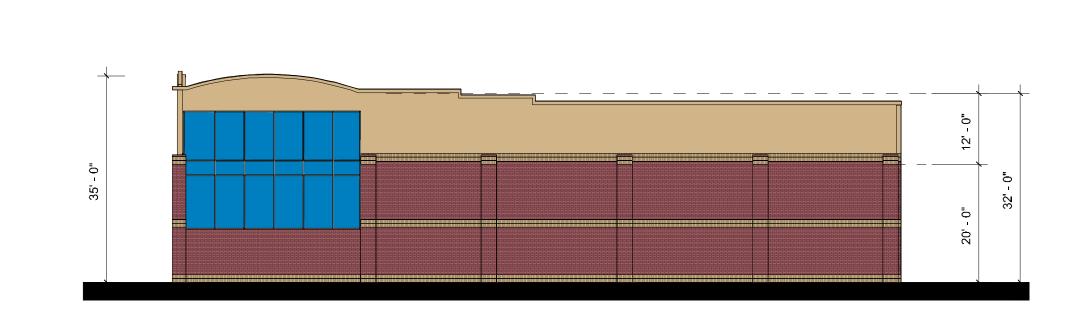




6 Camera View from Cul-de-sac

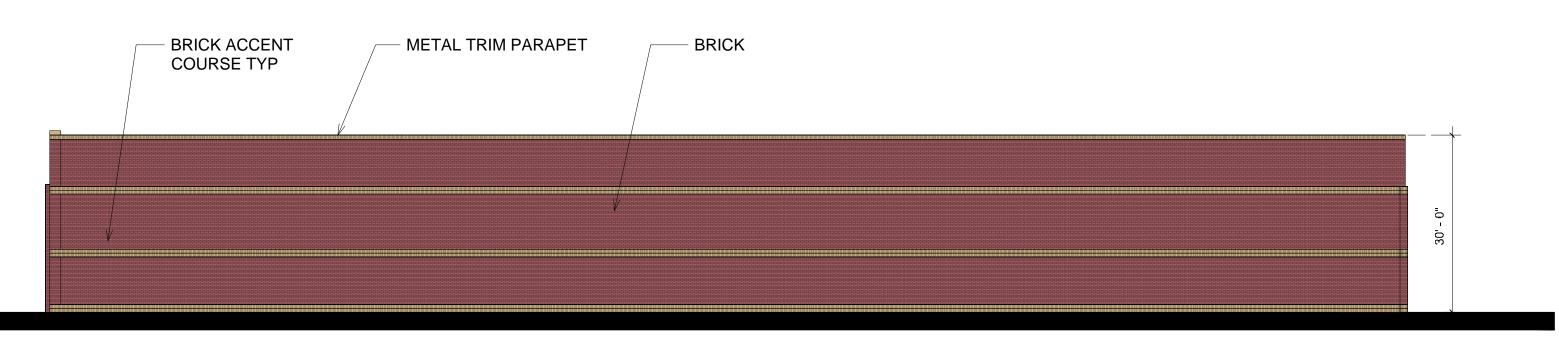
ALL BRICK AND DRYVIT COLORS TO MATCH PHASE ONE OFFICE BUILDING

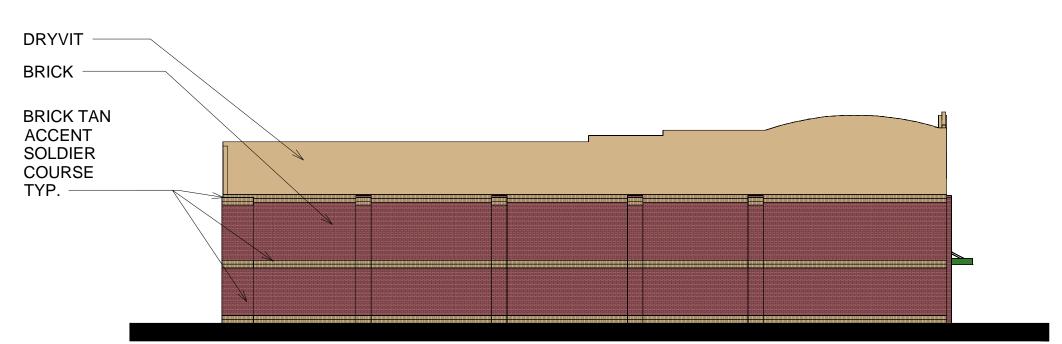




1 FRONT ELEVATION
A1 1/16" = 1'-0"

Building A Elevation SIDE A
A1 1/16" = 1'-0"





4 SIDE B ELEVATION
A1 1/16" = 1'-0"



architects

3608 University Drive

Suite 204
Durham, NC 27707 **T919.490.1266**www.RNDpa.com

Knightdale

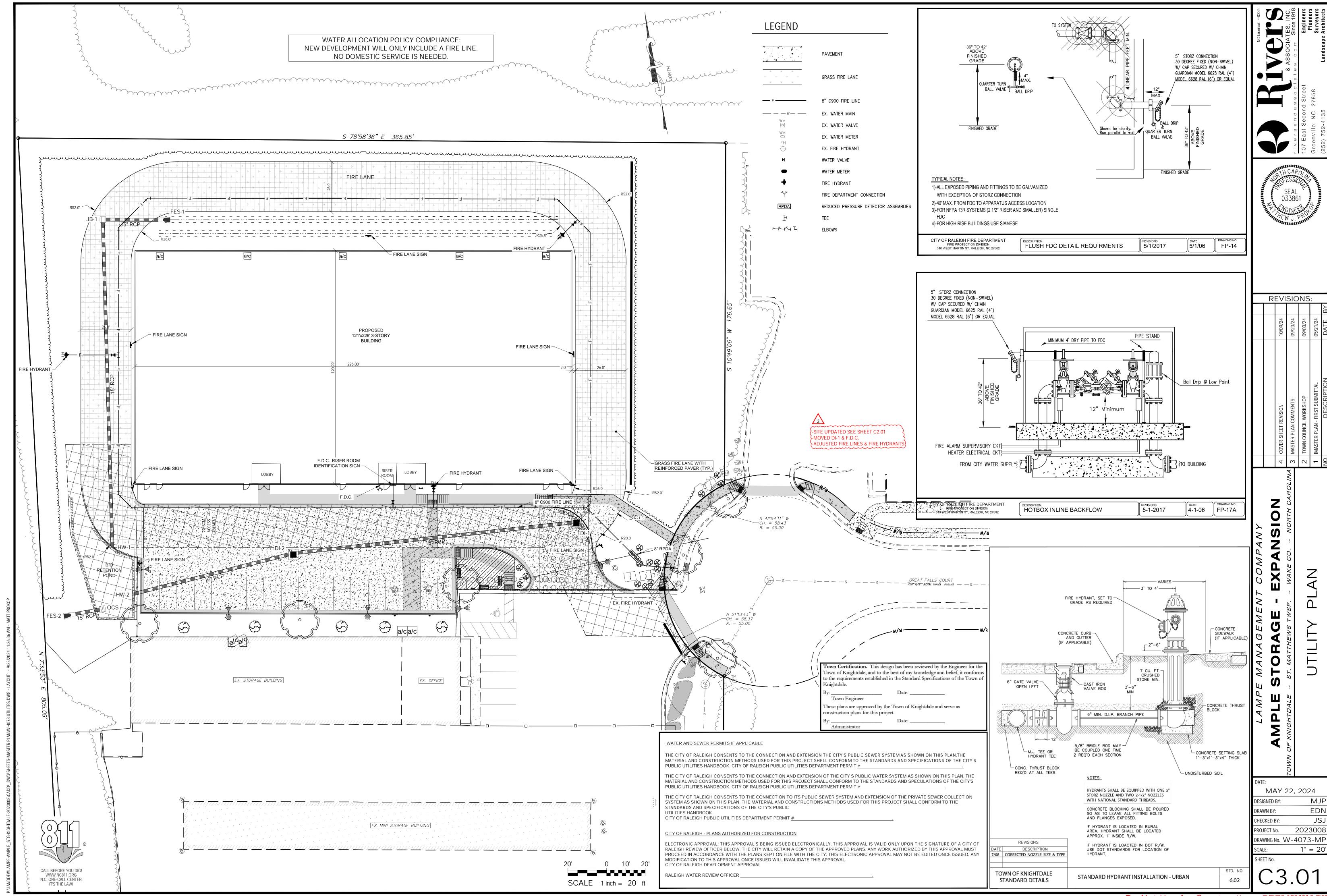
2024 copyrightRND Architects

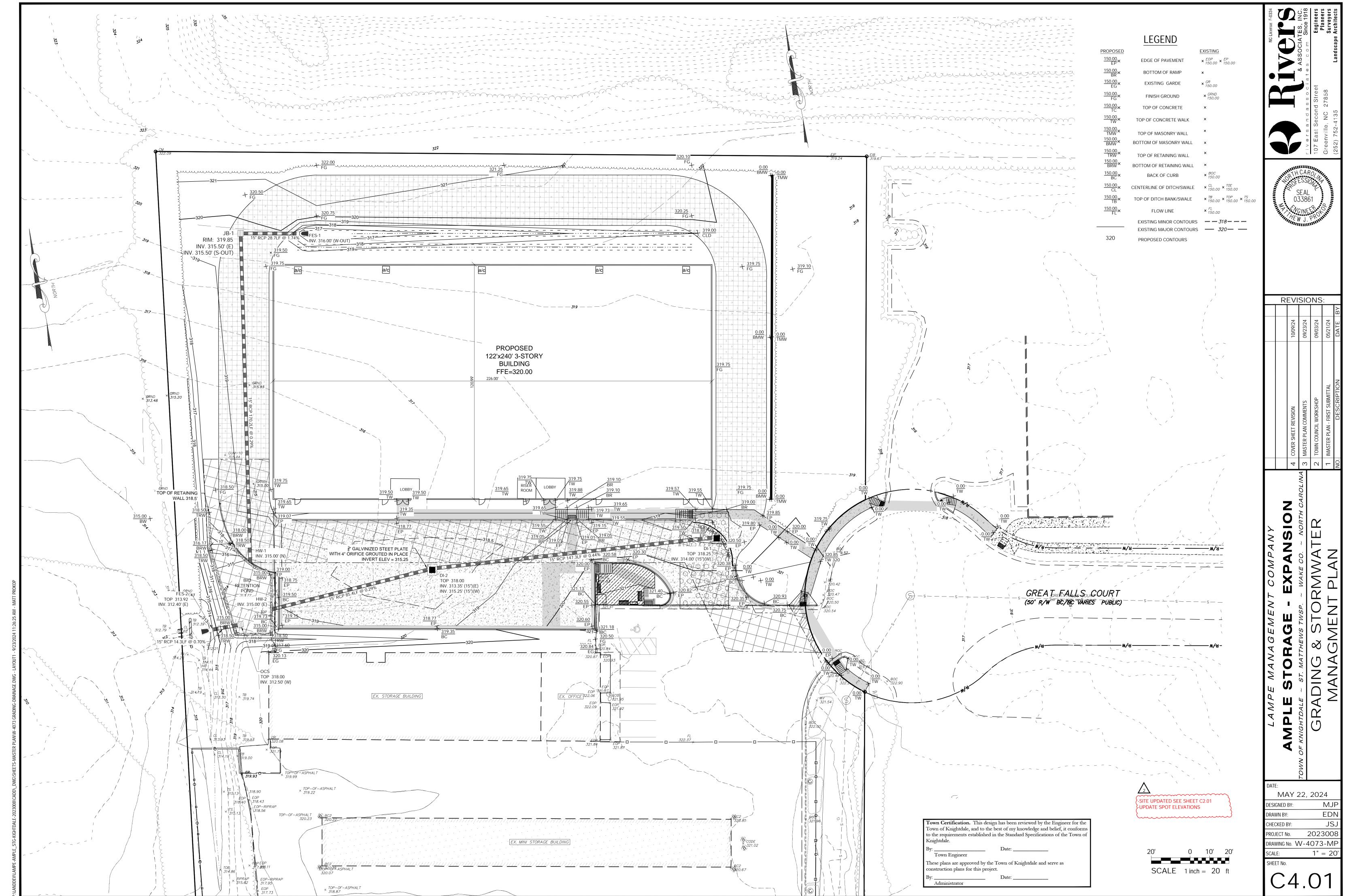
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R: 1430.02 gp gp 8.13.24

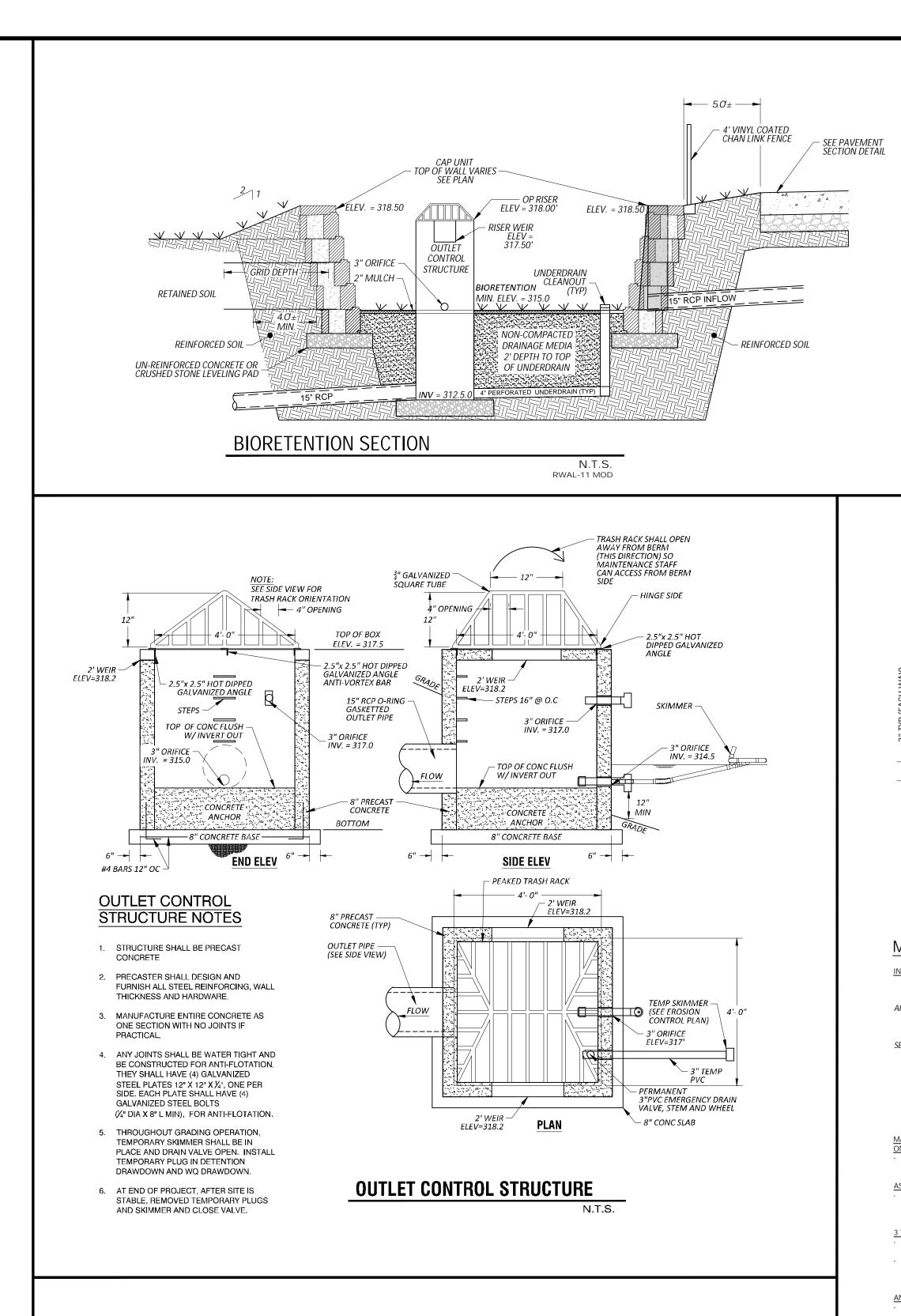
Building Elevations Knightdale Addition

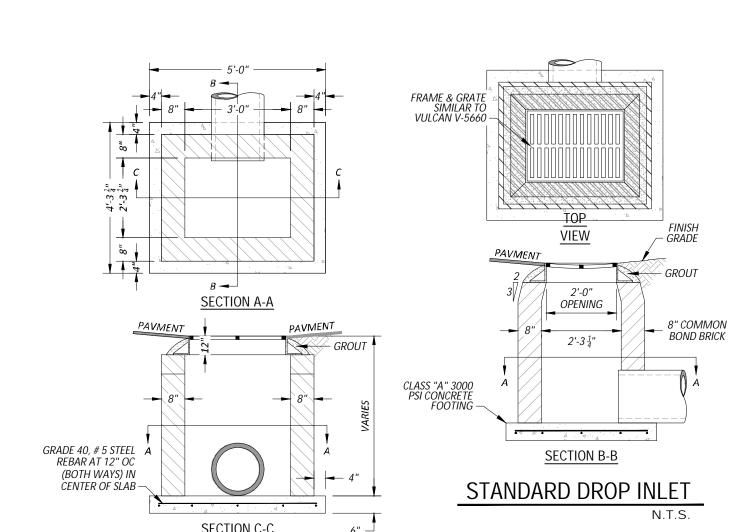
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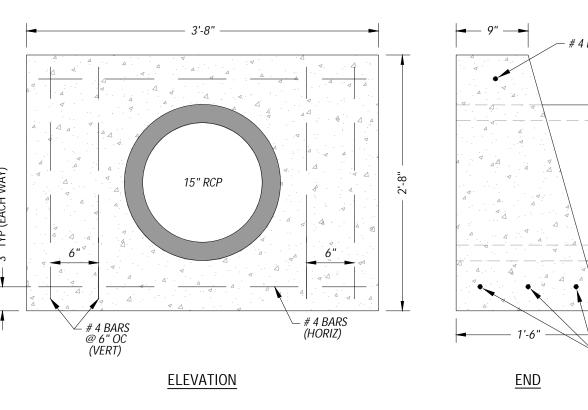




Do Not Use for Construction - PRELIMINARY







HEADWALL N.T.S.

# <u>MAINTENANCE</u>

# INSPECTION ACTIVITIES - (FREQUENCY)

WHERE MAINTENANCE REQUIRES DEWATERING, DO SO BY MEANS OF DEWATERING PUMP. AFTER CONSTRUCTION

STRM-26

INSPECT AFTER SEVERAL STORM EVENTS FOR BANK STABILITY, VEGETATION GROWTH, DRAINAGE SYSTEM FUNCTIONING, AND STRUCTURAL DAMAGE.

# SEMI-ANNUAL INSPECTION

INSPECT FOR INVASIVE VEGETATION, DIFFERENTIAL SETTLEMENT, CRACKING; EROSION, LEAKAGE, OR TREE GROWTH ON THE EMBANKMENT; THE CONDITION OF THE RIPRAP IN THE INLET, OUTLET, AND PILOT CHANNELS; SEDIMENT ACCUMULATION IN THE BASIN; CLOGGING OF OUTLET; AND THE VIGOR AND DENSITY OF THE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR. CORRECT OBSERVED PROBLEMS AS NECESSARY.

NOTE SIGNS OF HYDROCARBON BUILDUP SUCH AS FLOATING OIL ON WATER SURFACE. - INSPECT FOR DAMAGE TO THE EMBANKMENT AND INLET/OUTLET STRUCTURES. REPAIR AS NECESSARY. -MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY. EXAMINE INLET AND OUTLET DEVICES TO ENSURE THEY ARE FREE OF DEBRIS AND ARE OPERATIONAL.

# MAINTENANCE ACTIVITIES - (FREQUENCY)

ONE TIME

REPLACE WET POND VEGETATION TO MAINTAIN AT LEAST 50% OF SURFACE AREA COVERAGE IN WET POND PLANTS AFTER THE SECOND GROWING SEASON.

AS NEEDED

REPAIR UNDERCUT AREAS, EROSION TO BANKS, AND BOTTOM AS REQUIRED. WHERE PERMITTED BY THE DEPARTMENT OF FISH AND

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REPAIR UNDERCUT AREAS, EROSION TO BANKS, AND BOTTOM AS REQUIRED. WHERE PERMITTED BY WITH MOSOULITO FISH (GAMBUSIA SPP.) TO GAME OR OTHER AGENCY REGULATIONS, STOCK CONSTRUCTED WET PONDS REGULARLY WITH MOSQUITO FISH (GAMBUSIA SPP.) TO ENHANCE NATURAL MOSQUITO AND MIDGE CONTROL.

# 3 TO 4 TIMES PER YEAR CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES.

MOW SIDE SLOPES AND REMOVE GRASS CLIPPINGS. REMOVE LITTER AND DEBRIS FROM BANKS, BASIN BOTTOM, TRASH RACKS, OUTLET STRUCTURES, AND VALVES AS REQUIRED.

ANNUAL (IF NEEDED)
-SUPPLEMENT WET POND PLANTS IF A SIGNIFICANT PORTION HAVE NOT ESTABLISHED (AT LEAST 50% OF THE SURFACE AREA). -REMOVE NUISANCE PLANT SPECIES.

-CLEAN FOREBAY TO AVOID ACCUMULATION IN MAIN WET POND AREA TO MINIMIZE WHEN THE MAIN WET POND AREA NEEDS TO BE

-HARVEST PLANT SPECIES IF VEGETATION BECOMES TOO THICK CAUSING FLOW BACKUP AND FLOODING. MORE FREQUENT PLANT HARVESTING MAY BE REQUIRED BY LOCAL VECTOR CONTROL AGENCIES.

-FERTILIZE NEW VEGETATION ONE TIME ONLY. THE OWNER SHALL NOT FERTILIZE VEGETATION AFTER THE INITIAL OCCURRENCE.

-MONITOR SEDIMENT ACCUMULATIONS, AND REMOVE SEDIMENT WHEN THE ACCUMULATED SEDIMENT VOLUME EXCEEDS 10-20% OF THE BASIN VOLUME, PLANTS ARE "CHOKED" WITH SEDIMENT, OR THE WET POND BECOMES EUTROPHIC. IT IS SUGGESTED THAT THE MAIN AREA BE CLEANED ONE HALF AT A TIME WITH AT LEAST ONE GROWING SEASON IN BETWEEN CLEANINGS. THIS WILL HELP TO PRESERVE THE VEGETATION AND ENABLE THE WET POND TO RECOVER MORE QUICKLY FROM THE CLEANING.



Town Certification	n. This design has been reviewed by the Engineer for the
	e, and to the best of my knowledge and belief, it conforms established in the Standard Specifications of the Town of
Knightdale.	
Bv·	Date:

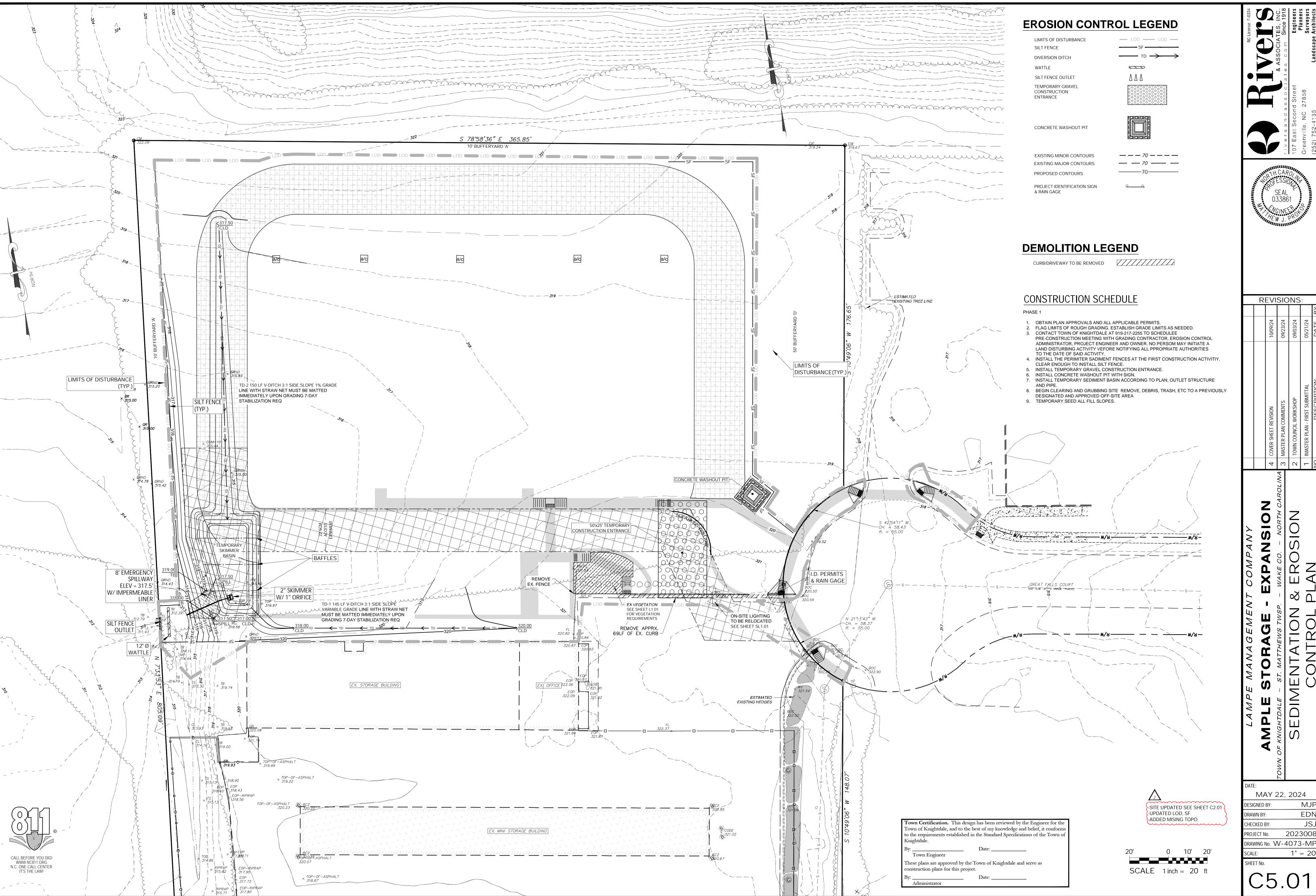
Town Engineer These plans are approved by the Town of Knightdale and serve as construction plans for this project.

Administrator

MAY 22, 2024 ESIGNED BY: RAWN BY: JSJ CHECKED BY: PROJECT No. 2023008 DRAWING No. W-4073-MP 1" = 20

**REVISIONS:** 

Do Not Use for Construction - PRELIMINARY



DO NOT USE FOR CONSTRUCTION - PRELIMINAR**Y O** BROWNING HOUR RECTION OF BUILDING FARE OF MARKATING TO THE PROPERTY OF THE PROPE

nplementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

ECTION E:	GROUND	STABI	LIZAT	TION	
					•

Required Ground Stabilization Timeframes					
Si	ite Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations		
(a) Perimeter dikes, swales, ditches, and perimeter slopes		7	None		
(b)	High Quality Water (HQW) Zones	None			
(c) Slopes steeper than 3:1  (d) Slopes 3:1 to 4:1		7	If slopes are 10 feet or less in length and are not steeper than 2:1, 14 days are allowed		
		14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed		
(e)	Areas with slopes flatter than 4:1	14	<ul> <li>-7 days for perimeter dikes, swales, ditches perimeter slopes and HQW Zones</li> <li>-10 days for Falls Lake Watershed unless there is zero slope</li> </ul>		

practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

covered with mulch

sufficient to restrain erosion

asphalt or retaining walls

Uniform and evenly distributed ground cover

Rolled erosion control products with grass

Structural methods such as concrete,

GROUND STABILIZATION SPECIFICATION

 <u> </u>	
Stabilize the ground sufficiently so that rain will techniques in the table below:	not dislodge the soil. Use one of the
Temporary Stabilization	Permanent Stabilization
Temporary grass seed covered with straw or other mulches and tackifiers.     Hydroseeding     Rolled erosion control products with or without temporary grass seed     Appropriately applied straw or other mulch	Permanent grass seed covered with stra or other mulches and tackifiers     Geotextile fabrics such as permanent so reinforcement matting     Hydroseeding     Shrubs or other permanent plantings

# POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

Plastic sheeting

NORTH CAROLINA

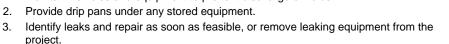
🌃 🖟 Environmental Qualit

FFFCTIVE DATE: 11/12/2020

- Select flocculants that are appropriate for the soils being exposed during construction.
- selecting from the NC DWR List of Approved PAMS/Flocculants. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures. Apply flocculants at the concentrations specified in the NC DWR List of Approved
- *PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

# **EQUIPMENT AND VEHICLE MAINTENANCE**

Maintain vehicles and equipment to prevent discharge of fluids.



Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).

Remove leaking vehicles and construction equipment from service until the problem has been corrected Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to

# a recycling or disposal center that handles these materials. ITER, BUILDING MATERIAL AND LAND CLEARING WASTE

Never bury or burn waste. Place litter and debris in approved waste containers. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.

Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland. Cover waste containers at the end of each workday and before storm events or provide

secondary containment. Repair or replace damaged waste containers. Anchor all lightweight items in waste containers during times of high winds. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.

Dispose waste off-site at an approved disposal facility. 9. On business days, clean up and dispose of waste in designated waste containers.

# PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area. Containment must be labeled, sized and placed appropriately for the needs of site.

## Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

# **PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags Provide staking or anchoring of portable toilets during periods of high winds or in high
  - foot traffic areas Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

# EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five
- feet from the toe of stockpile. Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

## 1. ACTUAL LOCATION DETERMINED 2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUI ND/OR SOLID REACHES 75% OF 3.CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARY MARKED WITH SIGNAGE NOTING SECTION A-A BELOW GRADE WASHOUT STRUCTURE NOTES: 1. ACTUAL LOCATION DETERMINED

2. THE CONCRETE WASHOUT

RUCTURES SHALL BE MAINTAIN WHEN THE LIQUID AND/OR SOLID

REACHES 75% OF THE STRUCTURE
CAPACITY TO PROVIDE ADEQUATE

DLDING CAPACITY WITH A MINIMU

CONCRETE WASHOUT STRUCTUR

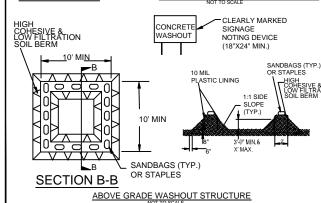
NEEDS TO BE CLEARY MARKED WI

ONSITE CONCRETE WASHOUT

STRUCTURE WITH LINER

PAGE:

PAGE:



- **CONCRETE WASHOUTS** Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of
- temporary concrete washouts provided on this detail. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be
- pumped out and removed from project. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

# HERBICIDES, PESTICIDES AND RODENTICIDES

products, follow manufacturer's instructions.

- Store and apply herbicides, pesticides and rodenticides in accordance with label
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

# NCG-01 GROUND COVER & MATERIALS HANDLING

## PART II. SECTION G. ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not

- feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met: (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
  - The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

## SELF-INSPECTION, RECORDKEEPING AND REPORTING SECTION A: SELF-INSPECTION Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be

performed upon the commencement of the next business day. Any time when inspections

were delayed shall be noted in the Inspection Record.

Inspect	Frequency   (during normal	Inspection records must include:	III
	business hours)		ll⊢
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts.  If no daily rain gauge observations are made during weekend on holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "Zero." The permittee may use another rain-monitoring device approved by the Division.	(a) E does dime
(2) E&SC		Identification of the measures inspected	
Measures	•	2. Date and Time of the inspection	
		3. Name of the person performing the inspection	(0
	a rain event 1.0	4. Indication of whether the measures were operating properly	`a
	inch in 24 hours.	Description of maintenance needs for the measure     Description, Evidence, and date of corrective actions taken	
(3) Stormwater	At least once per 7	Identification of the discharge outfalls inspected	
discharge	calendar days and	Date and Time of the inspection	(d) T
outfalls(SDOs)	within 24 hours of	Name of the person performing the inspection	(u)
	a rain event 1.0	4. Evidence of indicators of stormwater pollution such as oil	<b> </b>
	inch in 24 hours.	sheen, floating or suspended solids or discoloration	
		Indication of visible sediment leaving the site	∟
		Description, Evidence, and date corrective actions taken	(e) C
(4) Perimeter	At least once per 7	If visible Sedimentation is found outside site limits, then record	III `´

		6. Description, Evidence, and date of corrective actions taken		
(3) Stormwater discharge outfalls(SDOs)	calendar days and	<ol> <li>Identification of the discharge outfalls inspected</li> <li>Date and Time of the inspection</li> <li>Name of the person performing the inspection</li> <li>Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration</li> <li>Indication of visible sediment leaving the site</li> <li>Description, Evidence, and date corrective actions taken</li> </ol>		
(4) Perimeter of Site	At least once per 7 calendar days and within 24 hours of a rain event 1.0 inch in 24 hours.	If visible Sedimentation is found outside site limits, then record of the following shall be made:  1) Actions taken to clean up or stabilize sediment that has left the site limits  2) Description, Evidence and date of corrective actions taken  3) An explanation as to the actions taken to control future releases		
(5) Streams or wetlands onsite or offsite (where accessible)		If the stream or wetland has increased visible sedimentation or has visible increased turbidity from the construction activity, then a record of the following shall be made:  1) Description, Evidence and date of corrective actions taken 2)Records of required reports to the appropriate Division Regional Office per Part III, Section C, Item(2)(a) of this permit		
(6) Ground Stabilization Measures	After each phase of grading.	The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity,		

NOTE: The rain inspection resets the required 7 calendar day inspection requirement

construction or redevelopment, permanent ground cover).

measures have been provided within the required timeframe

or assurance that they will be provided as soon as possible.

2. Documentation that the required ground stabilization

# SELF-INSPECTION, RECORDKEEPING AND REPORTING **SECTION B: RECORDKEEPING**

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Document Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plar or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plar or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plar or complete, date and sign an inspection report to indicate the completion of the corrective action.

. Additional Documentation to be Kept on Site In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the

- Division provides a site-specific exemption based on unique site conditions that make this requirement not practical: (a) This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- 3. Documentation to be Retained for Three Years All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

# SELF-INSPECTION, RECORDKEEPING AND REPORTING SECTION C: REPORTING

- . Occurrences that Must be Reported Permittees shall report the following occurrences: (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if: They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the

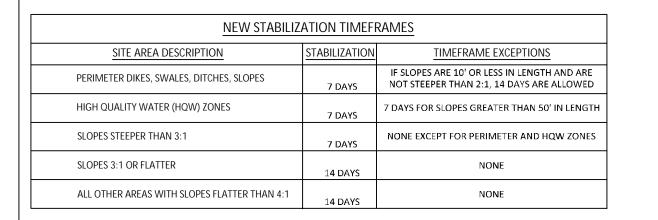
# 2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, be shall contact the

in :o		appropriate Divis requirements liste	becomes aware of an occurrence that must be reported, he shall contact the becomes aware of an occurrence that must be reported, he shall contact the lion regional office within the timeframes and in accordance with the other ed below. Occurrences outside normal business hours may also be reported nt's Environmental Emergency Center personnel at (800) 858-0368.
r	Ш	Occurrence	Reporting Timeframe (After Discovery) and Other Requirements
	Ш	(a) Visible	Within 24 hours, an oral or electronic notification.
	Ш	sediment	Within 7 Calendar Days, a report that contains a description of the
	Ш	deposition in a	sediment and actions taken to address the cause of the deposition.
	Ш	stream or wetland	Division staff may waive the requirement for a written report on a case-
	Ш		by-case basis.
	Ш		If the stream is named on the NC 303(d) list as impaired for sediment-
in	Ш		related caused, the permittee may be required to perform additional
۱ ۳	Ш		monitoring, inspections or apply more stringent practices if staff
	Ш		determine that additional requirements are needed to assure
	Ш	(b) Oil spills and	compliance with the federal or state impaired-waters conditions.
	Ш	release of	Within 24 Hours, an oral or electronic notification. The notification shall include information about the data time, nature, values and leasting.
		hazardous	include information about the date, time, nature, volume and location of the spill or release.
		substances per	of the spill of folease.
	I	item 1(b)-(c) above	
		(c) Anticipated	A report at least ten days before the date of the bypass, if possible.
		bypasses [40 CFR	The report shall include an evaluation of the anticipated quality and
	Ш	122.41(m)(3)]	effect of the bypass.
		(d) Unanticipated	<ul> <li>Within 24 Hours, an oral or electronic notification</li> </ul>
	Ш	bypasses [40 CFR	
	Ш	122.41(m)(3)]	quality and effect of the bypass.
		(e) Noncompliance	
	Ш	with the conditions	Within 7 calendar days, a report that contains a description of the

of this permit that noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been may endanger health or the corrected, the anticipated time noncompliance is expected to continue environment [40] and steps taken or planned to reduce, eliminate and prevent CFR 122.41(I)(7)1

reoccurrence of the noncompliance. [40 CFR 122.41(I)(6). Division staff may waive the requirement for a written report on a caseby-case basis.



# CONSTRUCTION SCHEDULE

# PHASE 1

- 1. OBTAIN PLAN APPROVALS AND ALL APPROVALS AND ALL APPLICABLE PERMITS. 2. FLAG LIMITS OF ROUGH GRADING.
- 3. HOLD PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR (252-329-4886) PROJECT ENGINEER AND OWNER BEFORE WORK BEGINS.
- 4. INSTALL THE PERIMETER SEDIMENT FENCES AS THE FIRST CONSTRUCTION ACTIVITY. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
- 6. INSTALL CONCRETE WASHOUT PIT WITH SIGN. 7. INSTALL TEMPORARY SEDIMENT TRAP AND TEMPORARY DIVERSION SWALE PER PLAN.

# 8. BEGIN CLEARING AND GRUBBING SITE IN DESIGNATED AREAS AND STOCKPILE IN DESIGNATED

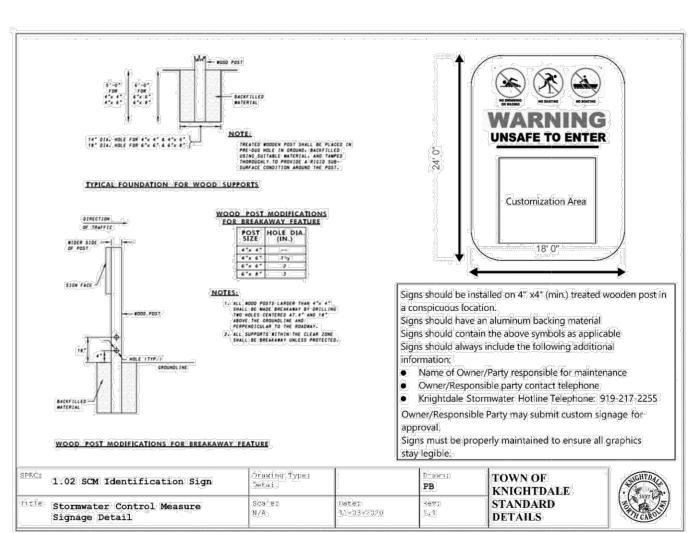
PHASE 2

- 9. INSTALL STORM DRAINAGE PIPING AND END OF DAY MEASURES.
- 10. INSTALL HARDWARE CLOTH AND INLET PROTECTION AROUND ALL INLET CATCH BASINS. 11. BEGIN IMPORTING FILL FOR THE CONSTRUCTION OF THE BUILDING PAD AND DRIVE AREAS.
- 12. FINAL GRADE THE BUILDING PAD, FINE GRADE AND POUR SIDEWALK AND LAY DOWN GRAVEL. 13. INSTALL DROP INLETS AND GRATES. REPLACE ROCK INLET PROTECTION WITH SEDIMENT
- 14. PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES 14 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING FOR SLOPES 3:1 OR FLATTER INCLUDING ALL OTHER SLOPES 4:1 OR FLATTER. PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING FOR SLOPES 3:1 OR STEEPER.
- 15. CONSTRUCT PERMANENT SCM.
- 16. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED BY THE STATE, OWNER, OR CITY ENGINEER IF DEEMED NECESSARY.
- 17. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES, FINE GRADE DISTURBED AREAS, AND INSTALL PERMANENT VEGETATION ON THE DISTURBED AREAS. 18. MAINTAIN PERMANENT VEGETATION BY TOP DRESSING WITH 700 LBS PER ACRE OF FERTILIZER
- EVERY 6 MONTHS UNTIL COMPLETION OF THE PROJECT. 19. WITHIN 6" OF FINAL GRADE, RE-DISTRIBUTE 6" OF TOP SOIL
- 20. FINE GRADE, PERMANENTLY SEED AND MULCH ALL-LANDSCAPED AREAS. 21. TEMPORARY EROSION CONTROL MEASURES TO REMAIN IN PLACE UNTIL +/- 80% STABILIZATION
- IS ACHIEVED.

# **EROSION CONTROL NOTES:**

- ALL WORK WILL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES. NO LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL THE APPROPRIATE EROSION CONTROL MEASURE MAY PROCEED UNTIL MEASURES ARE INSPECTED AND APPROVED. FOLLOWING STRIPPING OF SITE, ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED. SILT FENCES SHALL BE PLACED ALONG PROPERTY LINES AS INDICATED ON PLANS TO PROTECT ADJACENT DEVELOPMENTS. ROCK INLET SEDIMENT TRAPS SHALL BE INSTALLED AROUND ALL DRAINAGE STRUCTURES TO COLLECT SURFACE RUNOFF AND CONTROL SILTATION AND RELEASE WATER AT A GRADUAL RATE. ALL DISTURBED AREAS WILL BE GRADED, SEEDED
- ALL SHOULDERS SHALL BE SEEDED TO STABILIZE THE SOIL. SEED BED PREPARATION SHALL BE CONDUCTED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (NCDOT). THE GROUND SURFACE SHALL BE CLEARED OF STUMPS, STONES, ROOTS, CABLES, WIRE, GRADE STAKES, AND OTHER MATERIALS THAT MIGHT HINDER PROPER GRADING, TILLAGE, SEEDING OR SUBSEQUEN MAINTENANCE OPERATIONS. GRADES ON THE AREA TO BE SEEDED SHALL BE MAINTAINED IN A TRUE AND EVEN CONDITION. MAINTENANCE SHALL INCLUDE ANY NECESSARY REPAIRS TO PREVIOUSLY GRADED AREAS. ALL GRADED AREAS SHALL BE THOROUGHLY TILLED TO A DEPTH OF AT LEAST FOUR (4) INCHES BY PLOWING, DISKING, HARROWING, OR OTHER APPROVED METHODS UNTIL THE CONDITION OF THE SOIL IS ACCEPTABLE. ON SITES WHERE SOIL CONDITIONS ARE SUCH THAT HIGH CLAY CONTENT AND EXCESSIVE COMPACTION CAUSE DIFFICULTY IN GETTING CLODS AND LUMPS EFFECTIVELY PULVERIZED, THE CONTRACTOR SHALL USE THE ROTARY TILLAGE MACHINERY UNTIL THE MIXING OF THE SOIL IS ACCEPTABLE AND NO CLODS OR CLUMPS REMAIN LARGER THAN 1 1/2 INCHES IN DIAMETER: A FIRM AND COMPACT SEED BED IS REQUIRED AND AFTER BEING GRADED. THE SEED BED SHALL BE LIGHTLY COMPACTED WITH A LAND ROLLER, SUCH AS A CULTIPACKER, BEFORE AND AFTER SEEDING. LIMESTONE SHALL BE DOLOMITIC AGRICULTURE GROUND LIMESTONE CONTAINING NOT LESS THAN 10 PERCENT MAGNESIUM OXIDE. LIME SHALL BE UNIFORMLY APPLIED AT THE RATE OF 2 TONS PER ACRE AS TESTING REQUIRES PER THE SPECIFICATIONS. IF REQUIRED PER SPECIFICATIONS, FERTILIZER SHALL BE INCORPORATED INTO THE UPPER THREE OR FOUR INCHES OF PREPARED SEED BED JUST PRIOR TO THE LAST TILLAGE OPERATION. BUT IN NO CASE SHALL IT BE APPLIED MORE THAN THREE DAYS PRIOR TO SEEDING. FERTILIZER SHALL BE USED IMMEDIATELY AFTER DELIVERY OR STORED IN A MANNER THAT WILL NOT PERMIT IT TO HARDEN OR DESTROY ITS EFFECTIVENESS.

NEW STABILIZATION TIMEFRAMES					
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS			
PERIMETER DIKES, SWALES, DITCHES, SLOPES	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED			
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH			
SLOPES STEEPER THAN 3:1	7 DAYS	NONE EXCEPT FOR PERIMETER AND HQW ZONES			
SLOPES 3:1 OR FLATTER	14 DAYS	NONE			
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE			



	SEEDING SCHEDULE  MAXIMUM SLOPE 3:1	
SEEDING PERIOD	SEEDING TYPE	APPLICATION RAT
AUGUST 15 - NOVEMBER 01	TALL FESCUE	300
NOVEMBER OF MARON OF	TALL FESCUE AND	300
NOVEMBER 01 - MARCH 01	ABRUZZI RYE	25
MARCH 01 - APRIL 15	TALL FESCUE	300
APRIL 15 - JUNE 30	HULLED COMMON BERMUDAGRASS	25
	TALL FESCUE AND	120
JULY 01 - AUGUST 15	*BROWNTOP MILLET OR	35
	*SORGHUM-SUDAN HYBRIDS	30
	SLOPES 2:1 TO 3:1	•
MARCH 01 - JUNE 01	SERICEA LESPEDEZA (SCARIFIED) AND	50
MARCH 01 - APRIL 15	TALL FESCUE OR	120
MARCH 01 - JUNE 30	WEEPING LOVEGRASS OR	10
MARCH UI - JUNE 30	HULLED COMMON BERMUDAGRASS	25
	*TALL FESCUE AND	120
JUNE 01 - SEPTEMBER 01	*BROWNTOP MILLET OR	35
	*SORGHUM-SUDAN HYBRIDS	30
SEPTEMBER 01 - MARCH 01	SERICEA LESPEDEZA (UNHULLED, USCARIFIED) AND	70
	TALL FESCUE OR	120
NOVEMBER 01 - MARCH 01	ABRUZZI RYE	25
VEGETATION. DO NOT ALLOW TEMPO MOWING, OTHERWISE FESCUE MAY BI SOIL CONSERVATION SERVICE FOR A FOR VEGETATION OF DENUDED AREA	TO OPTIMUM SEASON FOR DESIRED PEOPRARY COVER TO GROW OVER 12" IN HE SHADED OUT. CONSULT CONSERVATION.  INDITIONAL INFORMATION CONCERNING ON THE ABOVE VEGETATION RATES AFTHER SEEDING RATE COMBINATIONS ARE	HEIGHT BEFORE ON ENGINEER OR OTHER ALTERNATIVE RE THOSE WHICH D

GROUND COVER - WHEREVER LAND DISTURBING ACTIVITY IS UNDERTAKEN ON A TRACT COMPRISING MORE THAN ONE (1) ACRE, A GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE PLANTED OR PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS. GRADED SLOPES AND FILLS — WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS, OR COMPLETION OF ANY PHASE OF GRADING, WHICHEVER PERIOD IS SHORTER, SLOPES SHALL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

	REVISIONS		
DATE	DESCRIPTION		
			STD. NO.
TOWN OF KNIGHTDALE STANDARD DETAILS		SEEDING SCHEDULE	

Cown Certification. This design has been reviewed by the Engineer for the

own of Knightdale, and to the best of my knowledge and belief, it conform

to the requirements established in the Standard Specifications of the Town of

These plans are approved by the Town of Knightdale and serve as

Town Engineer

onstruction plans for this project.

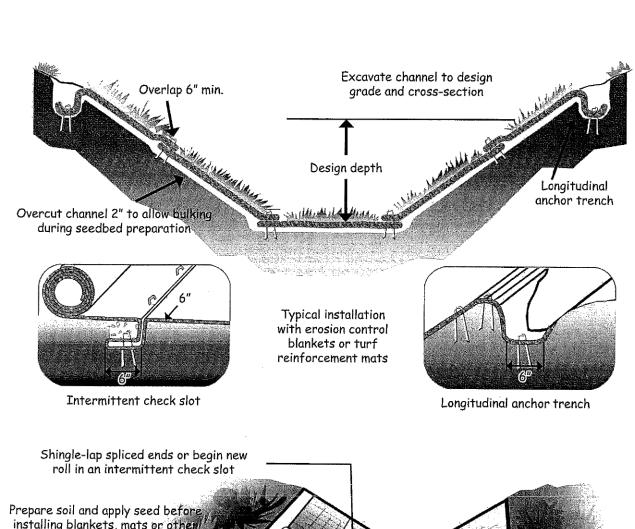
**REVISIONS:** 

	7.0
DATE:	
MAY	22, 2024
DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT No.	2023008
DRAWING No.	W-4073-MP
SCALE:	1" = 20'

Do Not Use for Construction - PRELIMINA

NORTH CAROLINA Environmental Qualit EFFECTIVE DATE: 11/12/2020

NCG01- SELF INSPECTION



installing blankets, mats or other temporary channel liner sys

1. Design velocities exceeding 2 ft/sec require temporary blankets, mats or similar liners to protect seed and soil until vegetation becomes established. 2. Grass-lined channels with design velocities exceeding 6 ft/sec should include turf reinforcement

LINER CONSTRUCTION SPECIFICATIONS

EVEN IF PROPERLY DESIGNED, IF NOT PROPERLY INSTALLED, RECP'S WILL PROBABLY NOT FUNCTION AS DESIRED. PROPER INSTALLATION IS IMPERATIVE. EVEN IF PROPERLY INSTALLED, IF NOT PROPERLY TIMED AND NOURISHED, VEGETATION WILL PROBABLY NOT GROW AS DESIRED. PROPER SEED/VEGETATION SELECTION IS ALSO IMPERATIVE.

GRADE THE SURFACE OF INSTALLATION AREAS SO THAT THE GROUND IS SMOOTH AND LOOSE. WHEN SEEDING PRIOR TO INSTALLATION, FOLLOW THE STEPS FOR SEED BED PREPARATION, SOIL AMENDMENTS, AND SEEDING IN SURFACE STABILIZATION, 6.1. ALL GULLIES, RILLS, AND ANY OTHER DISTURBED AREAS MUST BE FINE GRADED PRIOR TO INSTALLATION. SPREAD SEED BEFORE RECP INSTALLATION. (IMPORTANT: REMOVE ALL LARGE ROCKS, DIRT CLODS, STUMPS, ROOTS, GRASS CLUMPS, TRASH, AND OTHER OBSTRUCTIONS FROM THE SOIL SURFACE TO ALLOW FOR DIRECT CONTACT BETWEEN THE SOIL SURFACE AND THE RECP).

TERMINAL ANCHOR TRENCHES ARE REQUIRED AT RECP ENDS AND INTERMITTENT TRENCHES MUST BE CONSTRUCTED ACROSS CHANNELS AT 25-FOOT INTERVALS. TERMINAL ANCHOR TRENCHES SHOULD BE A MINIMUM OF 12 INCHES IN DEPTH AND 6 INCHES IN WIDTH, WHILE INTERMITTENT TRENCHES NEED BE ONLY 6 INCHES DEEP AND 6 INCHES WIDE.

INSTALLATION FOR SLOPES - PLACE THE RECP 2-3 FEET OVER THE TOP OF THE SLOPE AND INTO AN EXCAVATED END TRENCH MEASURING APPROXIMATELY 12 INCHES DEEP BY 6 INCHES WIDE. PIN THE RECP AT 1 FOOT INTERVALS ALONG THE BOTTOM OF THE TRENCH, BACKFILL, AND COMPACT. UNROLL THE RECP DOWN (OR ALONG) THE SLOPE MAINTAINING DIRECT CONTACT BETWEEN THE SOIL AND THE RECP. OVERLAP ADJACENT ROLLS A MINIMUM OF 3 INCHES. PIN THE RECP TO THE GROUND USING STAPLES OR PINS IN A 3 FOOT CENTER-TO-CENTER PATTERN. LESS FREQUENT STAPLING/PINNING

INSTALLATION IN CHANNELS - EXCAVATE TERMINAL TRENCHES (12 INCHES DEEP AND 6 INCHES WIDE) ACROSS THE CHANNEL AT THE UPPER AND LOWER END OF THE LINED CHANNEL SECTIONS. AT 25-FOOT INTERVALS ALONG THE CHANNEL, ANCHOR THE RECP ACROSS THE CHANNEL EITHER IN 6 INCH BY 6 INCH TRENCHES OR BY INSTALLING TWO CLOSELY SPACED ROWS OF ANCHORS. FXCAVATE LONGITUDINAL TRENCHES 6 INCHES DEEP AND WIDE ALONG CHANNEL EDGES (ABOVE WATER LINE) IN WHICH TO BURY THE OUTSIDE RECP EDGES. PLACE THE FIRST RECP AT THE DOWNSTREAM END OF THE CHANNEL. PLACE THE END OF THE FIRST RECP IN THE TERMINAL TRENCH AND PIN IT AT 1 FOOT INTERVALS ALONG THE BOTTOM OF THE TRENCH.

NOTE: THE RECP SHOULD BE PLACED UPSIDE DOWN IN THE TRENCH WITH THE ROLL ON THE DOWNSTREAM SIDE OF THE BENCH.

ONCE PINNED AND BACKFILLED. THE RECP IS DEPLOYED BY WRAPPING OVER THE TOP OF THE TRENCH AND UNROLLING UPSTREAM. IF THE CHANNEL IS WIDER THAN THE PROVIDED ROLLS, PLACE ENDS OF ADJACENT ROLLS IN THE TERMINAL TRENCH, OVERLAPPING THE ADJACENT ROLLS A MINIMUM OF 3 INCHES. PIN AT 1 FOOT INTERVALS, BACKFILL, AND COMPACT. UNROLL THE RECP IN THE UPSTREAM DIRECTION UNTIL REACHING THE FIRST INTERMITTENT TRENCH. FOLD THE RECP BACK OVER ITSELF, POSITIONING THE ROLL ON THE DOWNSTREAM SIDE OF THE TRENCH, AND ALLOWING THE

THEN PIN THE RECP (TWO LAYERS) TO THE BOTTOM OF THE TRENCH, BACKFILL, AND COMPACT. CONTINUE UP THE CHANNEL (WRAPPING OVER THE TOP OF THE INTERMITTENT TRENCH) REPEATING THIS STEP AT OTHER INTERMITTENT TRENCHES, UNTIL REACHING THE UPPER TERMINAL TRENCH.

AT THE UPPER TERMINAL TRENCH, ALLOW THE RECP TO CONFORM TO THE TRENCH, SECURE WITH PINS OR STAPLES, BACKFILL, COMPACT AND THEN BRING THE MAT BACK OVER THE TOP OF THE TRENCH AND ONTO THE EXISTING MAT (2 TO 3 FEET OVERLAP IN THE DOWNSTREAM DIRECTION), AND PIN A 1 FOOT INTERVALS ACROSS THE RECP. WHEN STARTING INSTALLATION OF A NEW ROLL, BEGIN IN A TRENCH OR SHINGLE-LAP ENDS OF ROLLS A MINIMUM OF 1 FOOT WITH UPSTREAM RECP ON TOP TO PREVENT UPLIFTING. PLACE THE OUTSIDE EDGES OF THE RECP(S) IN LONGITUDINAL TRENCHES, PIN,

AT 1 FOOT SPACING ACROSS THE RECP. WHEN INSTALLING MULTIPLE WIDTH MATS HEAT SEAMED IN THE FACTORY, ALL FACTORY SEAMS AND FIELD OVERLAPS SHOULD BE SIMILARLY ANCHORED.

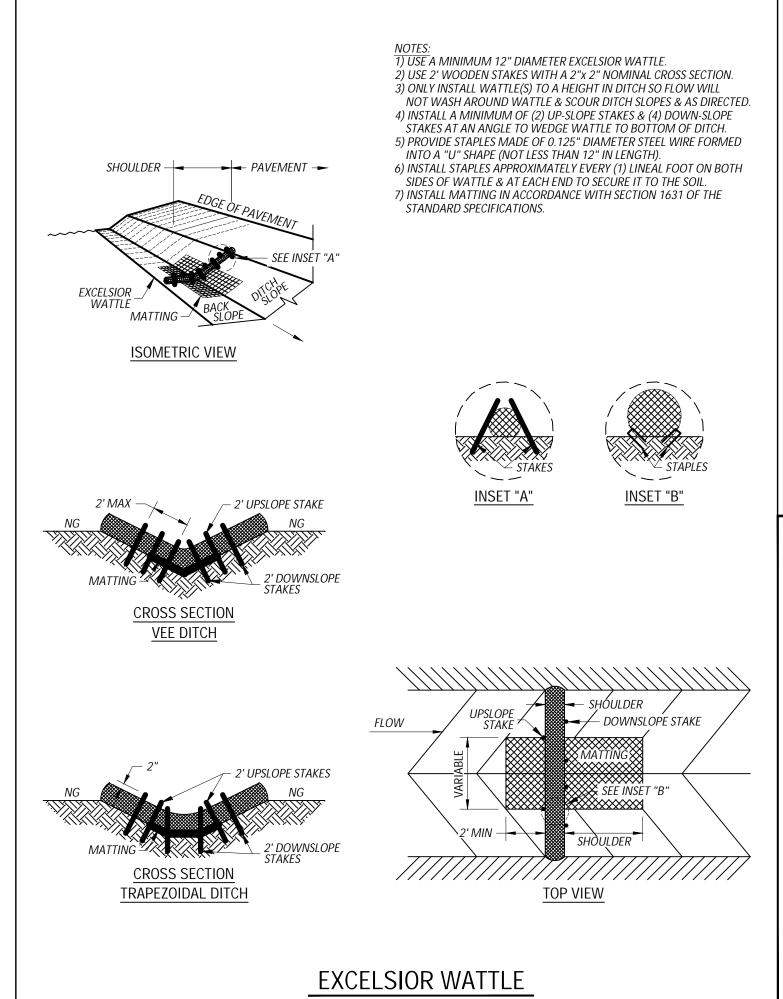
1. INSPECT ROLLED EROSION CONTROL PRODUCTS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAIN FALL EVENT REPAIR IMMEDIATELY. 2. GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED. AND FROSION MUST NOT OCCUR BENEATH THE RECP.

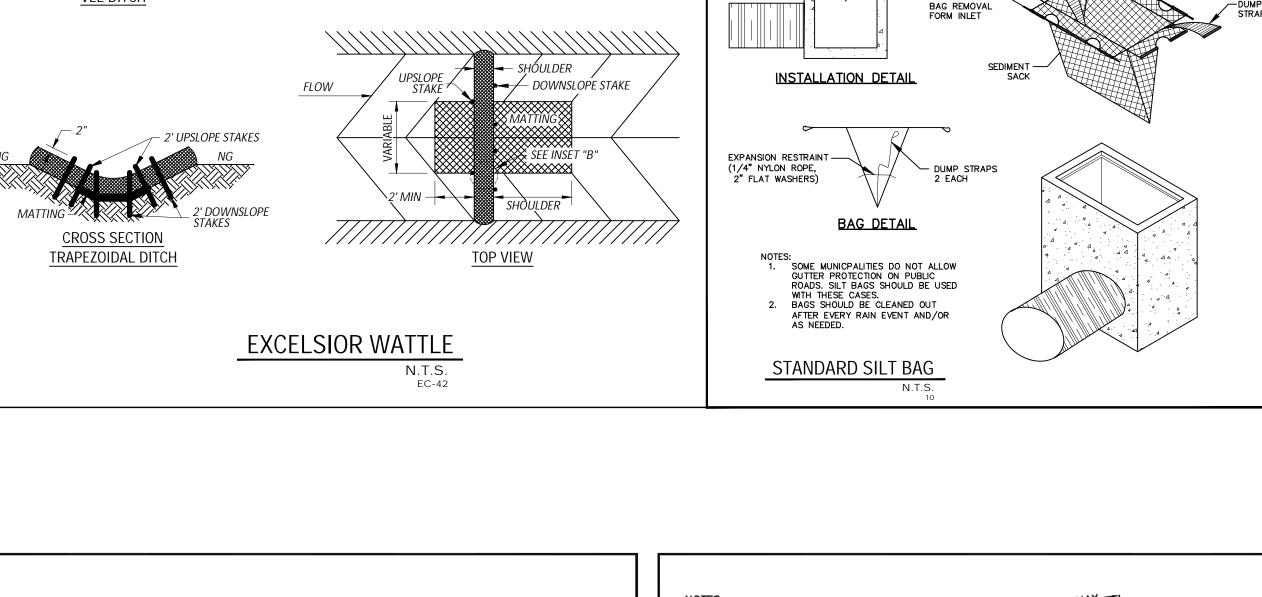
3. ANY AREAS OF THE RECP THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED. 4. IF EROSION OCCURS DUE TO POORLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA PROTECTED.

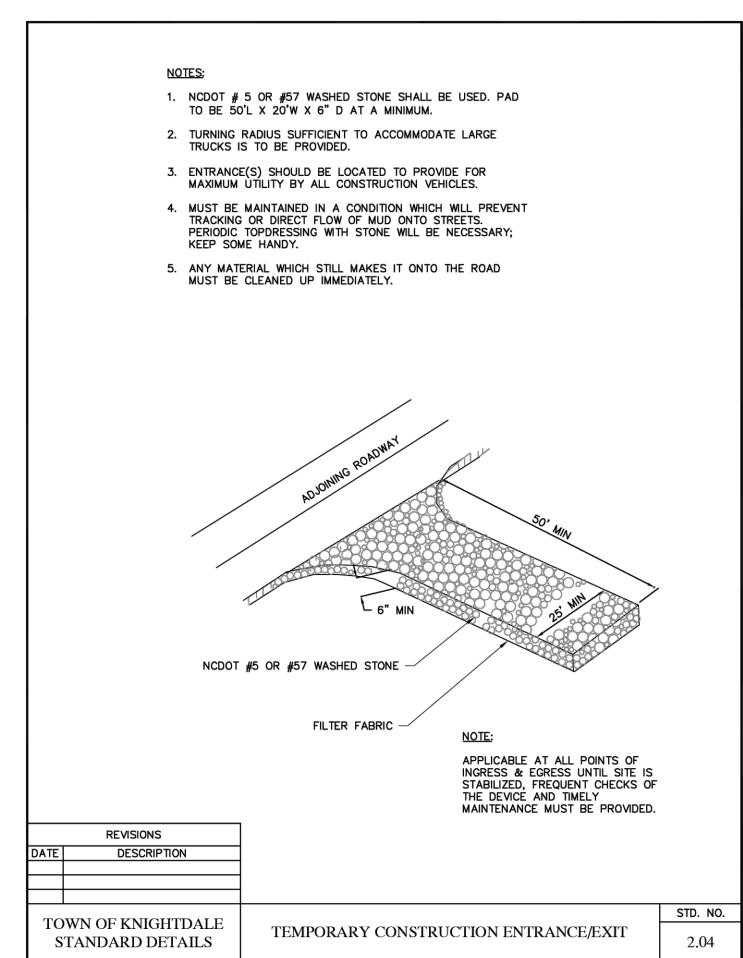
 $5. \ MONITOR \ AND \ REPAIR \ THE \ RECP \ AS \ NECESSARY \ UNTIL \ GROUND \ COVER \ IS \ ESTABLISHED.$ SILT FENCE TOP OF SILT FENCE MUST BE AT LEAST 1' ABOVE THE TOP OF
THE WASHED STONE FRONT VIEW FILTER FABRIC AND HARDWARE CLOTH IN TRENCH STEEL FENCE POST-WIRE FENCE -STEEL FENCE POST HARDWARE CLOTH -SET MAX 2' APART MIN 18" INTO SOLID GROUND WASHED STÖNE \_3' FILTER FABRIC ON GROUND STONE OUTLET IS COVERED. REPLACE STONE AS NEEDED TO ENSURE DEWATERING. BURY WIRE FENCE AND-HARDWARE CLOTH ∽BURY 6" UPPER EDGE OF FILTER FABRIC IN TRENCH

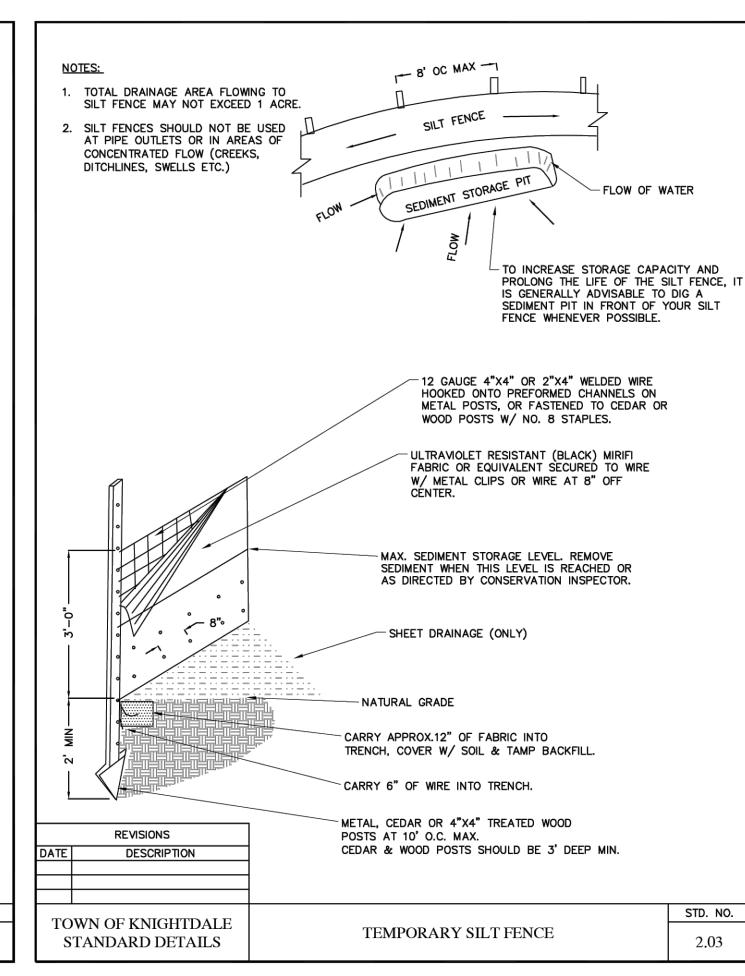
STANDARD SILT FENCE OUTLET

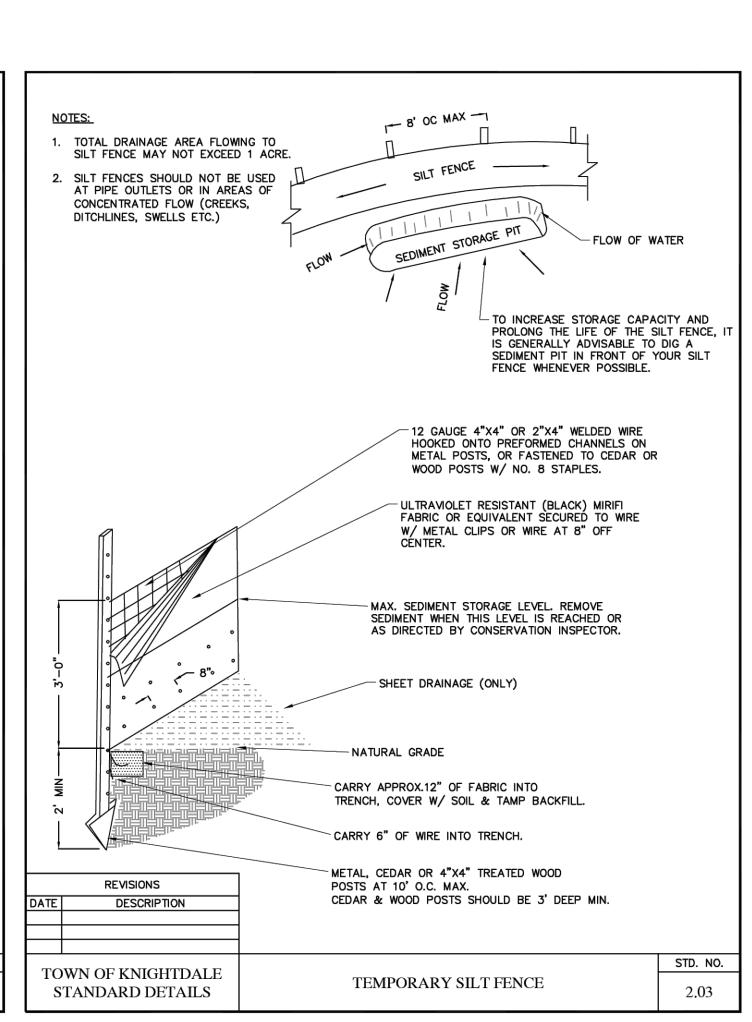
# Intermittent check slot 1. Check slots to be constructed per manufacturers specifications. 2. Staking or stapling layout per manufacturers specifications. Slope surface shall be smooth before If there is a berm at the top of slope, anchor upslope of the berm. placement for proper soil contact. Anchor in 6"x6" min. Trench Stapling pattern as and staple at 12" intervals. per manufacturers recommendations. max. 5" spacing. Bring material down to a level area, Do not stretch blankets/matting tight-allow turn the end under 4" and staple at 12" the rolls to conform to any irregularities. Lime, fertilize, and seed before installation. Planting For slopes less than 3H:1V, rolls of shrubs, trees, etc. should occur after installation. may be placed in horizontal strips.





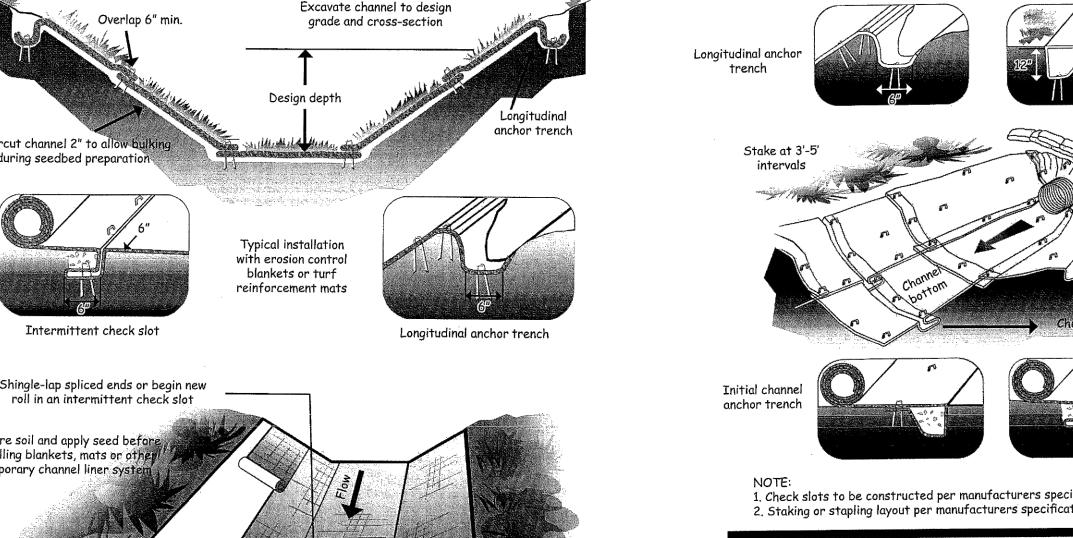






**REVISIONS:** MAY 22, 2024 ESIGNED BY: RAWN BY: CHECKED BY: 2023008 PROJECT No. RAWING No. W-4073-MF1" = 20

Do Not Use for Construction - PRELIMINARY



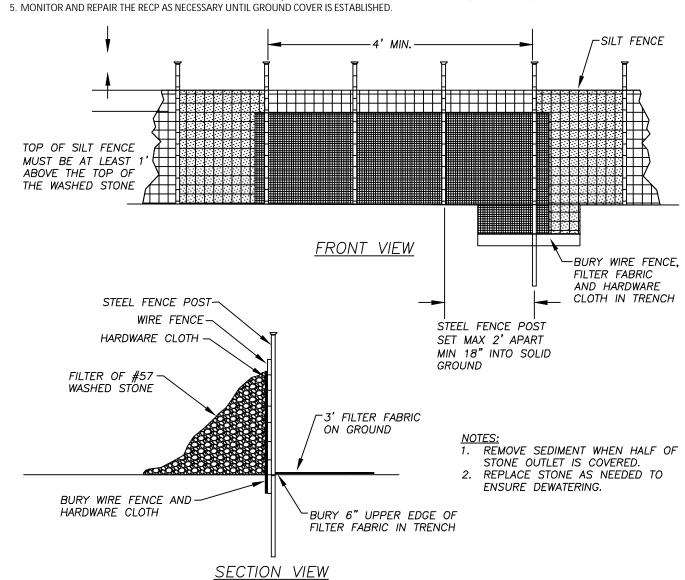
RECP DETAIL

Terminal slope and

hannel anchor trench

ANCHORING DEVICES - 11 GAUGE, AT LEAST 6 INCHES LENGTH BY 1 INCH WIDTH STAPLES OR 12 INCH MINIMUM LENGTH WOODEN STAKES ARE RECOMMENDED FOR ANCHORING THE RECP TO THE

DRIVE STAPLES OR PINS SO THAT THE TOP OF THE STAPLE OR PIN IS FLUSH WITH THE GROUND SURFACE. ANCHOR EACH RECP EVERY 3 FEET ALONG ITS CENTER. LONGITUDINAL OVERLAPS MUST BE SUFFICIENT TO ACCOMMODATE A ROW OF ANCHORS AND UNIFORM ALONG THE ENTIRE LENGTH OF OVERLAP AND ANCHORED EVERY 3 FEET ALONG THE OVERLAP LENGTH. ROLL ENDS MAY BE SPLICED BY OVERLAPPING 1 FOOT (IN THE DIRECTION OF WATER FLOW), WITH THE UPSTREAM/UNSLOPE MAT PLACED ON TOP OF THE DOWNSTREAM/DOWNSLOPE RECP. THIS OVERLAP SHOULD BE ANCHORED



SILT FENCE

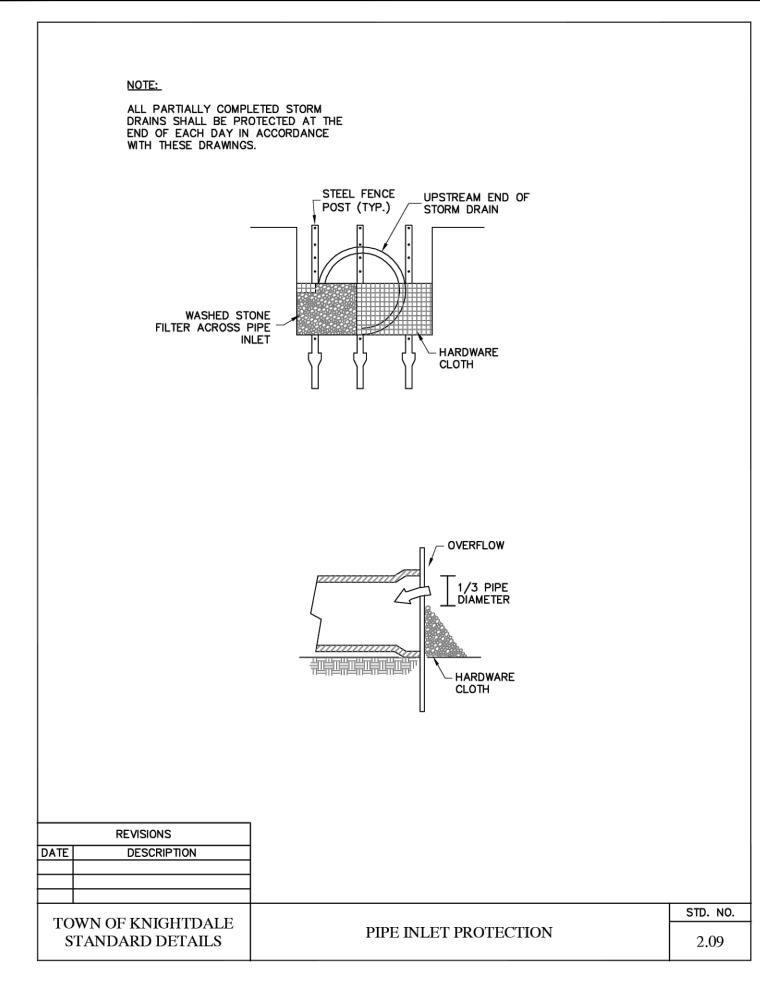
MAINTENANCE

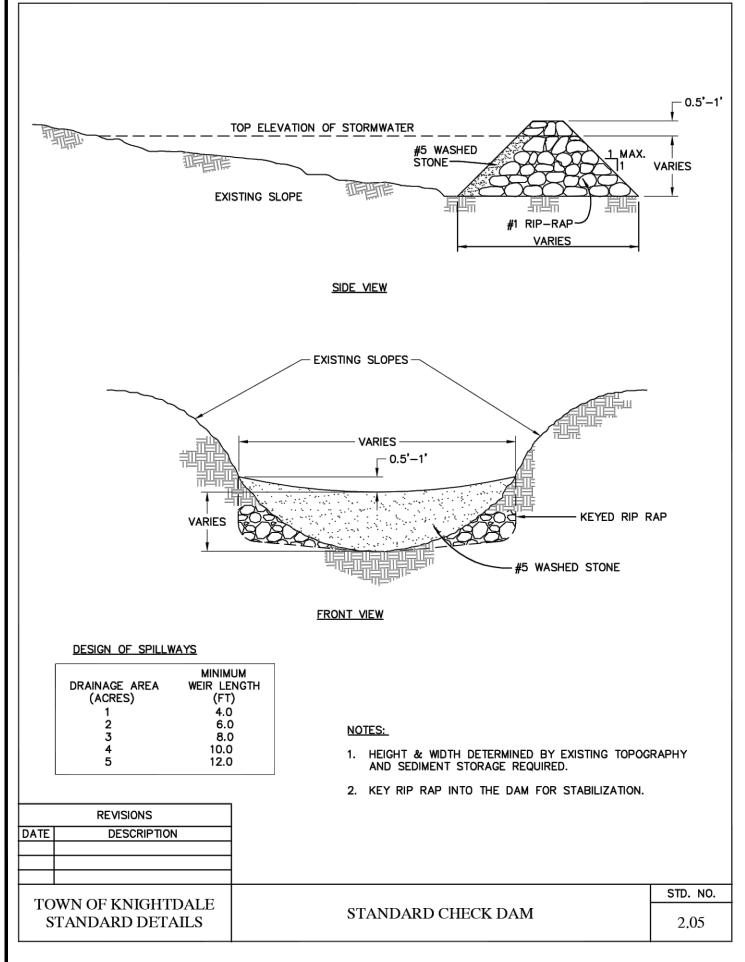
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL, MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

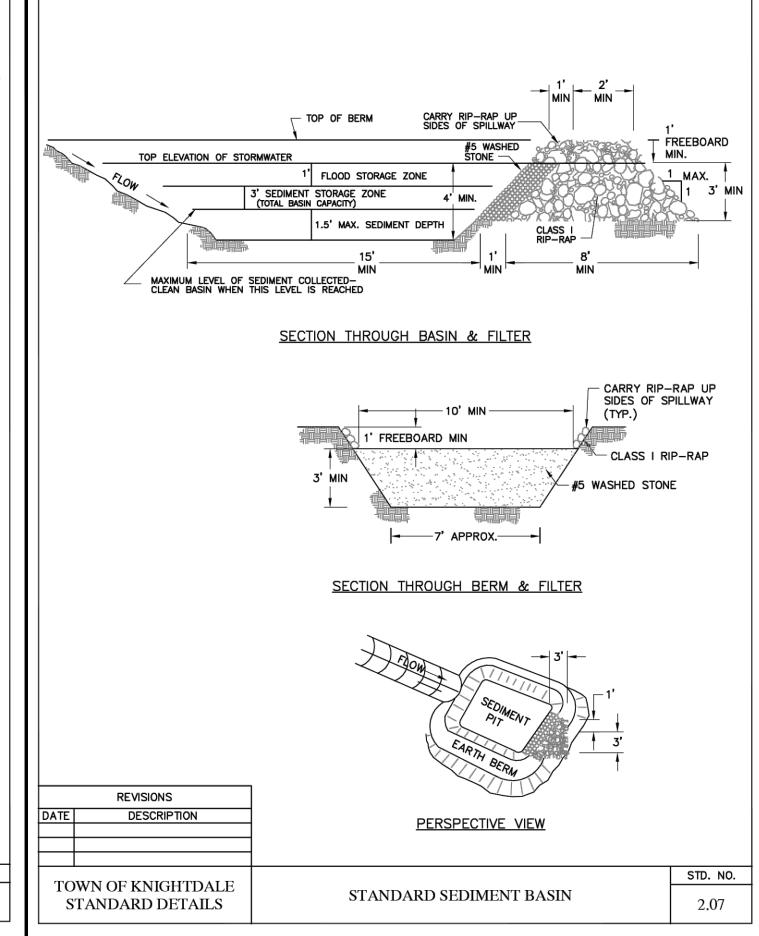
SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

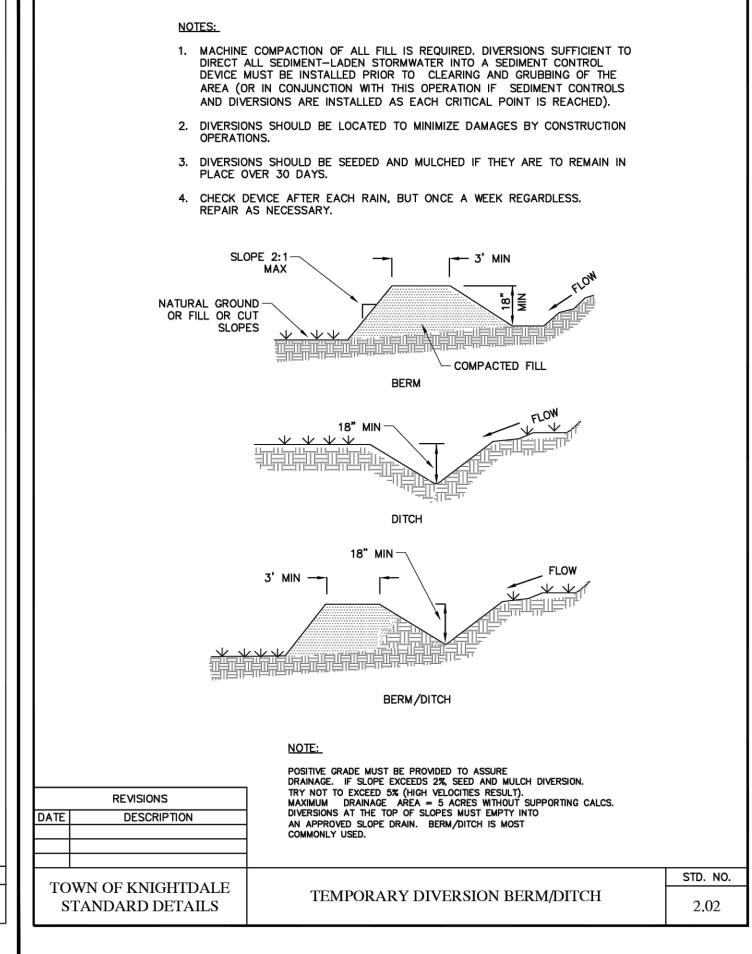
REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

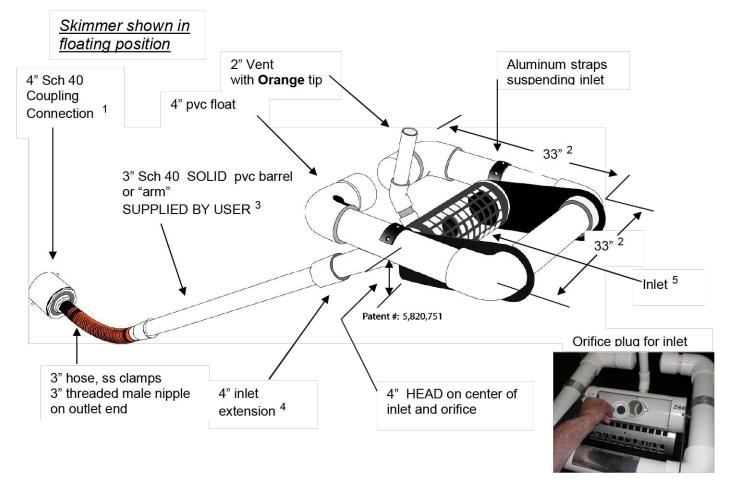








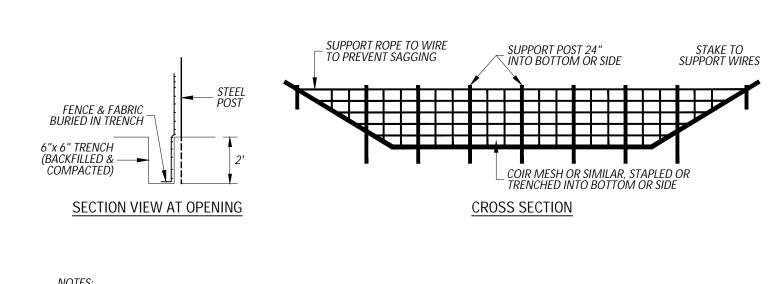




- 1. Coupling can be removed and hose attached to outlet using the threaded 3" nipple. Typical methods used: on a metal structure a steel stubout welded on the side at the bottom with a 3" threaded coupling or reducers; on a concrete structure with a hole or orifice at the bottom, use a steel plate with a hole cut in it and coupling welded to it that will fit over the hole in the concrete and bolted to the structure with sealant. It is possible to grout a 4" pvc pipe in a hole in the concrete to connect the skimmer but this is
- less secure than other methods. 2. Dimensions are approximate, not intended as plans for construction.
- 3. Barrel (solid, not foam core pipe) should be 1.4 times the depth of water with a minimum length of 8' so the inlet can be pulled to the side for maintenance. If more than 10' long weight may have to be added to inlet to counter the increased buoyancy.
- 4. Inlet tapers down from 4" maximum inlet to a 3" barrel and hose. Barrel is smaller to reduce buoyancy and tendency to lift inlet but is sufficient for flow through inlet because of slope. The inlet orifice can be
- reduced using the plug and cutter provided to control the outflow rate. 5. Inlet is 8" pipe between the straps with slots cut in the inlet and aluminum screen door (smaller than
- shown in illustration) for access to the 4" inlet and orifice inside. 6. Capacity 20,109 cubic feet per day maximum with 4" inlet and 4" head. Inlet can be reduced by
- installing a smaller orifice using the plug and cutter provided to adjust flow rate for the particular basin volume and drawdown time required.
- 7. Shipped assembled. User glues inlet extension and barrel, installs vent, cuts orifice in plug and attaches to outlet pipe or structure. Includes flexible hose, rope, orifice cutter, etc.

4inchCut TM 11-07

January 15, 2019



1) BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM & SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
2) MOST OF THE SEDIMENT WILL ACCUMULATE IN THE FIRST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE. 3) PROVIDE 3 BAFFLES (USE 2 IF LESS THAN 20' IN LENGTH). PROVIDE 5 BAFFLES FOR DRAINAGE AREAS GREATER THAN 10 4) BAFFLE SHALL BE 700 G/M2 COIR EROSION BLANKET. 5) TOPS OF BAFFLES SHALL BE 2" LOWER THAN THE TOP OF THE

y: \_\_\_\_\_ Administrator

6) INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH

STANDARD BAFFLES

Town Certification. This design	n has been reviewed by the Engineer for the
	pest of my knowledge and belief, it conforms
to the requirements established in Knightdale.	n the Standard Specifications of the Town of
o .	Data
By: Town Engineer	Date:
These plans are approved by the construction plans for this project	

**REVISIONS:** 

MAY 22, 2024

DRAWING No. W-4073-MP

DESIGNED BY:

DRAWN BY:

CHECKED BY:

PROJECT No.

MJP

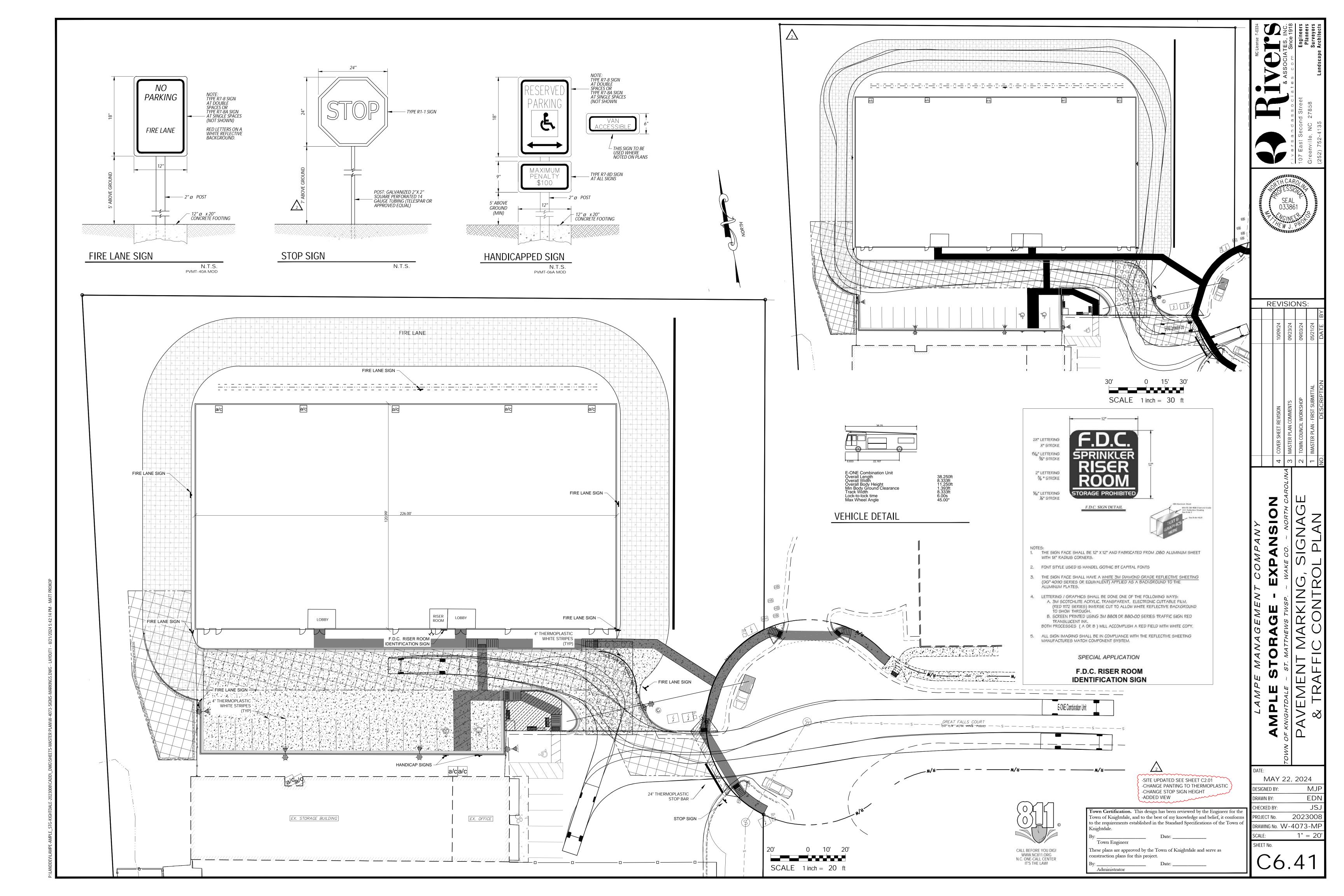
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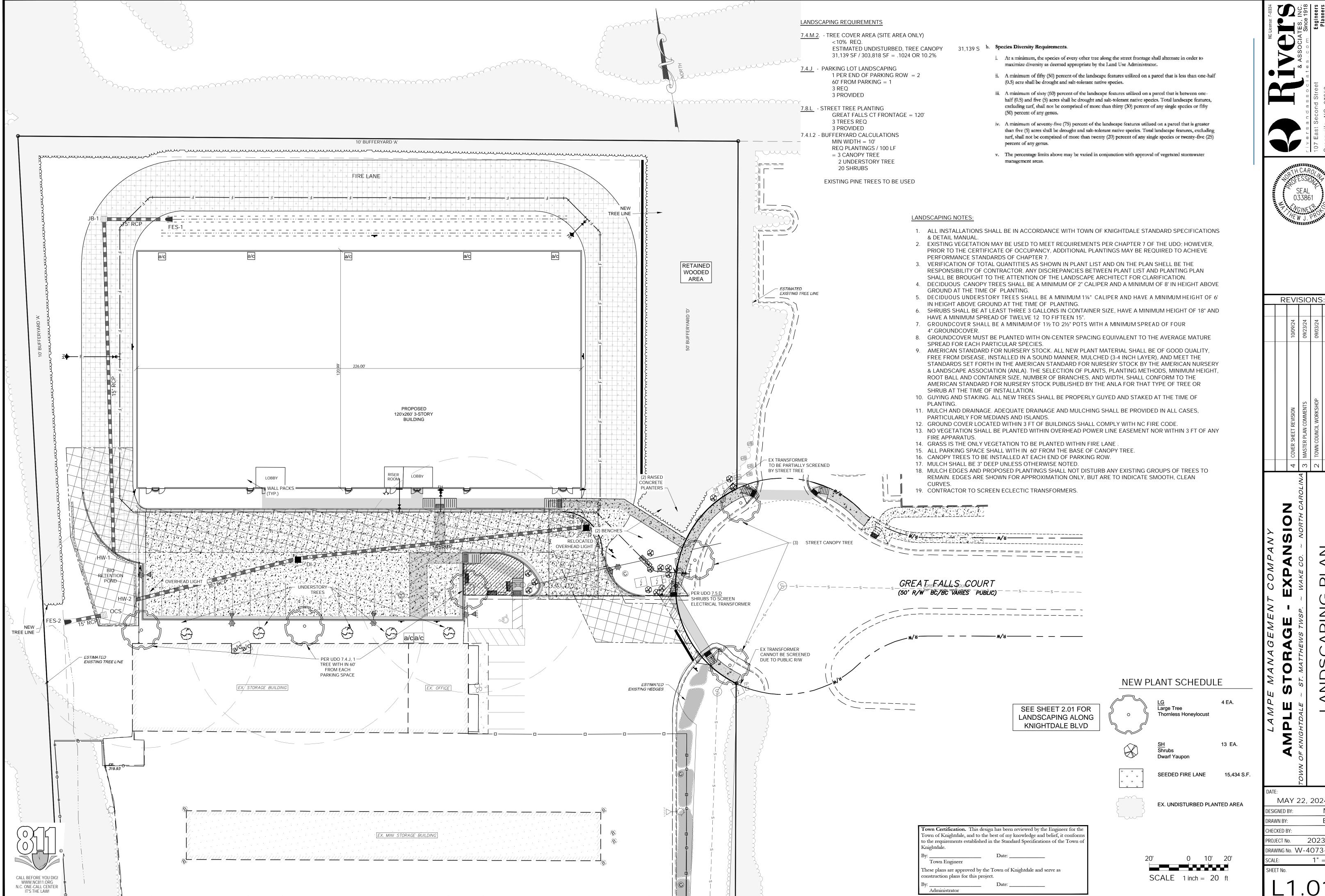
JSJ

2023008

1" = 20

Do Not Use for Construction - PRELIMINARY

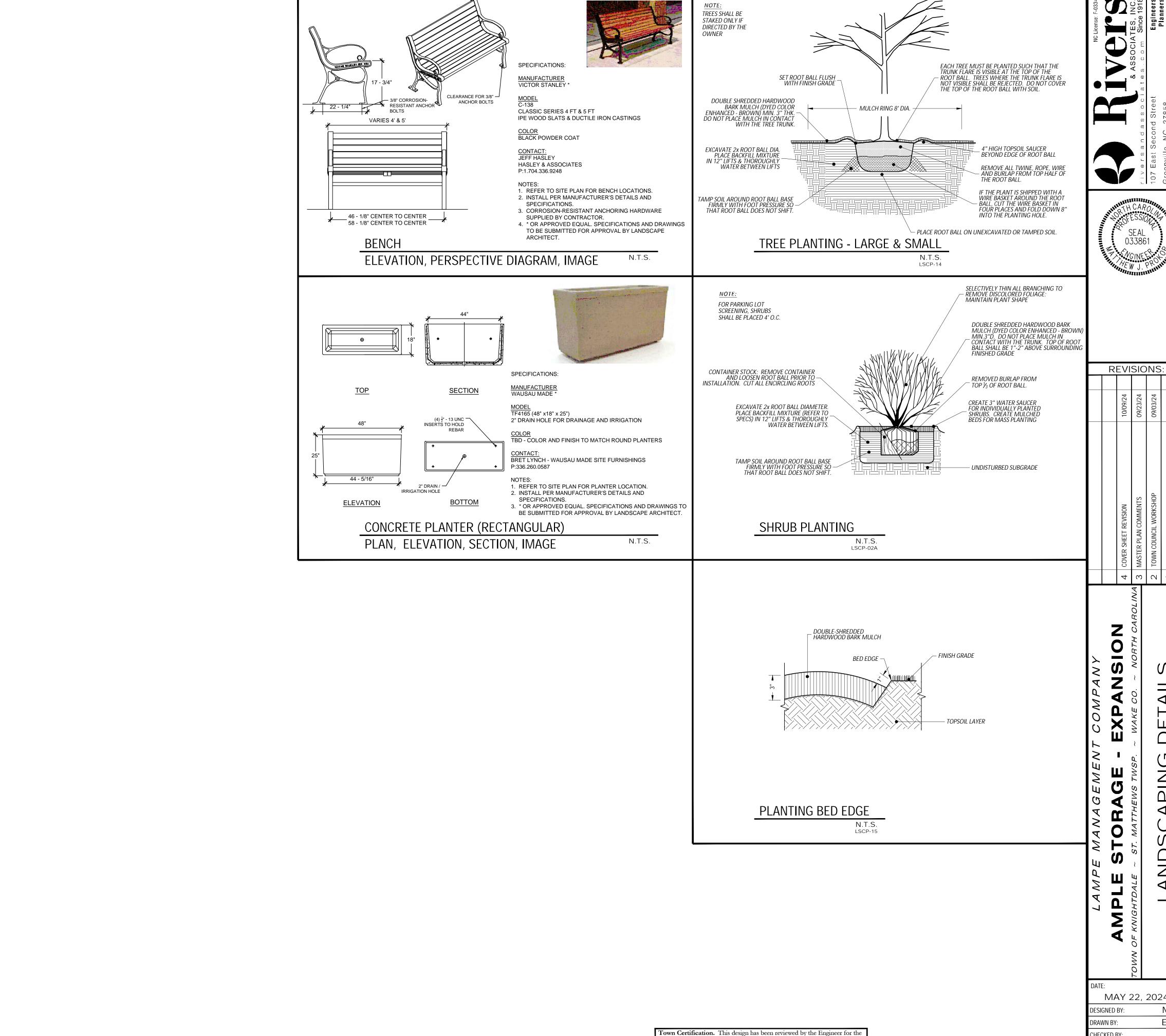






MAY 22, 2024

2023008 DRAWING No. W-4073-MI 1" = 20



**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Town Engineer These plans are approved by the Town of Knightdale and serve as construction plans for this project. By: \_\_\_\_\_ Administrator

0 10' 20' SCALE 1 inch = 20 ft

MAY 22, 2024 MJP DESIGNED BY: DRAWN BY: JSJ CHECKED BY: 2023008 PROJECT No. DRAWING No. W-4073-MP 1" = 20

AIL

	LIGHT FIXTURE SCHEDULE										
MARK	MADY DECODIDE IN	LOUVER/LENS	LAMPS		VOLTAGE INP	INPUT WATTAGE	MDUNTING	REMARKS	MFG	MODEL	
MARK DESCRIPTION	DESCRIFIIUN	LUUVER/LENS	TYPE	LUMENS	CCT	YULTAUL	INFUL WATTAGE	MITHORN	KEMAKKS	Mru	MUDEL
٧	COLOR SELECTABLE WALL PACK	ACRYLIC	LED	1454	4000K	MVOLT (120-277)	10. 9	WALL - 15' AFF	1-3	TAMLITE	ARC1 LED P1 40K MVOLT PE DDBXD
Х	COMPACT AREA POLE LIGHT	ACRYLIC	LED	3509	4000K	MVOLT (120-277)	27. 2	POLE - 25' AFF	1-4	NATURELED	7616 LED-FXSAL29/40K/DB/3S WITH GLARE SHIELD RAB PS4-1125D2 STEEL POLE

- CONFIRM FINISH WITH ARCHITECT AND OWNER BEFORE ORDERING.
- FIXTURE TO BE OUTDOOR RATED. CONTROLLED VIA PHOTOCELL.
- MOUNTING: EA6/SB/SF/WM/PM/YOKE MOUNT

## GENERAL ELECTRICAL NOTES:

THE FOLLOWING ABBREVIATIONS SHALL APPLY TO NOTES AND PLANS:

PC - PLUMBING CONTRACTOR, EC - ELECTRICAL CONTRACTOR, MC - MECHANICAL CONTRACTOR, GC - GENERAL CONTRACTOR,

FASC — FIRE ALARM SYSTEM CONTRACTOR, AHJ — AUTHORITY HAVING JURISDICITON. "PROVIDE" MEANS TO FURNISH AND INSTALL. THE ELECTRICAL CONTRACTOR SHALL ALSO INSTALL MATERIALS AND EQUIPMENT

FURNISHED BY OTHERS AND THE GENERAL CONTRACTOR AS REQUIRED. EC SHALL PROVIDE LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY AND REASONABLY INCIDENTAL TO INSURE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. MINOR ITEMS,

ACCESSORIES, AND DEVICES REASONABLY INFERABLE AS NECESSARY FOR THE COMPLETION AND PROPER OPERATION OF ANY ELECTRICAL SYSTEM SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. WORKMANSHIP SHALL BE IN ACCORDANCE WITH NECA 1 "STANDARD PRACTICE FOR GOOD WORKMANSHIP IN ELECTRICAL

ALL MATERIALS AND EQUIPMENT SHALL BE DELIVERED TO THE SITE AND UNLOADED BY THE ELECTRICAL CONTRACTOR AT AN APPROVED LOCATION. THE ELECTRICAL CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT FROM BREAKAGE, THEFT, AND THE ELEMENTS. ALL MATERIALS AND EQUIPMENT SHALL REMAIN THE PROPERTY OF THE ELECTRICAL CONTRACTOR UNTIL THE PROJECT HAS BEEN COMPLETED AND TURNED OVER TO THE OWNER.

THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS NECESSARY FOR THE COMPLETION OF THE WORK UNDER THIS CONTRACT.

DO NOT SCALE THESE DRAWINGS-REFER TO ARCHITECTURAL SHEETS FOR DIMENSIONS. TRADE NAMES AND MANUFACTURERS ARE SPECIFIED TO ESTABLISH A QUALITY STANDARD. SUBSTITUTIONS SHALL BE PERMITTED IF APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ALL LISTED MODEL NUMBERS SHALL BE VERIFIED WITH

THE MANUFACTURER FOR PROPER APPLICATION OF EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS. THE ELECTRICAL CONTRACTOR SHALL CONTACT THE ENGINEER TO RESOLVE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE PLANS. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES PRIOR TO THE START OF CONSTRUCTION.

10. GROUNDING AND BONDING SHALL BE PER NEC ARTICLE 250. THE RACEWAY SYSTEM SHALL NOT BE RELIED UPON FOR GROUNDING CONTINUITY. A GREEN EQUIPMENT GROUNDING CONDUCTOR, SIZED PER NEC TABLE 250-122, SHALL BE RUN IN ALL POWER RACEWAYS. FOR NON-ISOLATED GROUND CIRCUITS PROVIDE ONE EQUIPMENT GROUNDING CONDUCTOR PER CONDUIT RUN. FOR ISOLATED GROUND CIRCUITS, PROVIDE ONE NEUTRAL AND ONE ISOLATED GROUND WIRE FOR EACH CIRCUIT; IN ADDITION, PROVIDE ONE EQUIPMENT GROUNDING CONDUCTOR PER CONDUIT RUN. MAIN BONDING JUMPERS AND SYSTEM BONDING JUMPERS SHALL BE INSTALLED IN ACCORDANCE WITH 250.28 OF THE NEC. FOR BUILDINGS OR STRUCTURES SUPPLIED BY FEEDERS OR BRANCH CIRCUITS, GROUNDING AND BONDING SHALL BE IN ACCORDANCE WITH 250.32. SEPARATELY DERIVED AC SYSTEMS SHALL BE GROUNDED IN ACCORDANCE WITH 250.30. RESISTANCE TO GROUND SHALL NOT EXCEED 25 OHMS; ADDITIONAL GROUNDING ELECTRODES SHALL BE INSTALLED PER 250.54 AS NECESSARY.

11. THE ELECTRICAL CONTRACTOR SHALL ALSO COORDINATE WITH THE GENERAL CONTRACTOR REGARDING THE BONDING OF THE FOOTING REBAR, SO THAT IT WILL BE IN PLACE AND READY AT TIME OF FOOTING INSPECTION.

12. ALL MATERIALS AND EQUIPMENT SHALL COMPLY WITH THE UNDERWRITERS' LABORATORIES. INC. STANDARDS OR HAVE UL APPROVAL, OR BEAR UL RE-EXAMINATION LISTING WHERE SUCH APPROVAL HAS BEEN ESTABLISHED FOR THE TYPE OF DEVICE IN QUESTION.

13. CONDUCTORS, FUSES, CIRCUIT BREAKERS, AND DISCONNECT SWITCHES SHOWN ON THESE PLANS HAVE BEEN SIZED FOR THE SPECIFIED EQUIPMENT. BEFORE ORDERING ELECTRICAL EQUIPMENT, THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON THE SITE AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES SHOULD CONDUCTOR, CIRCUIT Breaker, or fuse sizes require change.

14. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO ENSURE THE FOLLOWING MATERIALS ARE RECYCLED DURING THE CONSTRUCTION PHASE OF THE PROJECT: LIGHT FIXTURES, INCLUDING PROPER DISPOSAL OF BALLASTS, FLUORESCENT LIGHT BULBS, AND TRANSFORMERS, WIRING AND ELECTRICAL EQUIPMENT, AND INSULATION. WASTE MATERIALS CONTAINING LEAD, ASBESTOS, PCBs (FLUORESCENT LAMP BALLASTS), OR OTHER HARMFUL SUBSTANCES SHALL BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL AND STATE LAWS AND REQUIREMENTS CONCERNING HAZARDOUS WASTE.

15. ALL WORK SHALL CONFORM TO 2017 NATIONAL ELECTRIC CODE, 2018 STATE BUILDING CODE, AND ALL APPLICABLE LOCAL

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY DISCONNECTS, SWITCHES, RECEPTACLES, TERMINALS, ETC, UNDER THE ELECTRICAL BID AND SHALL INCLUDE ALL NECESSARY CIRCUITS AND CONNECTIONS TO THE EQUIPMENT PROVIDED BY ALL SUPPLIERS, UNLESS NOTED OTHERWISE BY OTHER DISCIPLINES.

ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SERVICE ENTRANCE EQUIPMENT, SUB PANELS, AND OTHER ELECTRICAL DISTRIBUTION EQUIPMENT AS NECESSARY FOR A COMPLETE INSTALLATION. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH UTILITY REGARDING SERVICE AND METERING DETAILS. PRIOR TO ORDERING EQUIPMENT, THE ELECTRICAL CONTRACTOR SHALL OBTAIN THE AVAILABLE FAULT CURRENT OR TRANSFORMER SIZE AND IMPEDANCE FROM THE UTILITY AND CONTACT THE ENGINEER IF THE VALUE EXCEEDS THE EQUIPMENT SPECIFIED. PANEL BOARDS AND SWITCH BOARDS SHALL BE SQUARE D, CUTLER-HAMMER, SIEMENS, OR GE. BUSES SHALL BE COPPER UNLESS OTHERWISE APPROVED BY THE ENGINEER. RECESSED PANEL BOARDS SHALL BE INSTALLED FLUSH WITH THE WALL FINISH. METER BASES SHALL COMPLY WITH THE UTILITY'S SPECIFICATIONS AND SHALL BE MOUNTED AT A HEIGHT APPROVED BY THE UTILITY. ALL EQUIPMENT IDENTIFIED FOR SERVICE ENTRANCE USE SHALL BE SO LABELED AND UL LISTED FOR SUCH USE. ELECTRICAL CONTRACTOR SHALL INSTALL ALL ELECTRICAL EQUIPMENT WITH CLEARANCES PER NEC 110.26. ELECTRICIAN SHALL PERMANENTLY LABEL EQUIPMENT PER NEC

ENCLOSED SAFETY SWITCHES SHALL BE HEAVY DUTY TYPE BY SQUARE D, EATON, OR GE. ENCLOSED SWITCHES SHALL HAVE A HANDLE LOCKABLE IN THE OFF POSITION AND SHALL HAVE A HANDLE INTERLOCKED TO PREVENT OPENING THE FRONT COVER WHILE IN THE ON POSITION, ENCLOSED SWITCHES OF THE FUSIBLE TYPE SHALL BE FUSED IN ACCORDANCE WITH nameplate data with dual element type fuses by Bussman. Littelfuse. Or mersen.

CIRCUIT BREAKERS SHALL BE MOLDED-CASE, THERMAL MAGNETIC TYPE WITH QUICK-MAKE, QUICK-BREAK MECHANISM, COMMON TRIP ON MULTI-POLE BREAKERS, AND UL LISTED FOR BOTH COPPER AND ALUMINUM CONDUCTORS. CIRCUIT BREAKERS IN PANELS SHALL BE SERIES RATED WITH THE MAIN BREAKER, FULLY RATED FOR THE SYSTEM, OR SERIES RATED WITH THE BREAKER FEEDING THE PANEL FROM THE FACTORY.

5. ALL WIRE, CONNECTORS, TERMINALS, AND LUGS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. WHERE CONDUCTORS ARE RUN IN PARALLEL, LUGS SHALL BE LISTED FOR PARALLEL CONDUCTORS. PUSH WIRE CONNECTORS ARE NOT ALLOWED FOR BUILDING WIRE. PUSH CONNECTORS ARE ONLY ALLOWED, WHEN APPROVED, AS PART OF MANUFACTURED LISTED PRODUCTS. ALL WIRE SHALL BE INSTALLED IN CONDUIT UNLESS SPECIFICALLY NOTED OTHERWISE.

THE INSULATION TYPE FOR INTERIOR WIRING SHALL BE DUAL RATED THHN/THWN OR XHHW: ALL WIRING INSTALLED BELOW GRADE OR IN MOIST OR WET LOCATIONS SHALL HAVE TYPE THWN OR XHHW INSULATION. INSULATION VOLTAGE RATING SHALL BE 600 VOLTS AND A MINIMUM TEMPERATURE RATING OF 75°C. CONDUCTORS SHALL BE SOLID OR STRANDED COPPER FOR #10 AWG AND #12 AWG, AND STRANDED COPPER FOR #8 AWG AND LARGER SIZES. ALL WIRING AND CABLE SHALL BE UL LISTED. ALL TERMINATIONS AND DEVICES SHALL BE RATED FOR USE WITH 75°C CONDUCTORS. FINAL CONNECTIONS TO ALL MOTORS AND EQUIPMENT SUBJECT TO VIBRATION OR MOVEMENT SHALL BE MADE WITH STRANDED COPPER CONDUCTORS. CONDUCTORS SHALL BE BY CERRO WIRE, INC, INDUSTRIAL WIRE & CABLE, INC, ENCORE WIRE CORPORATION, OR SOUTHWIRE

JOINTS IN SOLID CONDUCTORS SHALL BE SPLICED USING IDEAL "WIRE NUTS", 3M "SCOTCH LOCK", OR T&B "PIGGY" CONNECTORS IN JUNCTION BOXES, OUTLET BOXES, AND LIGHTING FIXTURES. JOINTS IN STRANDED CONDUCTORS SHALL BE SPLICED BY APPROVED MECHANICAL CONNECTORS AND GUM RUBBER TAPE OR FRICTION TAPE. SOLDERLESS MECHANICAL CONNECTORS FOR SPLICES AND TAPS, PROVIDED WITH UL APPROVED INSULATING COVERS, MAY BE USED INSTEAD OF MECHANICAL CONNECTORS PLUS TAPE. IN ALL CASES, CONDUCTORS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET AND NO SPLICING SHALL BE MADE EXCEPT WITHIN OUTLET OR JUNCTION BOXES, TROUGHS, OR GUTTERS. WHERE CONCENTRIC, ECCENTRIC, OR OVERSIZED KNOCKOUTS ARE ENCOUNTERED, A GROUNDING TYPE INSULATED BUSHING SHALL BE PROVIDED.

ALL LUMINAIRES SHALL BE LISTED. LUMINAIRES IN WET OR DAMP LOCATIONS SHALL BE MARKED AS SUITABLE FOR THE RESPECTIVE USE. EMERGENCY LIGHTING SHALL BE INSTALLED AS SHOWN. FINAL LOCATIONS OF ALL EXIT AND EMERGENCY LIGHTS SHALL BE VERIFIED WITH THE BUILDING INSPECTOR PRIOR TO INSTALLATION. ALL FLUORESCENT FIXTURES SHALL

HAVE ELECTRONIC BALLASTS MEETING ANSI C82.11 FOR ELECTRONIC BALLAST PERFORMANCE. ALL BALLASTS SHALL BE UL LISTED AND MEET FEDERAL AND STATE EFFICIENCY REQUIREMENTS.

ALL CONDUIT, FITTINGS, COUPLINGS, AND SUPPORTS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. CONDUIT FITTINGS AND COUPLINGS SHALL BE BY APPLETON, RACO, OR O-Z/GEDNEY. COUPLINGS SHALL BE THREADED, SET-SCREW OR COMPRESSION TYPE. INDENTER OR CRIMP TYPE ARE NOT PERMITTED. CONDUIT FITTINGS AT ALL ELECTRICAL BOXES INCLUDING PULL, JUNCTION, AND OUTLET BOXES, SHALL HAVE INSULATED THROATS TO PREVENT INSULATION SCORING. DIE CAST FITTINGS ARE NOT PERMITTED

10. EMT SHALL BE MANUFACTURED IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE-AMERICAN NATIONAL STANDARD FOR STEEL ELECTRICAL METALLIC TUBING (EMT), ANSI C80.3 AND UL 797. RIGID METAL CONDUIT SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI-AMERICAN NATIONAL STANDARD FOR ELECTRICAL RIGID STEEL CONDUIT (ERSC), ANSI C80.1 AND UL 6. INTERMEDIATE METAL CONDUIT SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI-AMERICAN NATIONAL STANDARD FOR INTERMEDIATE METAL CONDUIT ANSI C80.6 AND UL 1242.

METAL CONDUIT SHALL BE BY ALLIED TUBING & CONDUIT, BECK MANUFACTURING, INC., OR WHEATLAND TUBE COMPANY. FLEXIBLE METAL CONDUIT, LIQUID—TIGHT FLEXIBLE METAL CONDUIT, AND NONMETALLIC CONDUIT SHALL BE BY AFC CABLE SYSTEMS, INC, ELECTRI-FLEX COMPANY, OR INTERNATIONAL METAL HOSE.

1. EC SHALL REVIEW THE MECHANICAL PLANS TO ESTABLISH POINTS OF CONNECTION AND THE EXTENT OF THE ELECTRICAL WORK TO BE PROVIDED IN THE CONTRACT. ALL CIRCUIT BREAKERS FEEDING HVAC EQUIPMENT SHALL BE HACR BREAKERS. ALL BRANCH CIRCUIT CONDUCTORS SHALL BE MINIMUM #12 AWG IN 3/4 in CONDUIT. EACH MULTI-WIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE SOURCE PER NEC 210.4(B). GROUP ALL CONDUCTORS OF EACH MULTI-WIRE BRANCH CIRCUIT PER 210.4(D) WITH WIRE TIES OR SIMILAR MEANS. DO NOT EXCEED THREE HOMERUNS PER CONDUIT. DO NOT INSTALL ISOLATED GROUND AND NON-ISOLATED GROUND CIRCUITS IN THE SAME CONDUIT. INSTALL CONDUCTORS OF DIFFERENT VOLTAGES IN SEPARATE CONDUITS.

COLOR CODE CONDUCTORS PER NEC. FEEDERS SHALL BE IDENTIFIED IN ACCORDANCE WITH NEC 215.12. USE BLACK, RED and blue for phases a, b, and c respectively on 208y/120 volt three-phase y systems and white for the NEUTRAL. ISOLATED GROUND WIRES SHALL BE GREEN WITH YELLOW BANDS OR STRIPES. THIS IDENTIFICATION SHALL BE MADE AT EACH POINT WHERE A CONNECTION IS MADE. COLORS SHALL BE FACTORY APPLIED FOR CONDUCTORS #6 AWG AND SMALLER. ALL EQUIPMENT GROUNDING CONDUCTORS SHALL BE GREEN IN COLOR AND MINIMUM #12 AWG. THE EC SHALL PROVIDE PLENUM RATED CABLE FOR ANY ELECTRICAL, TELEPHONE, COMMUNICATION, OR OTHER CABLE THAT ENTERS CEILING RETURN PLENUMS.

ALL LIGHT FIXTURES SHALL BE SUPPORTED INDEPENDENTLY OF THE SUSPENDED CEILING. COORDINATE LIGHTING LAYOUT WITH CEILING GRID, MECHANICAL EQUIPMENT, DUCTWORK AND SPRINKLER HEADS AS NECESSARY. SEE REFLECTED CEILING PLAN FOR DETAILS. FLUORESCENT FIXTURES UTILIZING DOUBLE—ENDED LAMPS MUST HAVE A DISCONNECTING MEANS COMPLYING WITH NEC 410.130(G).

MOUNT LIGHT SWITCHES AT 48 in AFF. MULTIPLE SWITCHES AT SAME LOCATION SHALL BE UNDER ONE WALL PLATE. VERIFY WALL PLATE COLOR AND MATERIAL WITH THE ARCHITECT/OWNER. INSTALL SWITCHES WITH off POSITION DOWN. ALL SWITCHES SHALL BE HEAVY DUTY, IVORY PLASTIC WITH TOGGLE HANDLE, RATED 120-277V AC, AND COMPLYING WITH NEMA WD 6 AND WD 1. SWITCHES SHALL BE BY COOPER WIRING DEVICES, LEVITON MANUFACTURING, PASS & SEYMOUR, OR HUBBELL. PROVIDE BOX DEVICE PARTITION/DIVIDERS FOR MULTI-GANG BOXES FOR COMPLIANCE WITH NEC 404.8(B).

ELECTRICAL CONTRACTOR SHALL PROVIDE FIRE-STOPPING AT ALL ELECTRICAL PENETRATIONS OF RATED FLOORS AND WALLS TO PRESERVE OR RESTORE THE FIRE-RESISTANCE RATING. SEAL PENETRATIONS USING A UL LISTED SYSTEM FOUND IN THE UL DIRECTORY SPECIFIC TO THE UL LISTING OF THE ASSEMBLY BEING PENETRATED. SEE ARCHITECTURAL PLANS FOR UL RATED ASSEMBLIES SPECIFIC TO THIS PROJECT.

LOCATIONS AND HEIGHTS OF ALL WALL-MOUNTED DEVICES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO

Installation. CONCEAL ALL CONDUIT EXCEPT IN MECHANICAL ROOMS OR UNFINISHED AREAS AS NOTED. USE EMT CONDUIT FOR ALL Branch circuits and feeders inside the building. Type MC cable and type AC cable May be installed within WALLS IF ALL NEUTRAL WIRES, ISOLATED GROUND WIRES, AND EQUIPMENT GROUND WIRES AS LISTED ABOVE ARE CONTAINED IN THE CABLE. FLEXIBLE CONNECTIONS TO MOTORS AND OTHER EQUIPMENT SHALL BE MADE USING WEATHERPROOF FLEXIBLE CONDUIT. FOR LAY-IN LIGHT FIXTURES, USE MAXIMUM OF SIX (6) FEET OF FLEXIBLE MC CABLE (OR THE FLEXIBLE CONDUIT PROVIDED BY THE FIXTURE MANUFACTURER). SCHEDULE 40 PVC CONDUIT MAY BE USED FOR THE SECONDARY UNDERGROUND SERVICE, UNDERGROUND TELEPHONE SERVICE, AND BRANCH AND FEEDER CIRCUITS UNDER SLAB OR EXTERIOR TO THE BUILDING. EXPOSED EXTERIOR CONDUIT SHALL BE SCHEDULE 80 PVC. ALL UNDERGROUND RACEWAYS SHALL BE IDENTIFIED WITH UNDERGROUND LINE MARKING TAPE 6-8 in BELOW GRADE DIRECTLY ABOVE THE RACEWAY. PROVIDE PULL WIRE IN EMPTY CONDUITS. UPSIZE CONDUIT FROM MINIMUM SIZE AS NECESSARY FOR LONGER PULLS. UNDERGROUND RACEWAYS THAT STUB INTO THE BOTTOM OF SWITCHBOARDS, OUTDOOR TRANSFORMERS, GENERATORS, ETC. SHALL RISE AT LEAST 2 in ABOVE THE FINISHED SLAB TO PREVENT WATER FROM DRAINING INTO THE RACEWAYS. RACEWAYS THAT PENETRATE EXTERIOR WALLS OR INTERIOR PARTITIONS SEPARATING SPACES THAT WILL BE AT SIGNIFICANTLY DIFFERENT TEMPERATURES SHALL BE SEALED IN ACCORDANCE WITH 300.5(G), 300.7(A), AND 300.50(E) OF THE NEC. ROUTE CONDUIT IN AND UNDER SLAB FROM POINT-TO-POINT. ROUTE EXPOSED CONDUIT AND CONDUIT INSTALLED ABOVE ACCESSIBLE CEILINGS PARALLEL AND PERPENDICULAR TO WALLS. COMPLETELY AND THOROUGHLY SWAB ALL RACEWAYS BEFORE INSTALLING WIRE. PULL ALL CONDUCTORS INTO EACH RACEWAY AT ONE TIME. USE A SUITABLE WIRE PULLING LUBRICANT FOR BUILDING WIRE #4 AWG AND LARGER.

CABLES, RACEWAYS, OR BOXES, INSTALLED IN EXPOSED OR CONCEALED LOCATIONS UNDER METAL—CORRUGATED SHEET ROOF DECKING, SHALL BE INSTALLED AND SUPPORTED SO THERE IS NOT LESS THAN 1-1/2 IN MEASURED FROM THE LOWEST SURFACE OF THE ROOF DECKING TO THE TOP OF THE CABLE, RACEWAY, OR BOX. A CABLE, RACEWAY, OR BOX SHALL NOT BE INSTALLED IN CONCEALED LOCATIONS IN METAL—CORRUGATED, SHEET DECKING—TYPE ROOF. SEE NEC

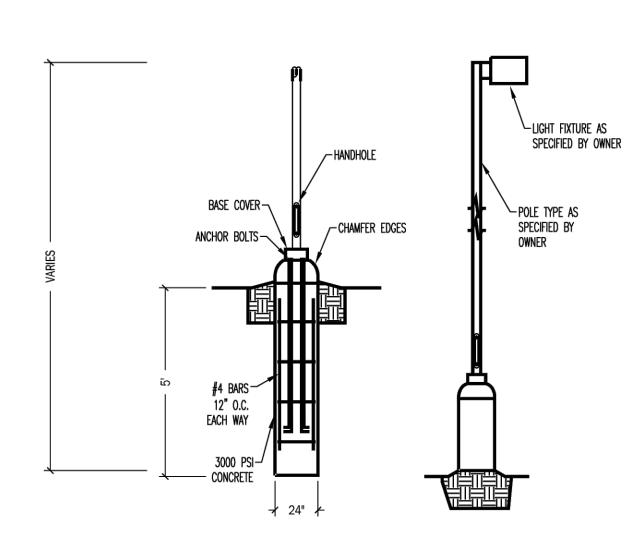
THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL OUTLET, JUNCTION, PULL BOXES, FITTINGS, AND SUPPORTS. ALL OUTLET AND JUNCTION BOXES SHALL BE GALVANIZED STEEL TYPE BY APPLETON, STEEL CITY, OR RACO. EXTERIOR BOXES SHALL BE TYPE FS. VAPORTITE BOXES SHALL BE TYPE GS. WHERE SURFACE MOUNTED BOXES ARE USED, THOSE BOXES AND THEIR FACEPLATES SHALL HAVE ROUNDED CORNERS. BOXES INSTALLED IN FLOORS SHALL BE RATED FOR THE APPLICATION. MOUNT JUNCTION AND OUTLET BOXES FLUSH WITH FINISH SURFACES UNLESS OTHERWISE NOTED. WHERE MOUNTING HEIGHTS ARE GIVEN, THEY SHALL BE MEASURED FROM THE FINISHED FLOOR TO THE CENTER OF THE BOX. ALL BOXES SHALL BE SIZED PER NEC ARTICLE 314. ALL OUTLET AND JUNCTION BOXES SHALL HAVE A COVER PLATE, PROVIDED BY THE ELECTRICAL CONTRACTOR. OUTLET BOXES IN RATED WALLS SHALL BE INSTALLED IN ACCORDANCE WITH VIRGINIA CONSTRUCTION CODE 714.3.2 (MAXIMUM BOX SIZE IS 16 SQUARE in AND MAXIMUM OF SIX (6) BOXES PER 100 SQUARE FEET). INSTALL OUTLET BOXES IN RATED WALLS SUCH THAT OPENINGS OCCUR IN ONE SIDE ONLY WITHIN ANY GIVEN STUD SPACE. ALL CLEARANCES BETWEEN THE OUTLET BOX AND THE GYPSUM BOARD SHALL BE FILLED WITH JOINT COMPOUND OR OTHER APPROVED FIRE STOP MATERIAL, FLUSH MOUNTED JUNCTION BOXES IN ADJACENT ROOMS SHALL NOT BE MOUNTED BACK-TO-BACK. SURFACE MOUNTED FIXTURES SHALL BE FED THROUGH FLUSH MOUNTED 4X4 OCTAGONAL OR SQUARE BOXES.

ALL CONDUIT, BOXES, AND ELECTRICAL EQUIPMENT SHALL BE FIRMLY AND SECURELY FASTENED TO OR SUPPORTED FROM THE BUILDING STRUCTURAL MEMBERS OR EMBEDDED IN CONCRETE OR MASONRY. ELECTRICAL SUPPORTS SHALL NOT BE ATTACHED TO DUCTWORK, PIPING, OR THEIR SUPPORTS. HANGERS SHALL BE CATALOG ITEMS COMPATIBLE WITH AND SUITABLE FOR THE INTENDED USE. FOR METAL ROOF DECK INSTALLATIONS, 1 in EMT CONDUIT MAXIMUM AND 4 in JUNCTION BOXES MAXIMUM MAY BE SUPPORTED BY DECKING. THE SUSPENDED CEILING SYSTEM SHALL NOT BE USED FOR THE SUPPORT OF ELECTRICAL RACEWAY SYSTEMS OR SUPPORT OF COMMUNICATIONS OR DATA SYSTEMS WIRING. CONTRACTOR SHALL COMPLY WITH 1613 OF THE VIRGINIA GENERAL CONSTRUCTION BUILDING CODE.

WHERE CONDUCTORS ARE RUN IN PARALLEL, THE EC SHALL COMPLY WITH NEC 310.10(H). PROVIDE AN UNDERGROUND PVC CONDUIT SYSTEM FOR TELEPHONE SERVICE WITH PULL WIRES. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH TELEPHONE UTILITY REGARDING ADDITIONAL FACILITIES REQUIRED FOR THE SERVICE INSTALLATION. ELECTRICAL CONTRACTOR SHALL FIELD IDENTIFY ALL SWITCH BOARD, PANEL BOARDS, CONTROL PANELS, METER SOCKETS.

ETC., TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRICAL ARC FLASH HAZARDS PER 110.16 OF NEC. ELECTRICAL CONTRACTOR SHALL PROVIDE NAMEPLATES FOR IDENTIFICATION OF ALL EQUIPMENT, SWITCHES, PANELS, ETC. TH NAMEPLATES SHALL BE LAMINATED PHENOLIC PLASTIC, BLACK FRONT, AND BACK WITH WHITE CORE, WHITE ENGRAVED LETTERS (1/4 in MINIMUM) ETCHED INTO THE WHITE CORE. ELECTRICAL CONTRACTOR SHALL PROVIDE A TYPE WRITTEN DIRECTORY CARD THAT ACCURATELY IDENTIFIES CIRCUITS INSIDE EACH PANEL. HANDWRITTEN LABELS ARE NOT ACCEPTABLE.

SITE LIGHTING NOTES



DRAWN BY: EAC CHECKED BY: MWK /CRL

SITE LIGHTING NOTES AND SCHEDULES

SITE LIGHTING SCHEDULES | 1

ADDED LIGHTING

DESIGN BY OTHERS

Town Engineer

construction plans for this project.

**Fown Certification.** This design has been reviewed by the Engineer for the Fown of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of

LIGHTING DETAILS

DRAWING No. W-4073-MP

AS NOTED DATE MAY 22, 2024

These plans are approved by the Town of Knightdale and serve as

GENERIC POLE BASE DETAIL - NO SCALE | 3 | PROJECT NO: 240414

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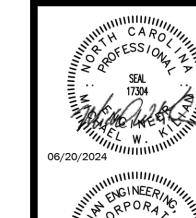
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**EXPAN** TORAGE - EXI SITE LIGHTING STO SITI

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Kilian
Engineering,
PO Box 3301, Henderson, NC 27536 | www.kilianengineering.com
(P) 252.438.8778 | CORPORATE LICENSE C-2277



AMPLE STORAGE - EXPANSION
SITE LIGHTING
GREAT FALLS COURT
KNIGHTDALE NORTH CARDLINA 27545

REVISION:

ISSUED:

DRAWN BY: EAC
CHECKED BY: MWK/CRL

CHECKED BY: MWK/CRL
SITE LIGHTING PLAN

SL2

SITE LIGHTING PLAN - SCALE: 1" = 20' 1 PROJECT NO: 240414



# Conditional Rezoning Neighborhood Meeting Ample Storage Expansion

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning - Mini-Warehouse

Estimated Submittal Date: May 21, 2024.

Attendees:

Gideon Smith - Town of Knightdale

Terry Wethington – Lampe Management (Owner / Applicant)

Jeff Inman - Lampe Management

Matt Prokop - Rivers & Associates (Engineer)

Neighborhood meeting was held at the site location 1107 Great Falls Ct. Attendees gathered at approximately 5:30 pm to await the arrival of any invited property owners. Applicant communicated that the most affected party (Wake Stone Corporation) had viewed the plans and gave verbal approval.

Various other aspects of the review process were discussed between the applicant and the Town, including requests for a variance on the building plan and the possibility of a traffic impact analysis. The potential long-term damage from the nearby blasting activities on any brick façade was discussed. Applicant stated they could provide previous studies indicating the lack of a need for any additional TIA.

Attendees waited at the meeting site until approximately 7:00 pm before concluding that no member of the public was going to attend. Meeting was adjourned at approximately 7:00 pm.



**ENGINEERS** 

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

RCP Investments IV, LLC 307 Berkley Woods Dr Ashland, VA 23005-1253

Re: Ample Storage Expansion

Dear RCP Investments IV, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning - Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal\_ar

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal\_and\_mee\_ting\_schedule\_2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2<sup>nd</sup> St, Greenville, NC 27858, (252) 752-4135 mprokop@riversandassociates.com

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.



ENGINEERS

**PLANNERS** 

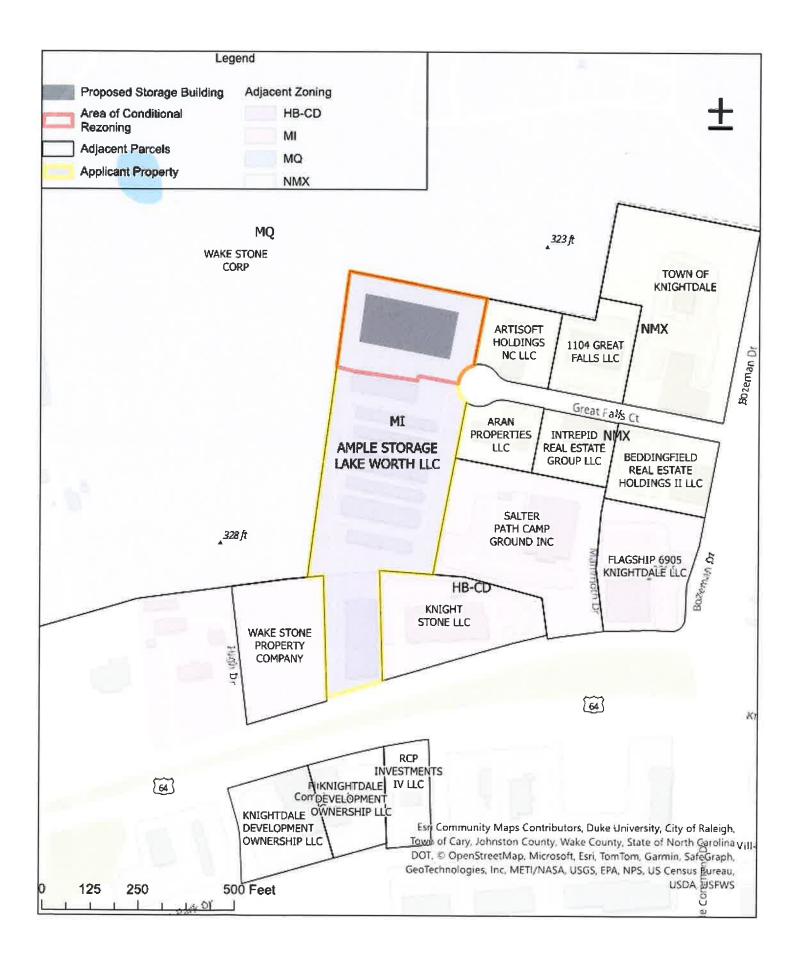
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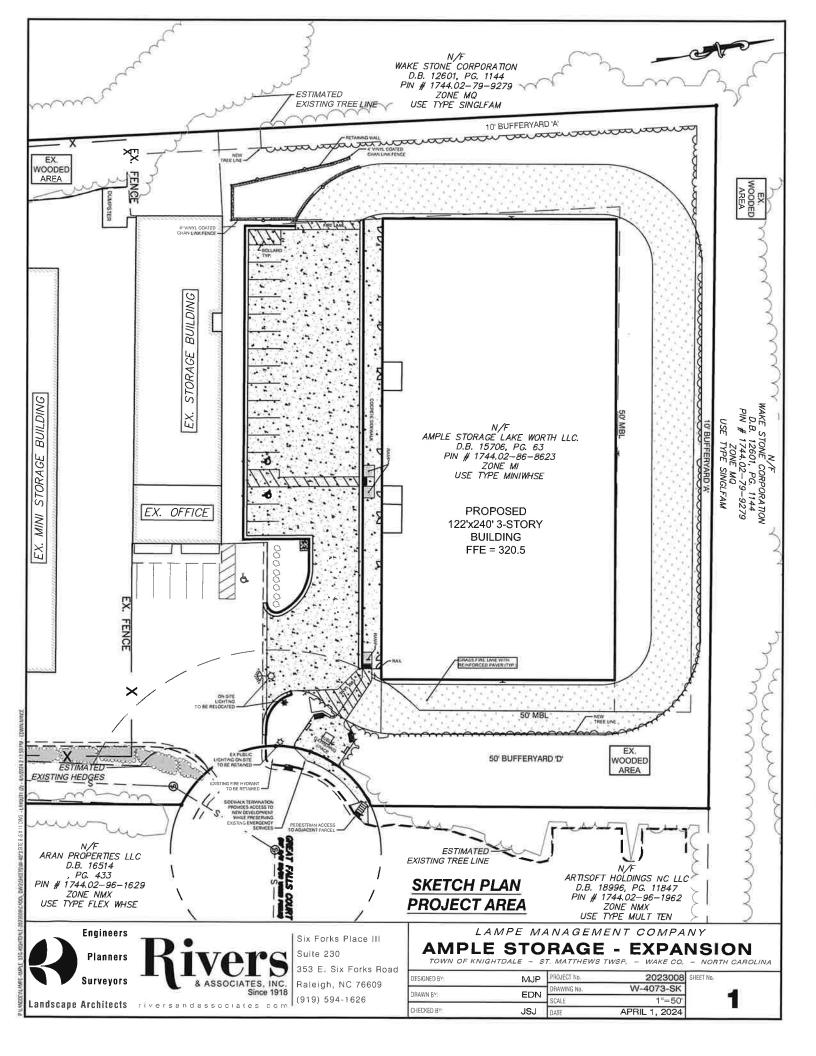
LANDSCAPE ARCHITECTS

## **Project Contact Information**

Project Name:	Ample Storage	Expansion	Proposed Zoning: MI - CD
Location:	1107 Great Falls	Ct, Knighdale, NC 2	7545
Property PIN(s)	): 1744868623	Acreage/Square Feet: 29,280 s	
Property Owne	er: <u>Ample Storage</u>	Lake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Phone:	252-670-2664		Email: terryw@lampemanagement.com
Developer:	Ample Storage La	ke Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Engineer:	Rivers & Associate	es, Inc.	
Address:	107 E. 2 <sup>nd</sup> St	Since	
City:	Greenville	State: NC	Zip: <u>27858</u>
Builder:	Ample Storage L	ake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: NC	Zip: 27577-0608

# **Ample Storage Expansion**







**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Beddingfield Real Estate Holdings II, LLC 114 W Main St Durham, NC 27701-3604

Re: Ample Storage Expansion

Dear Beddingfield Real Estate Holdings:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal\_and\_mee\_ting\_schedule\_2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2<sup>nd</sup> St, Greenville, NC 27858, (252) 752-4135 <a href="mailto:mprokop@riversandassociates.com">mprokop@riversandassociates.com</a>

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.



ENGINEERS

**PLANNERS** 

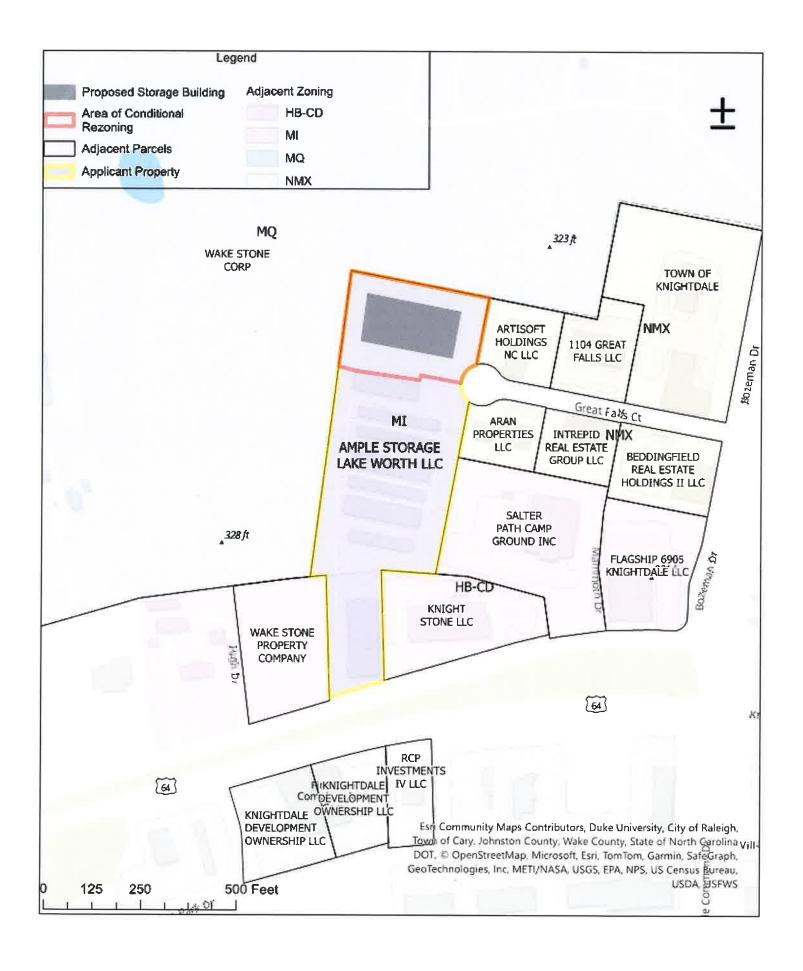
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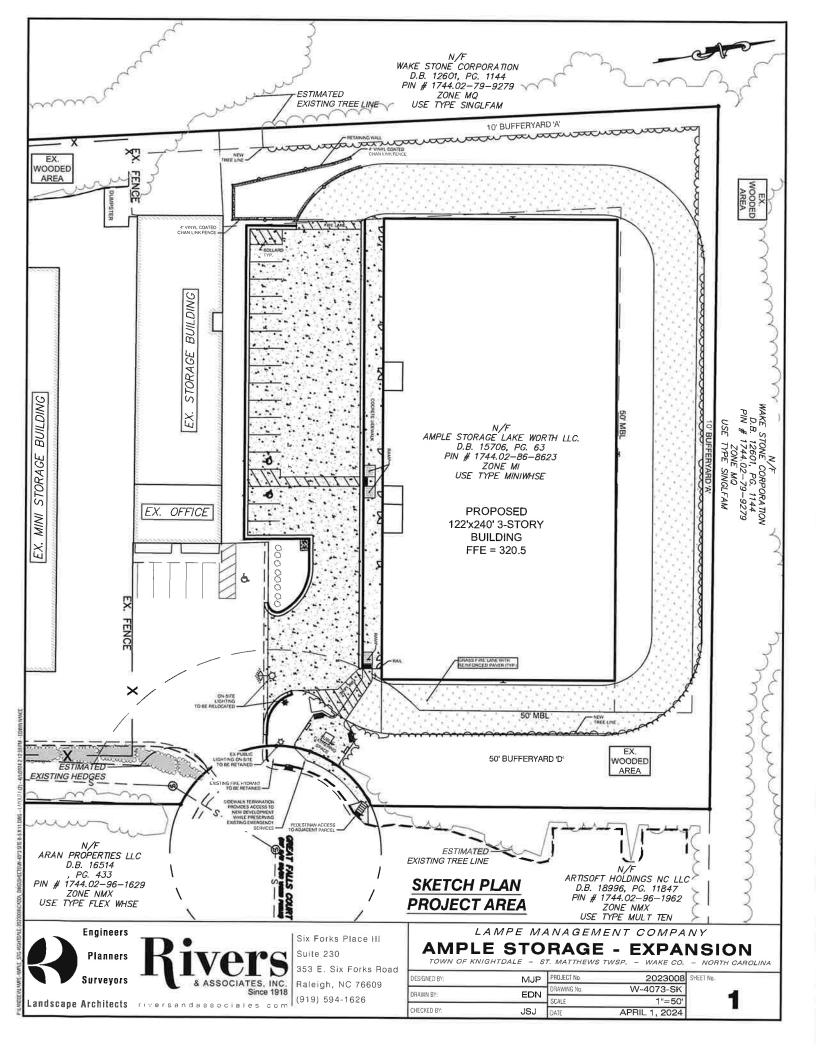
LANDSCAPE ARCHITECTS

# Project Contact Information

Project Name:	Ample Storage	Expansion	Proposed Zoning: <u> </u>	CD
Location:	1107 Great Falls	Ct, Knighdale, NC 27	7545	
Property PIN(s)	: 1744868623		Acreage/Square Feet:	29,280 sf
Property Owne	er: <u>Ample Storage</u>	Lake Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	
Phone:	252-670-2664		Email: terryw@lampemanagement.co	om
Developer:	Ample Storage L	ake Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	
Engineer:	Rivers & Associat	es, Inc.		
Address:	107 E. 2 <sup>nd</sup> St	Since		
City:	Greenville	State: NC	Zip: <u>27858</u>	
Builder:	Ample Storage I	ake Worth, LLC	1/2	
Address:	PO Box 608			
City:	Smithfield	State: NC	Zip: <u>27577-0608</u>	

# **Ample Storage Expansion**







PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Intrepid Real Estate Group, LLC 200 Maplewood Dr Knightdale, NC 27545-9659

Re: Ample Storage Expansion

Dear Intrepid Real Estate Group:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal\_and\_mee\_ting\_schedule\_2022.pdf) for future public meetings dates.

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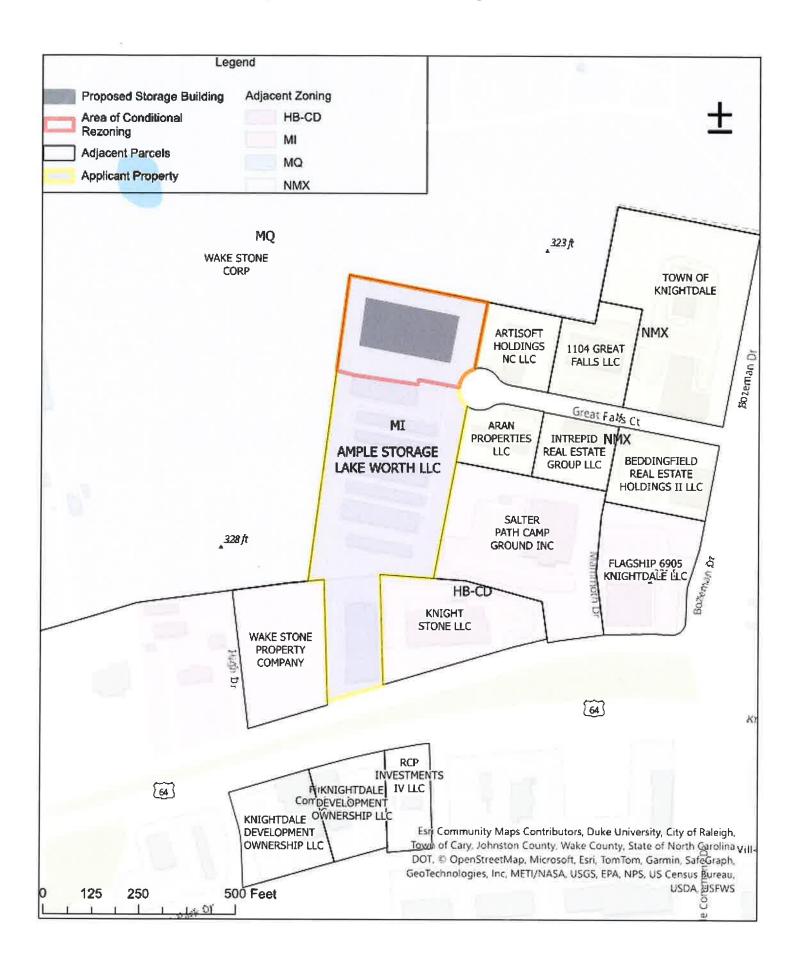


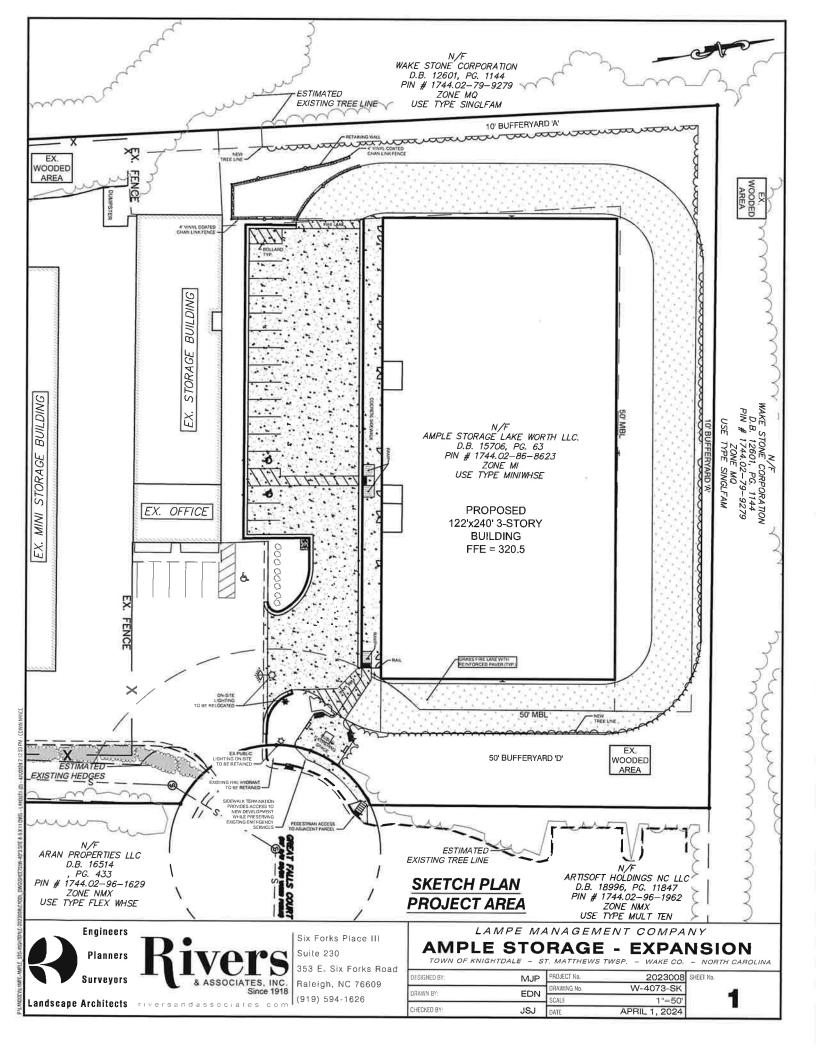
**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

Project Name:	Ample Storage Expansion		_ Proposed Zoning:_	<u>MI – CD</u>
Location:	1107 Great Falls	Ct, Knighdale, NC 2	545	
Property PIN(s)	: 1744868623		Acreage/Square Fee	et:29,280 sf
Property Owne	er: <u>Ample Storage</u>	Lake Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: NC	Zip: <u>27577-0608</u>	
Phone:	252-670-2664		Email: terryw@lampemanag	gement.com
Developer:	Ample Storage La	ake Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	
Engineer:	Rivers & Associate	es, Inc.		
Address:	107 E. 2 <sup>nd</sup> St	Since		
City:	Greenville	State: <u>NC</u>	Zip: <u>27858</u>	
Builder:	Ample Storage L	ake Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: NC	Zip: <u>27577-0608</u>	







PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

1104 Great Falls, LLC 107 Fayetteville St, Ste 400 Raleigh, NC 27601-2916

Re: Ample Storage Expansion

Dear 1104 Great Falls LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning - Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal and mee ting schedule 2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2<sup>nd</sup> St, Greenville, NC 27858, (252) 752-4135 <a href="mailto:mprokop@riversandassociates.com">mprokop@riversandassociates.com</a>

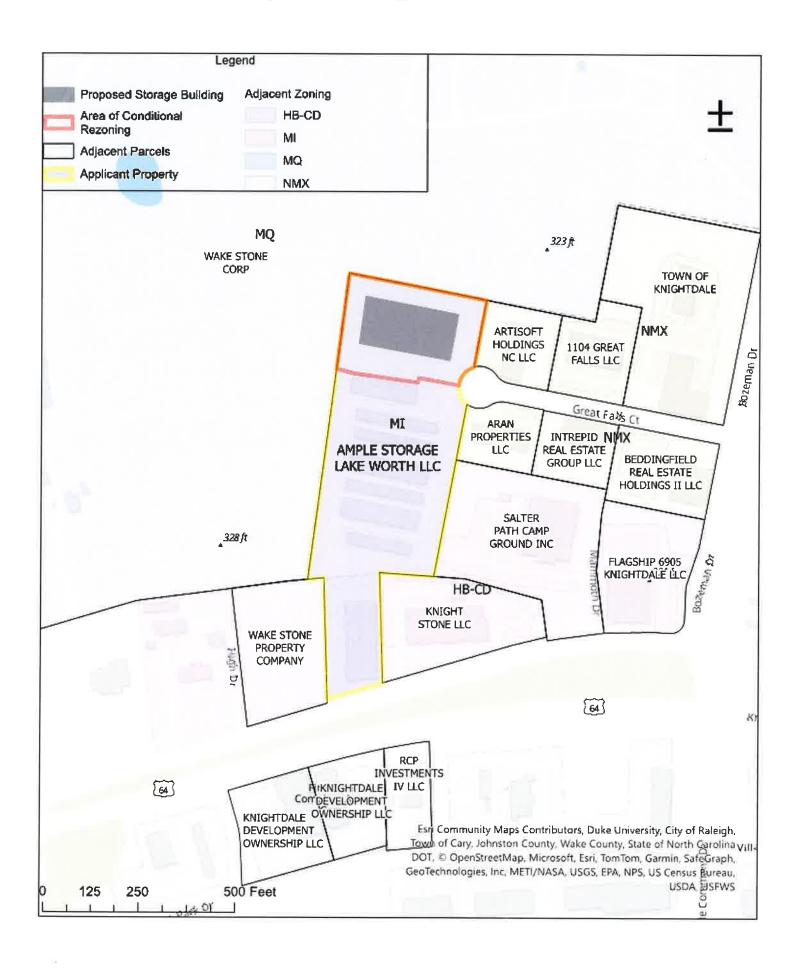


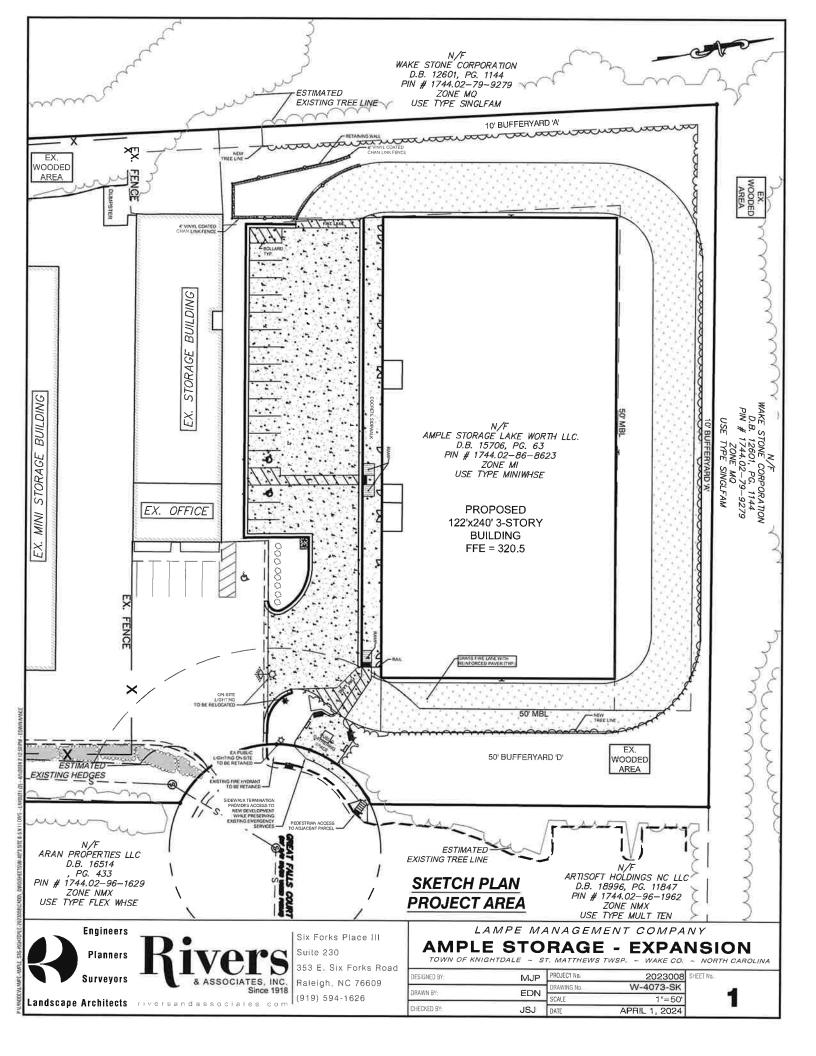
PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

Project Name:	Ample Storage	Expansion	Proposed Zoning:	_MI – CD
Location:	1107 Great Falls	Ct, Knighdale, NC 27	7545	
Property PIN(s)	: 1744868623		Acreage/Square Feet:	29,280 sf
Property Owne	er: <u>Ample Storage</u>	Lake Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	
Phone:	252-670-2664		Email: terryw@lampemanagen	nent.com
Developer:	Ample Storage L	ake Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	
Engineer:	Rivers & Associat	es, Inc.		
Address:	107 E. 2 <sup>nd</sup> St	Since		
City:	Greenville	State: NC	Zip: <u>27858</u>	
Builder:	Ample Storage L	ake Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: NC	Zip: <u>27577-0608</u>	







**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Aran Properties, LLC 1621 Kirby Ln Raleigh, NC 27614-7228

Re: Ample Storage Expansion

#### Dear Aran Properties:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning - Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

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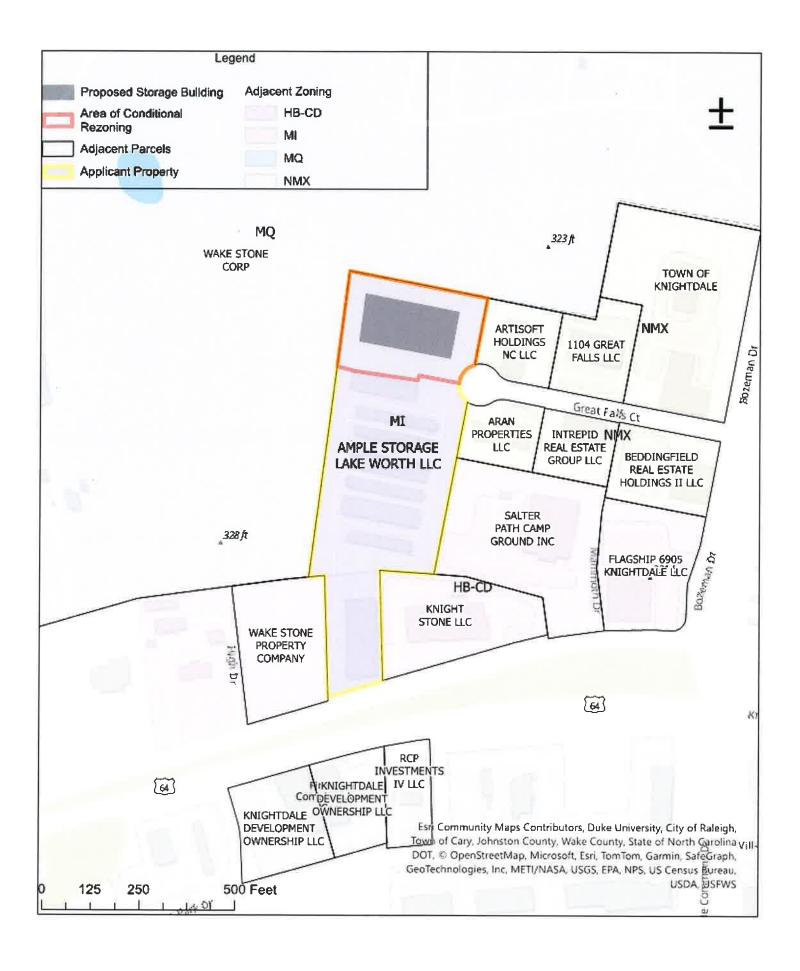


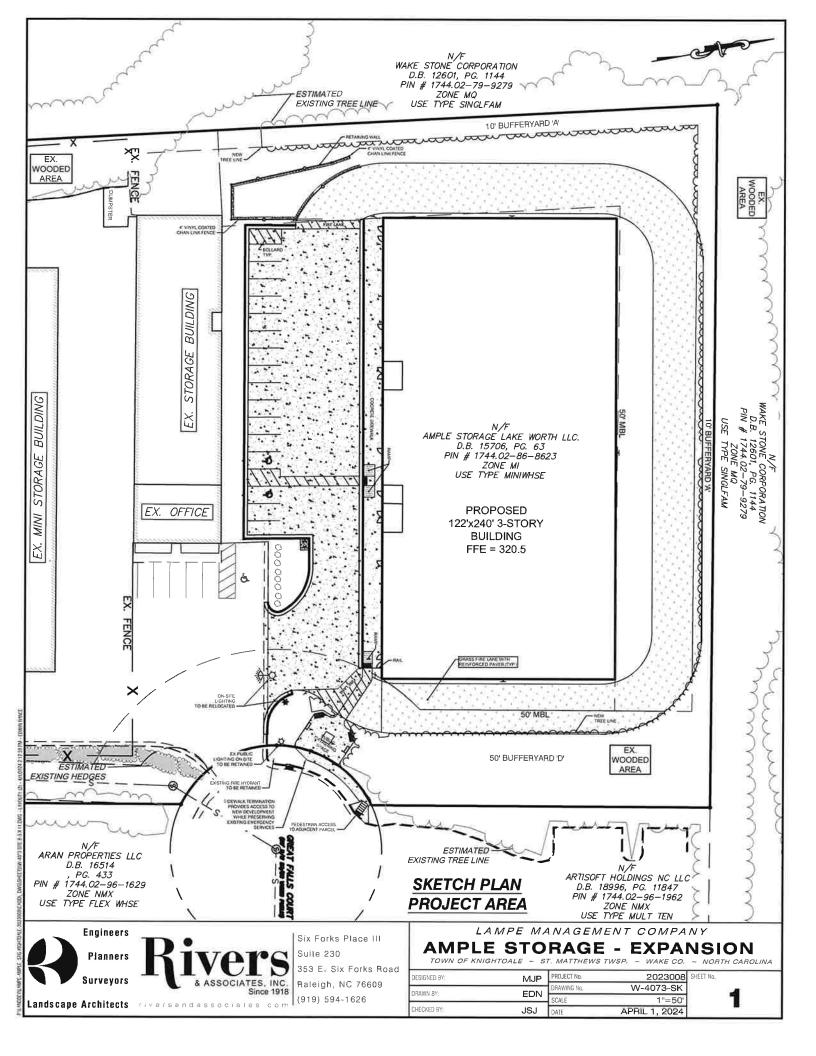
**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

Project Name:	Ample Storage E	xpansion	Proposed Zoning: MI – CD
Location:	1107 Great Falls C	t, Knighdale, NC 2	7545
Property PIN(s)	: <u>1744868623</u>		Acreage/Square Feet:29,280 sf
Property Owne	er: <u>Ample Storage L</u>	ake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Phone:	252-670-2664		Email: terryw@lampemanagement.com
Developer:	Ample Storage Lak	e Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Engineer:	Rivers & Associates	s, Inc.	
Address:	107 E. 2 <sup>nd</sup> St	ince	
City:	Greenville	State: NC	Zip: <u>27858</u>
Builder:	Ample Storage La	ke Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: NC	Zip: <u>27577-0608</u>







**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Artisoft Holdings, LLC 1106 Great Falls Ct Knightdale, NC 27545-5801

Re: Ample Storage Expansion

Dear Artisoft Holdings, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

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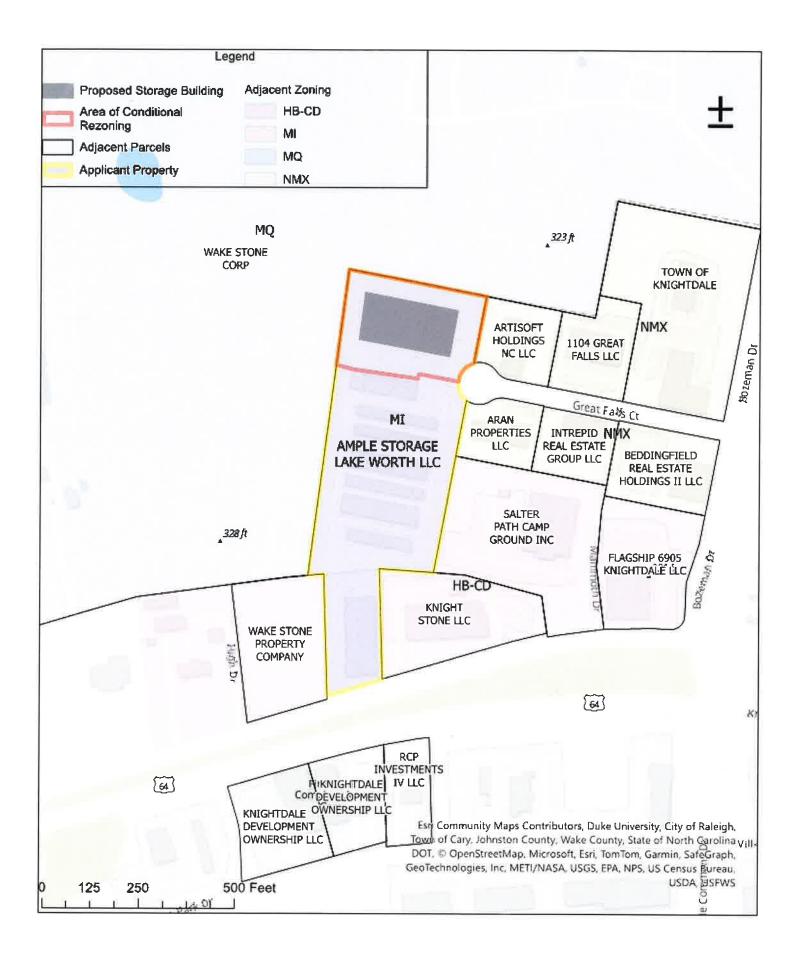


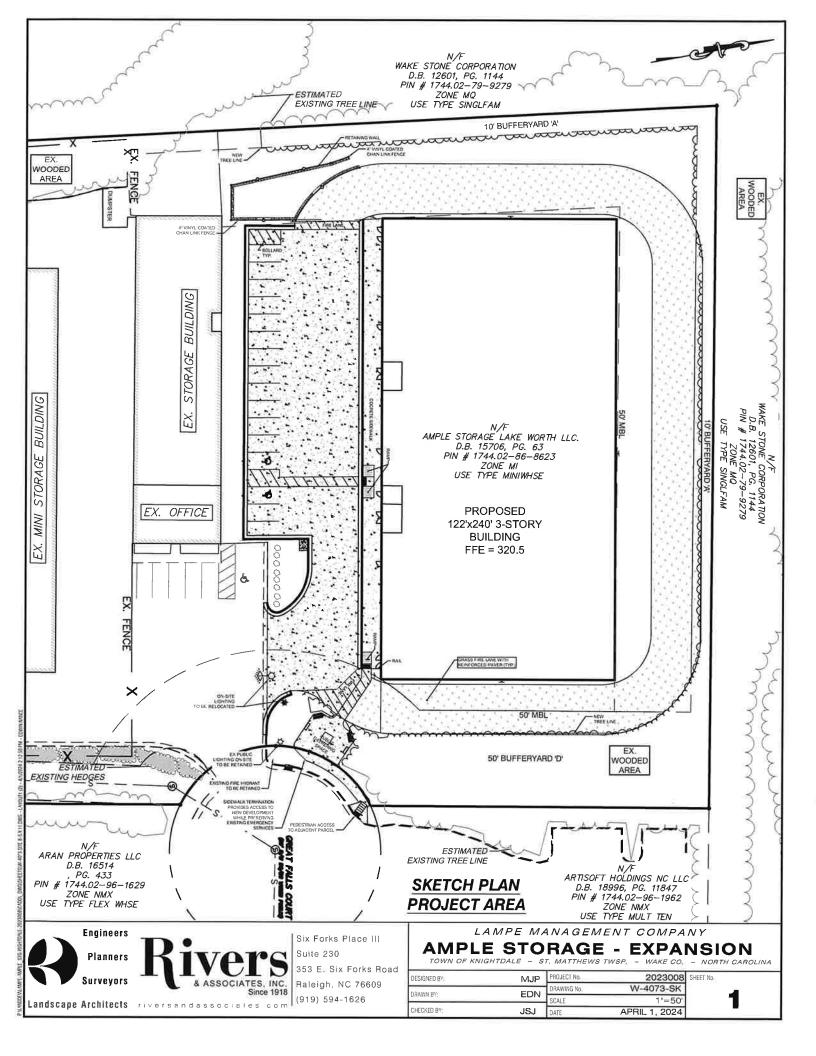
**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

Project Name:	Ample Storage	Expansion	Proposed Zoning: MI – CD
Location:	1107 Great Falls	Ct, Knighdale, NC 27	7545
Property PIN(s)	: 1744868623		Acreage/Square Feet: 29,280 sf
Property Owne	er: <u>Ample Storage</u>	Lake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Phone:	252-670-2664		Email: terryw@lampemanagement.com
Developer:	Ample Storage L	ake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Engineer:	Rivers & Associat	es, Inc.	
Address:	107 E. 2 <sup>nd</sup> St	Since	
City:	Greenville	State: NC	Zip: <u>27858</u>
Builder:	Ample Storage L	ake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>







April 1, 2024

Ample Storage Lake Worth, LLC PO Box 608 Smithfield, NC 27577-0608

Re: Ample Storage Expansion

Dear Ample Storage Lake Worth, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

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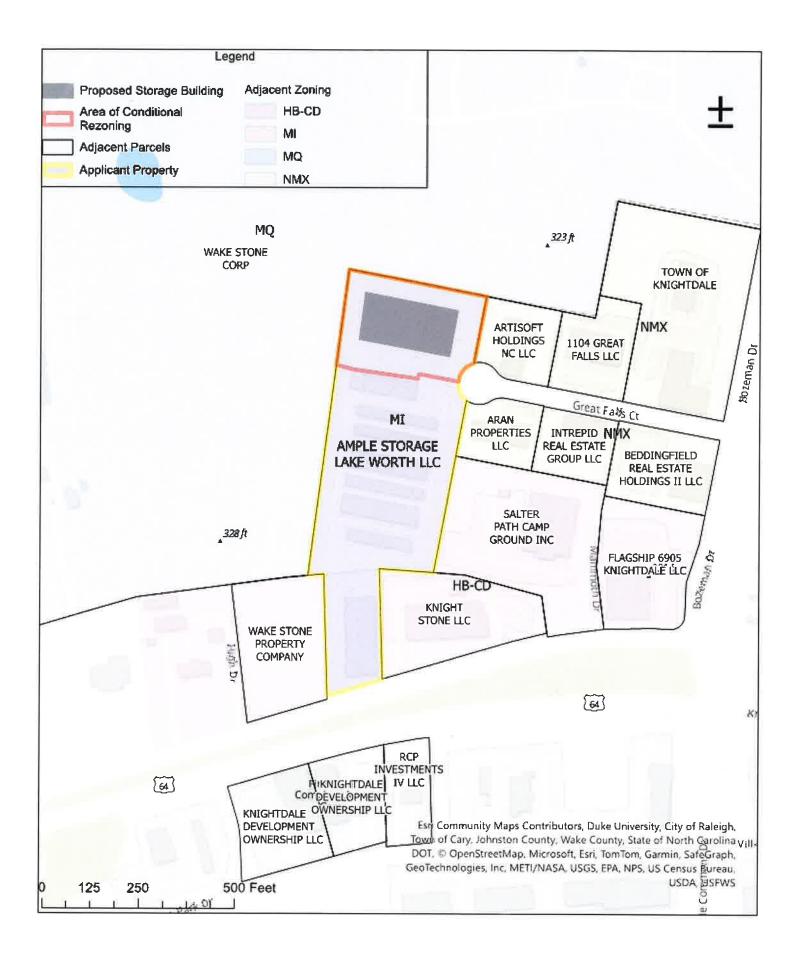


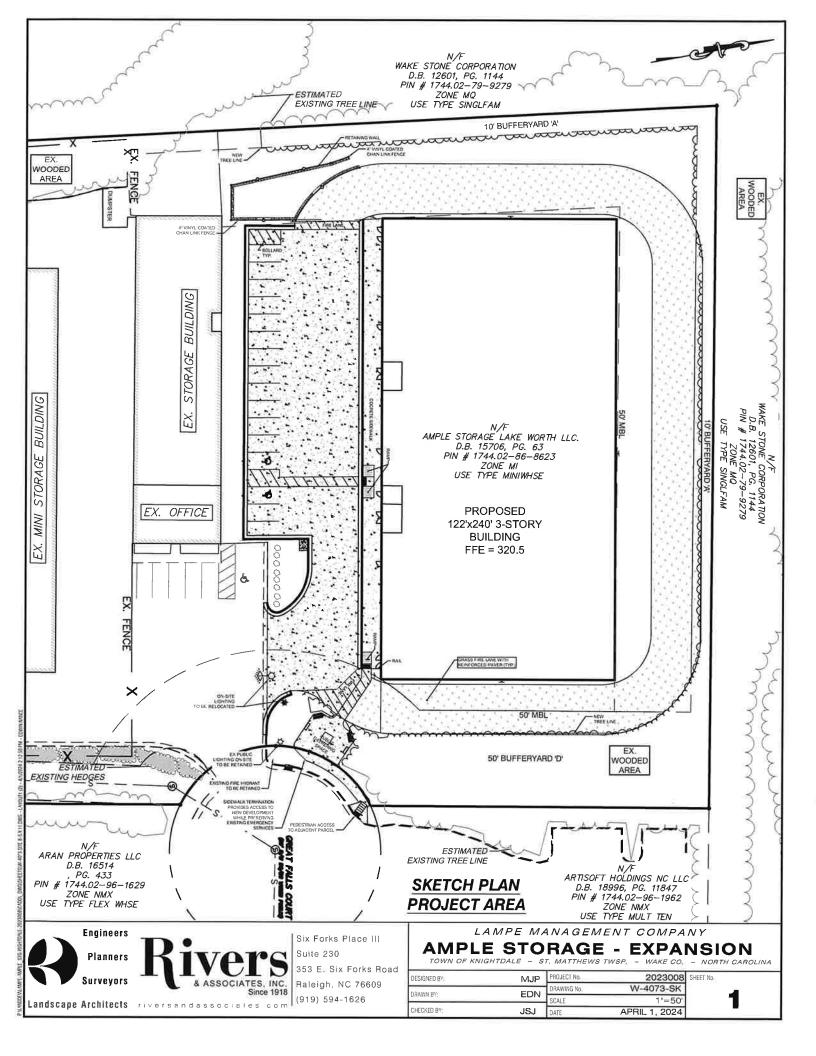
**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

Project Name:	Ample Storage	Expansion	Proposed Zoning: MI – CD
Location:	1107 Great Falls	Ct, Knighdale, NC 27	7545
Property PIN(s)	: 1744868623		Acreage/Square Feet: 29,280 sf
Property Owne	er: <u>Ample Storage</u>	Lake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Phone:	252-670-2664		Email: terryw@lampemanagement.com
Developer:	Ample Storage L	ake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Engineer:	Rivers & Associat	es, Inc.	
Address:	107 E. 2 <sup>nd</sup> St	Since	
City:	Greenville	State: NC	Zip: <u>27858</u>
Builder:	Ample Storage L	ake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>







PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Salter Path Camp Ground, LLC PO Box 2323 Atlantic Beach, NC 28512-2323

Re: Ample Storage Expansion

Dear Salter Path Camp Ground:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule (<a href="https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal">https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal</a> and mee ting schedule 2022.pdf) for future public meetings dates.

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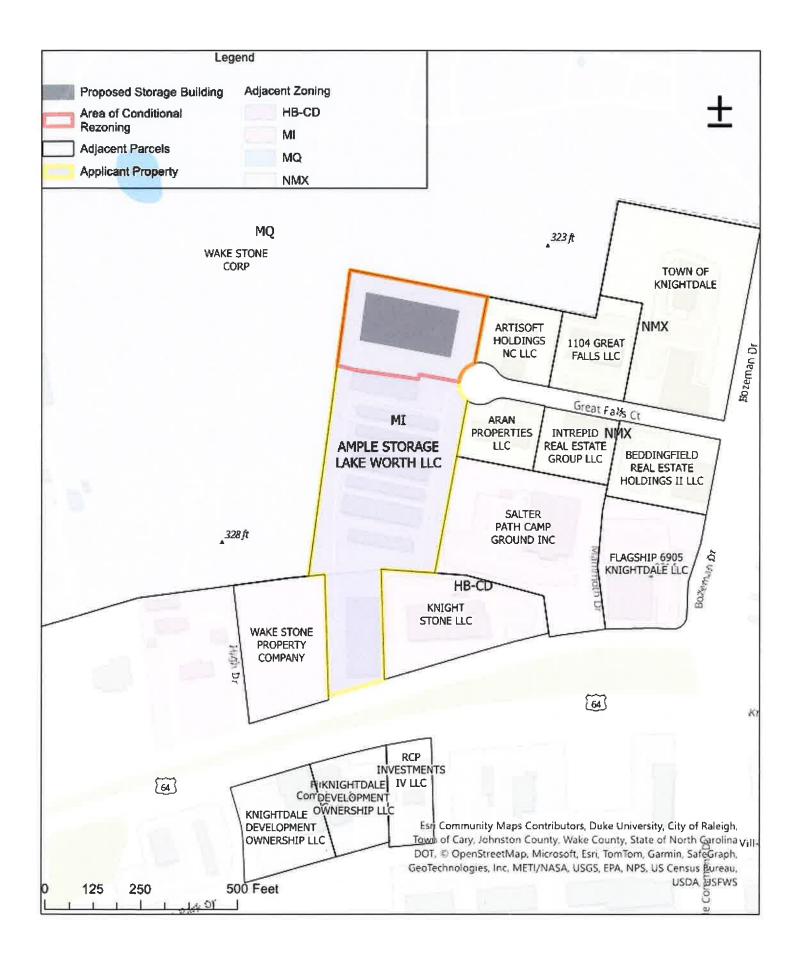


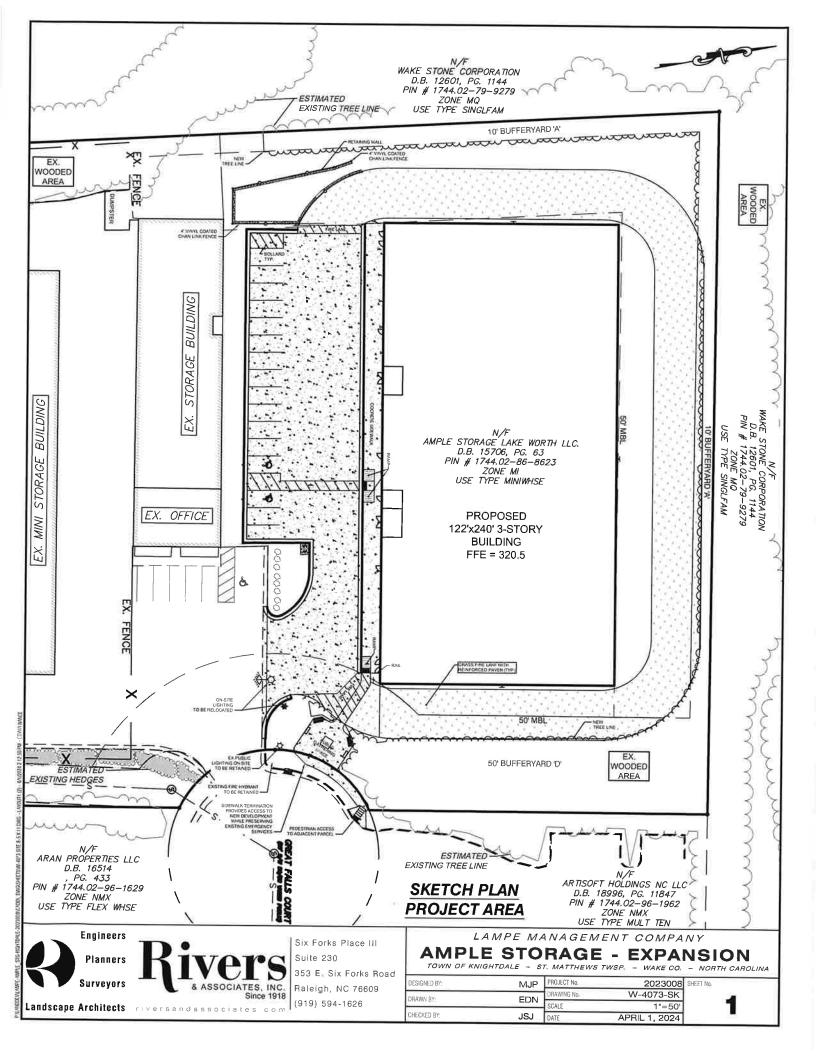
**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

Ample Storage Expansion		Proposed Zoning:	MI – CD
1107 Great Falls C	t, Knighdale, NC 2	7545	
: 1744868623		Acreage/Square Feet:	29,280 sf
r: <u>Ample Storage La</u>	ke Worth, LLC		
PO Box 608			
Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	
252-670-2664		Email: terryw@lampemanagem	ent.com
Ample Storage Lak	e Worth, LLC		
PO Box 608			
Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	
Rivers & Associates	Inc.		
107 E. 2 <sup>nd</sup> St	ince		
Greenville	State: NC	Zip: <u>27858</u>	
Ample Storage Lak	e Worth, LLC		
PO Box 608			
Smithfield	State: NC	Zip: <u>27577-0608</u>	
	1107 Great Falls Company 1107 Great Falls Comp	1107 Great Falls Ct, Knighdale, NC 2  1744868623  r: Ample Storage Lake Worth, LLC  PO Box 608  Smithfield  State: NC  252-670-2664  Ample Storage Lake Worth, LLC  PO Box 608  Smithfield  State: NC  Rivers & Associates, Inc.  107 E. 2 <sup>nd</sup> St  Greenville  State: NC  Ample Storage Lake Worth, LLC  PO Box 608	1107 Great Falls Ct, Knighdale, NC 27545  1744868623 Acreage/Square Feet: r: Ample Storage Lake Worth, LLC PO Box 608  Smithfield State: NC Zip: 27577-0608  252-670-2664 Email: terryw@lampemanagem Ample Storage Lake Worth, LLC PO Box 608  Smithfield State: NC Zip: 27577-0608  Rivers & Associates, Inc.  107 E. 2 <sup>nd</sup> St  Greenville State: NC Zip: 27858  Ample Storage Lake Worth, LLC PO Box 608







**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Knightdale Development Group, LLC The Widewaters Group, Inc 5845 Widewaters Pkwy, Ste 100 East Syracuse, NY 13057-3078

Re: Ample Storage Expansion

Dear Knightdale Development Group, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning - Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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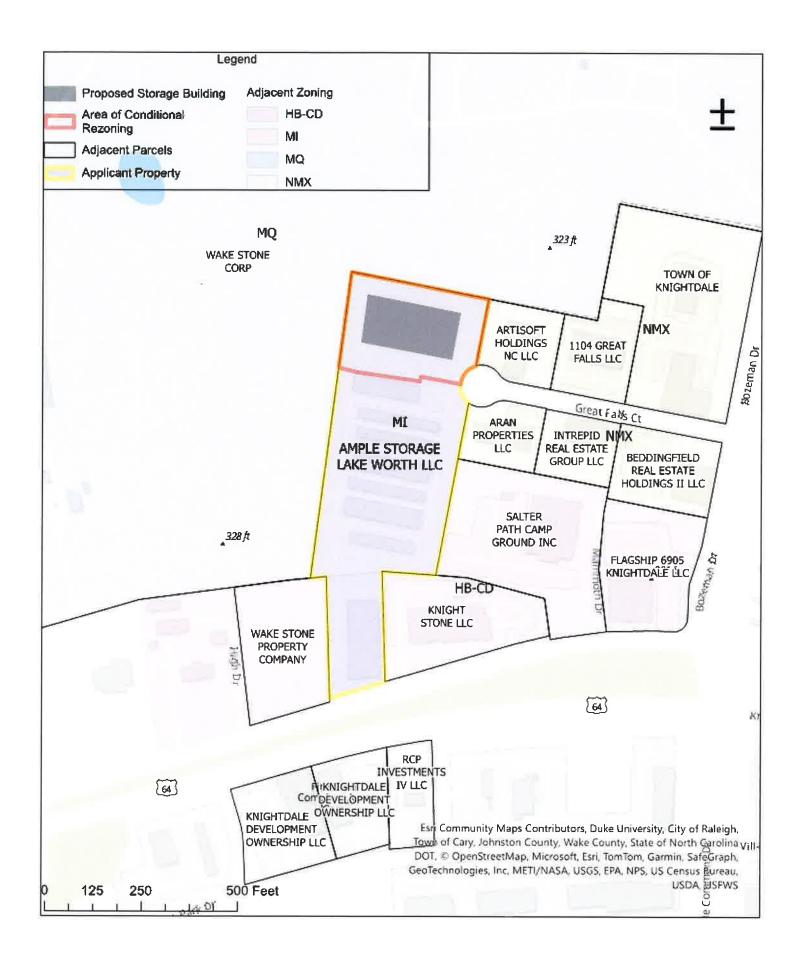


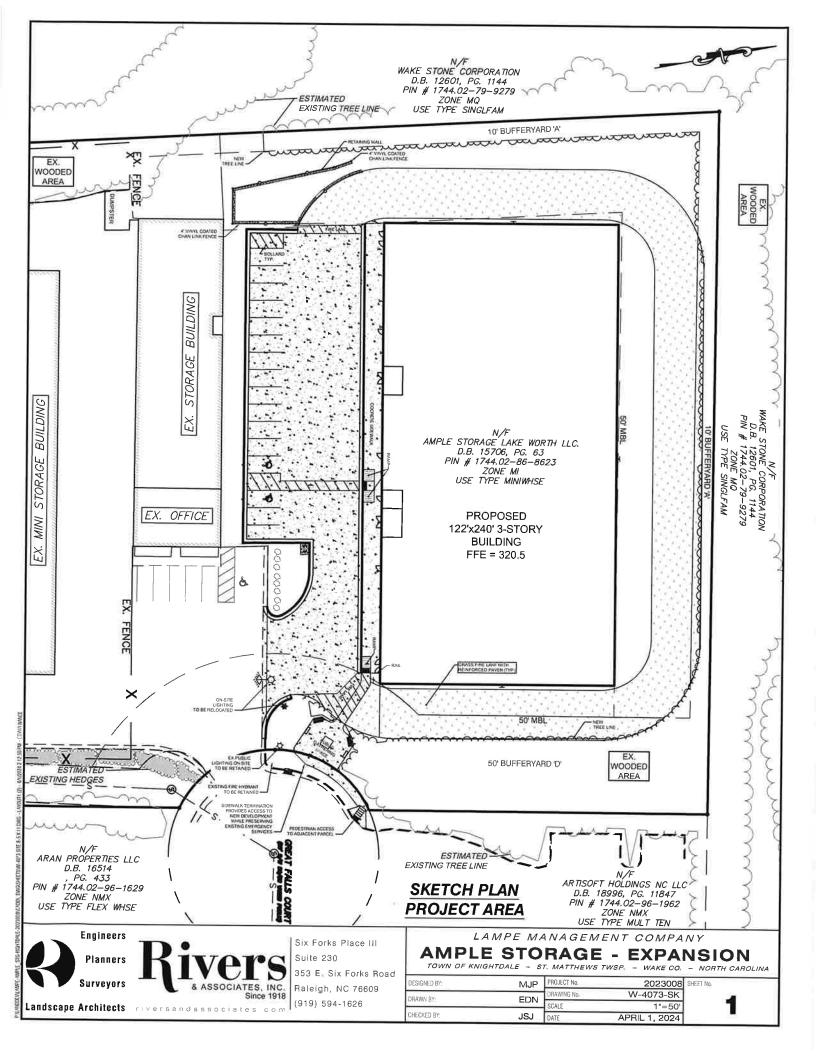
**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

Project Name:	Ample Storage Exp	ansion	Proposed Zoning:	MI – CD
Location:	1107 Great Falls Ct,	Knighdale, NC 27545	5	
Property PIN(s)	: 1744868623		Acreage/Square Feet:	29,280 sf
Property Owne	er: <u>Ample Storage Lak</u>	e Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	
Phone:	252-670-2664	E	mail: <u>terryw@lampemanager</u>	nent.com
Developer:	Ample Storage Lake	Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	
Engineer:	Rivers & Associates, I	nc.		
Address:	107 E. 2 <sup>nd</sup> St	ince		
City:	Greenville	State: NC	Zip: <u>27858</u>	
Builder:	Ample Storage Lake	Worth, LLC		
Address:	PO Box 608			
City:	Smithfield	State: NC	Zip: <u>27577-0608</u>	







**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Wake Stone Corporation PO Box 190 Knightdale, NC 27545-0190

Re: Ample Storage Expansion

Dear Wake Stone Corporation:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

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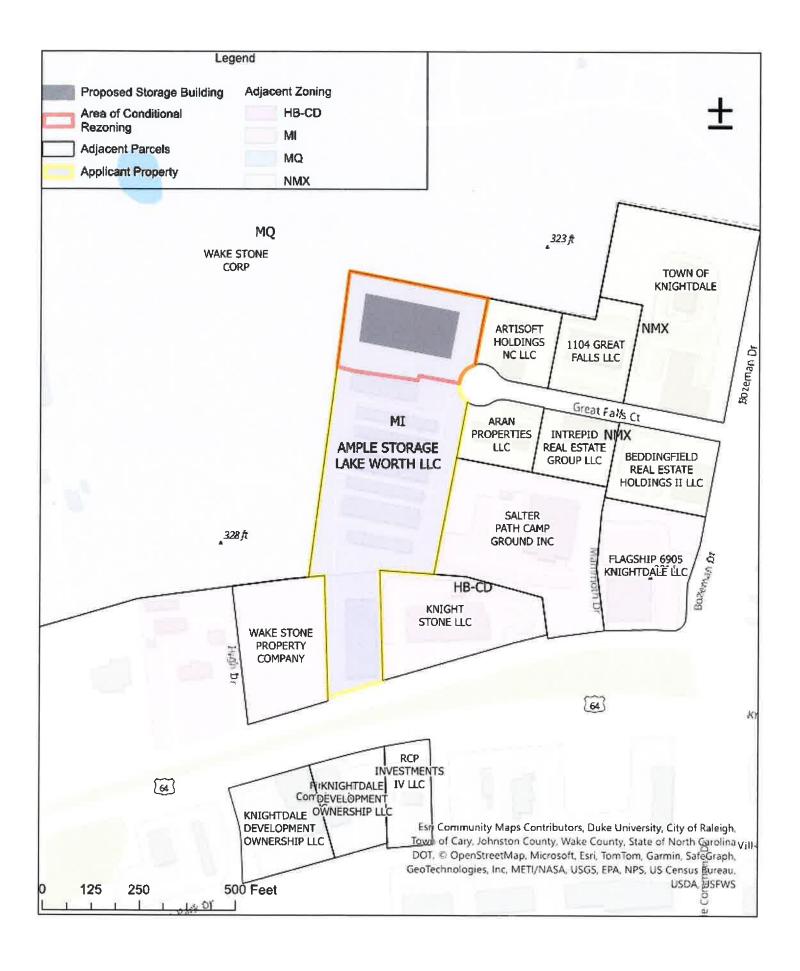


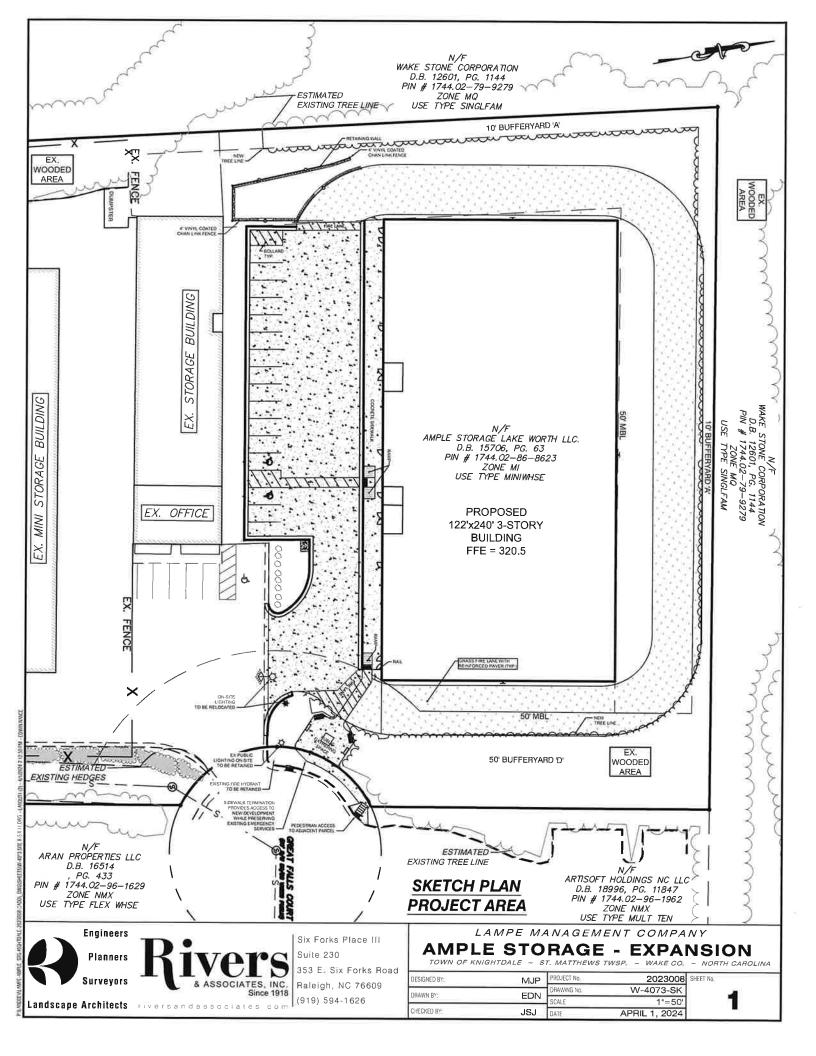
**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

Project Name:	Ample Storage Expansion		Proposed Zoning: MI – CD
Location:	1107 Great Falls Ct,	Knighdale, NC 27	545
Property PIN(s)	: <u>1744868623</u>		Acreage/Square Feet:29,280 s
Property Owne	er: <u>Ample Storage Lak</u>	e Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Phone:	252-670-2664	====	Email: terryw@lampemanagement.com
Developer:	Ample Storage Lake	Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Engineer:	Rivers & Associates, In	nc.	
Address:	107 E. 2 <sup>nd</sup> St	ince_	
City:	Greenville	State: NC	Zip: <u>27858</u>
Builder:	Ample Storage Lake	Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: NC	Zip: <u>27577-0608</u>







PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Ready Mixed Concrete Co 3015 Windward Plaza, Suite 300 Alphraretta, GA 30005-8713

Re: Ample Storage Expansion

Dear Ready Mixed Concrete Compnay:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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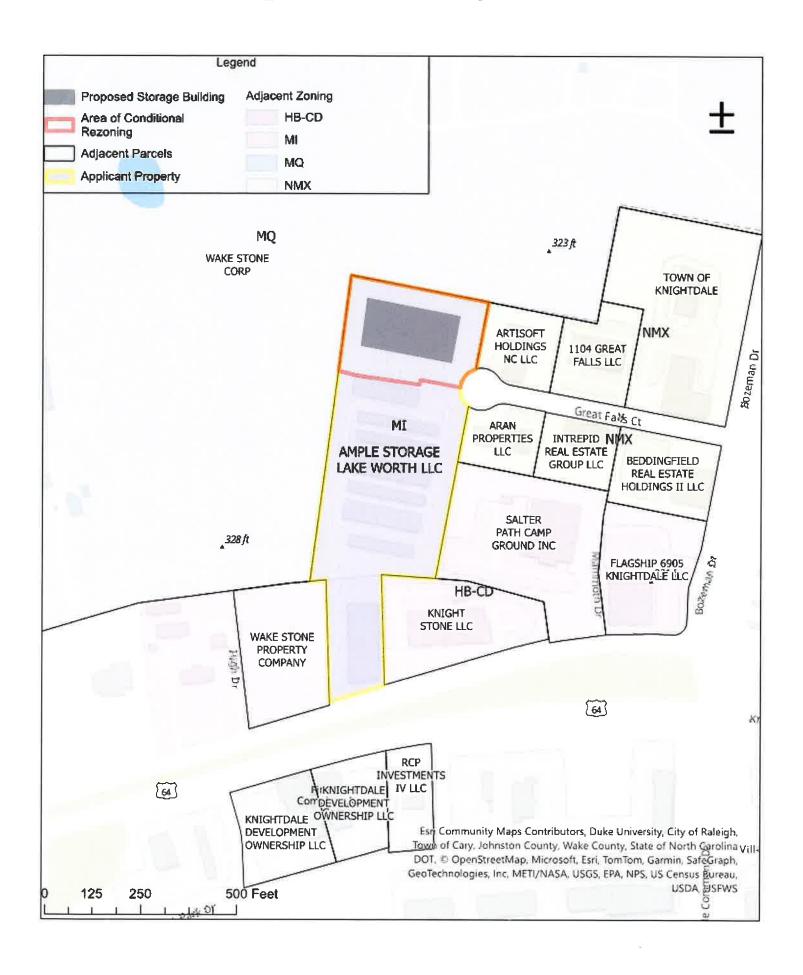


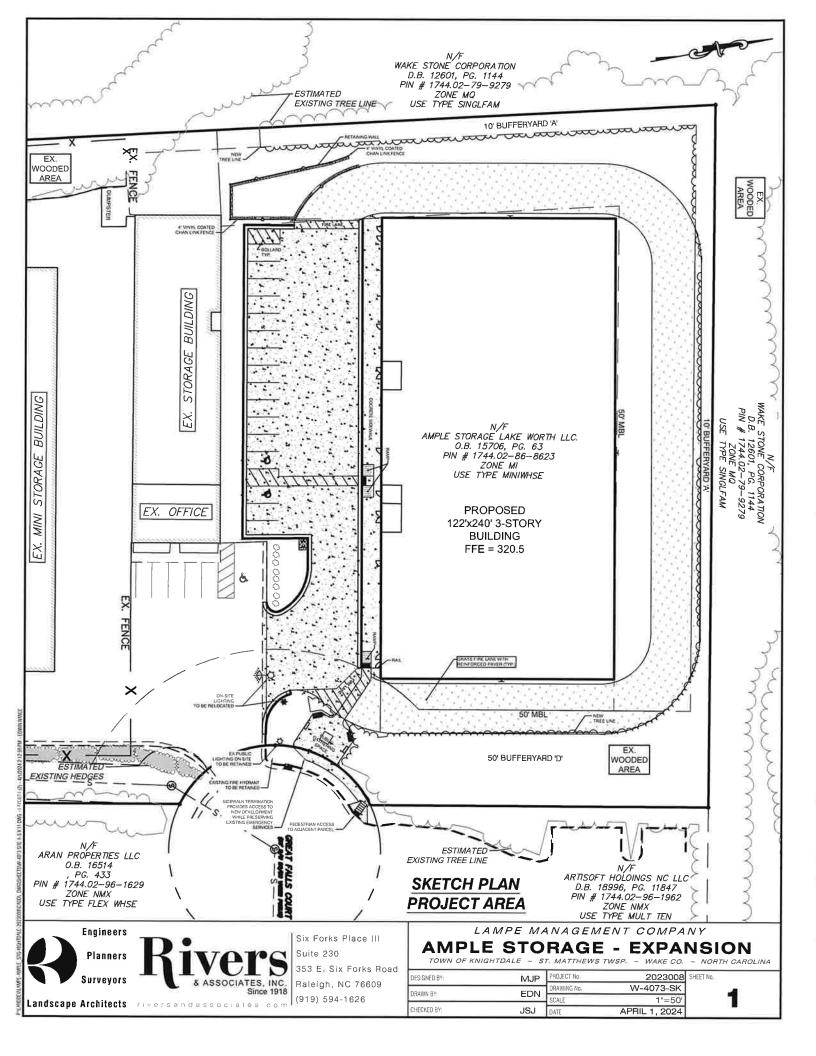
PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

Project Name:	Ample Storage E	xpansion	Proposed Zoning: <u>MI - CD</u>
Location:	1107 Great Falls (	t, Knighdale, NC 2	7545
Property PIN(s)	: 1744868623		Acreage/Square Feet: 29,280 sf
Property Owne	er: <u>Ample Storage L</u>	ake Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: NC	Zip: <u>27577-0608</u>
Phone:	252-670-2664		Email: terryw@lampemanagement.com
Developer:	Ample Storage Lal	ke Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>
Engineer:	Rivers & Associates	s, Inc.	
Address:	107 E. 2 <sup>nd</sup> St	since	
City:	Greenville	State: NC	Zip: <u>27858</u>
Builder:	Ample Storage La	ke Worth, LLC	
Address:	PO Box 608		
City:	Smithfield	State: NC	Zip: 27577-0608







**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Knight Stone, LLC 1655 Wake Dr, Unit 101 Wake Forest, NC 27587-4746

Re: Ample Storage Expansion

Dear Knight Stone, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning - Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal and mee ting schedule 2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2<sup>nd</sup> St, Greenville, NC 27858, (252) 752-4135 <a href="mailto:mprokop@riversandassociates.com">mprokop@riversandassociates.com</a>

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.



ENGINEERS

PLANNERS

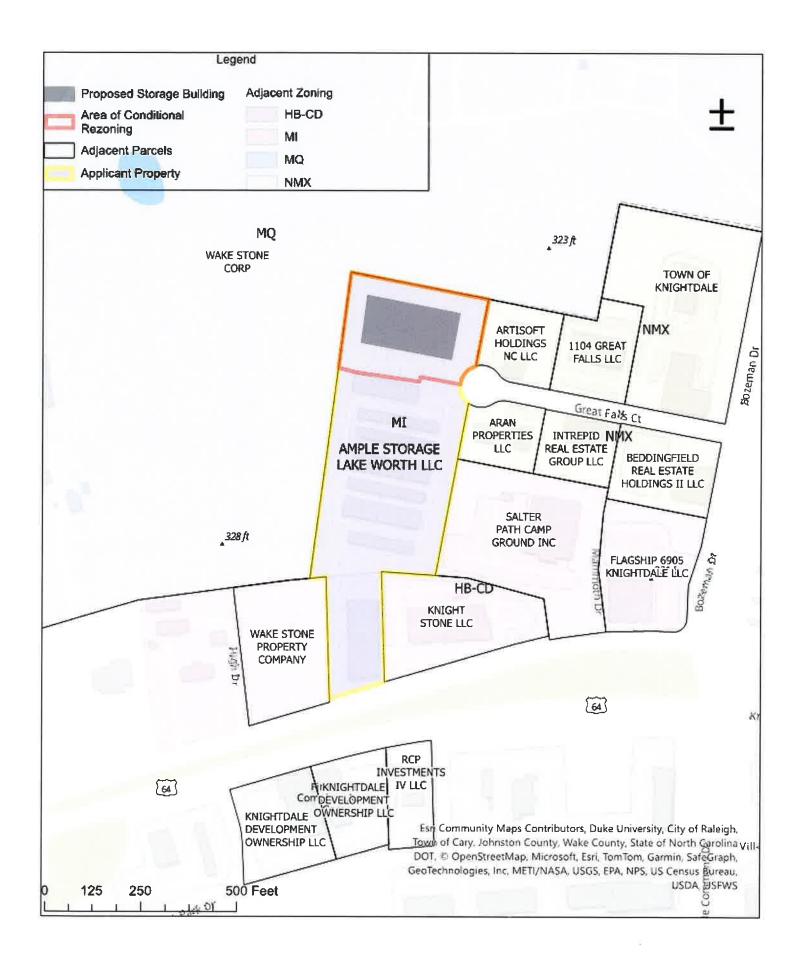
SURVEYORS

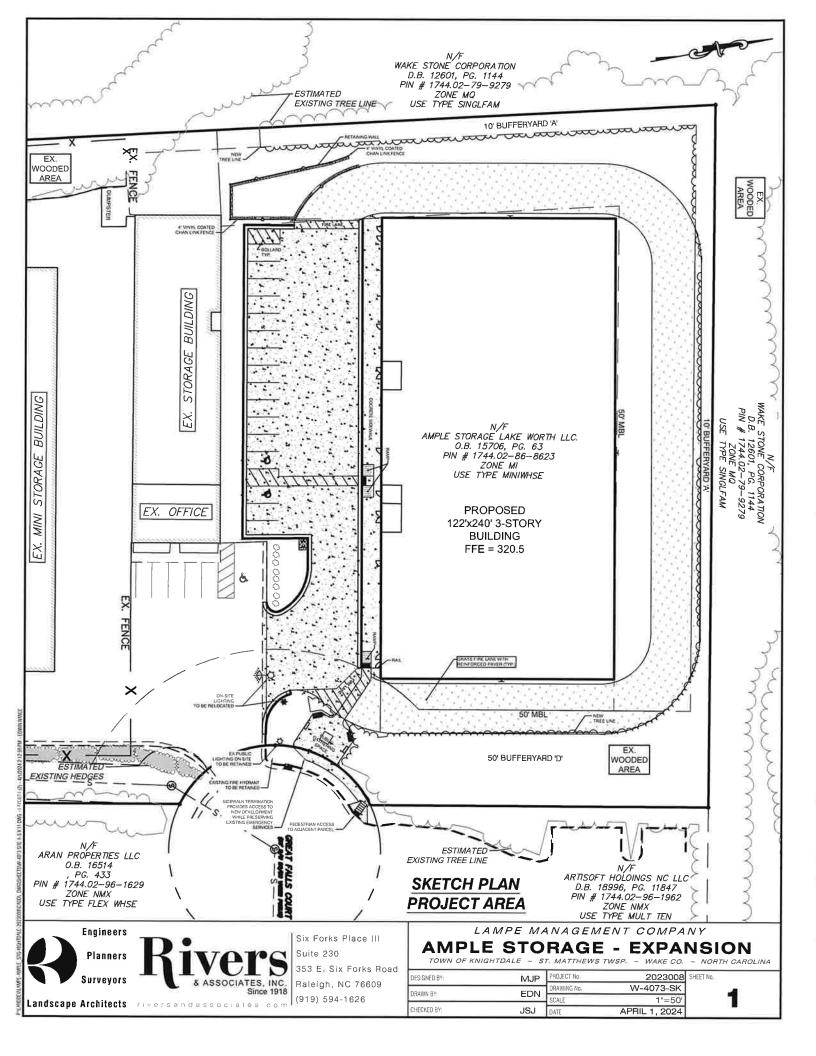
LANDSCAPE ARCHITECTS

### **Project Contact Information**

Project Name:	Ample Storage Expansion		Proposed Zoning: <u>MI - CD</u>				
Location:	1107 Great Falls (	t, Knighdale, NC 2	7545				
Property PIN(s)	: 1744868623		Acreage/Square Feet: 29,280 sf				
Property Owne	er: <u>Ample Storage L</u>	ake Worth, LLC					
Address:	PO Box 608						
City:	Smithfield	State: NC	Zip: <u>27577-0608</u>				
Phone:	252-670-2664		Email: terryw@lampemanagement.com				
Developer:	Ample Storage Lal	ke Worth, LLC					
Address:	PO Box 608						
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>				
Engineer:	Rivers & Associates	s, Inc.					
Address:	107 E. 2 <sup>nd</sup> St	since					
City:	Greenville	State: NC	Zip: <u>27858</u>				
Builder:	Ample Storage Lake Worth, LLC						
Address:	PO Box 608						
City:	Smithfield	State: NC	Zip: 27577-0608				

# **Ample Storage Expansion**







**PLANNERS** 

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Flagship 6905 Knightdale, LLC 2701 Coltsgate Rd, Ste 300 Charlotte, NC 25211-3596

Re: Ample Storage Expansion

Dear Flagship 6905 Knightdale, LLC

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning - Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. \*Please see the Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal\_and\_mee\_ting\_schedule\_2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2<sup>nd</sup> St, Greenville, NC 27858, (252) 752-4135 <a href="mailto:mprokop@riversandassociates.com">mprokop@riversandassociates.com</a>

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.



ENGINEERS

**PLANNERS** 

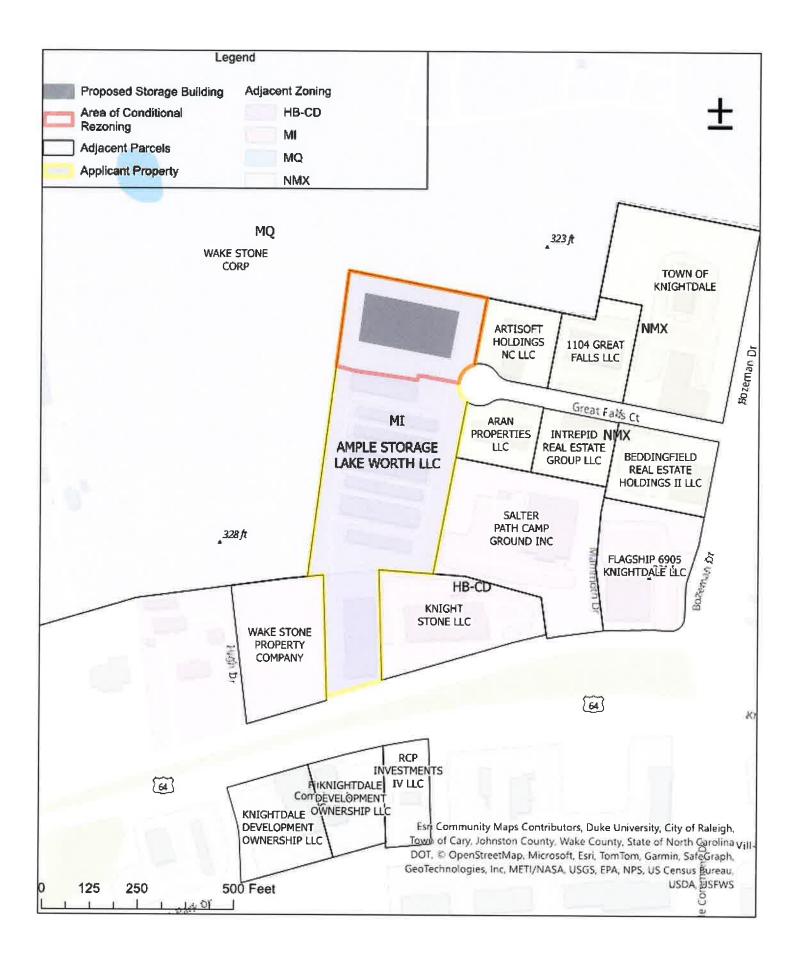
SURVEYORS

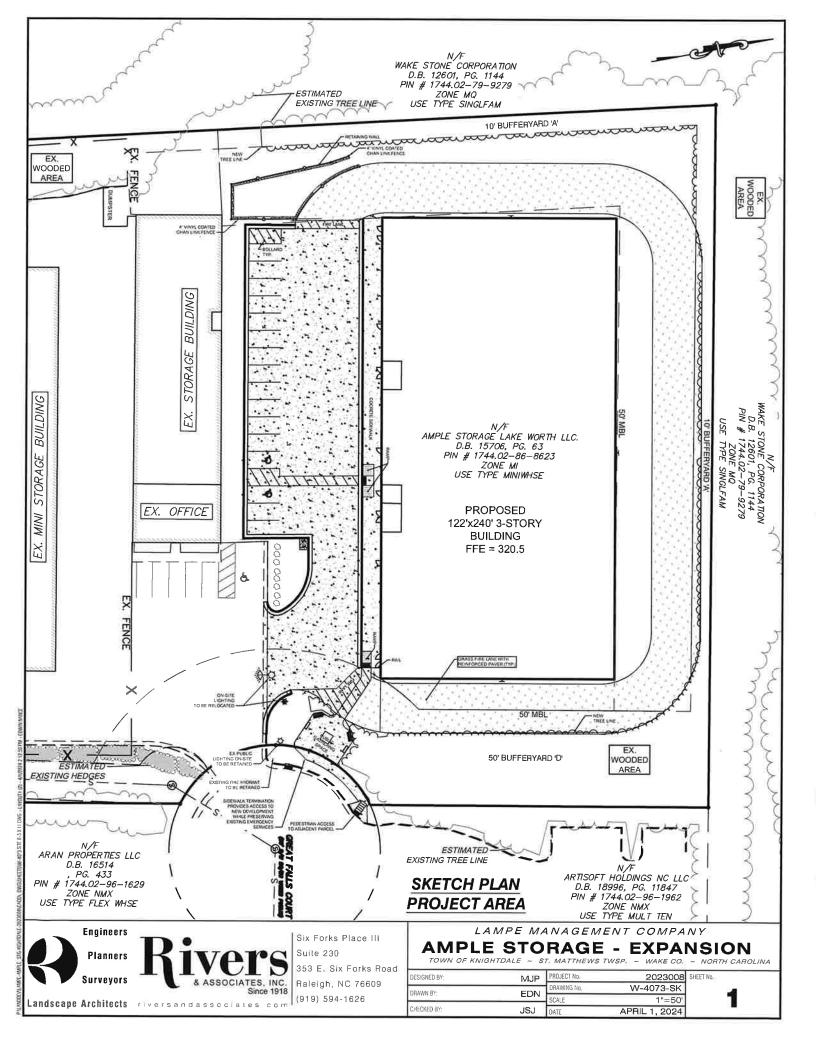
LANDSCAPE ARCHITECTS

### **Project Contact Information**

Project Name:	Ample Storage Expansion		Proposed Zoning:	MI – CD			
Location:	1107 Great Falls	Ct, Knighdale, NC 2754	5				
Property PIN(s)	): <u>1744868623</u>	-	Acreage/Square Feet:	29,280 sf			
Property Owne	er: <u>Ample Storage I</u>	ake Worth, LLC					
Address:	PO Box 608						
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>				
Phone:	252-670-2664	E	mail: <u>terryw@lampemanager</u>	ment.com			
Developer:	Ample Storage Lake Worth, LLC						
Address:	PO Box 608						
City:	Smithfield	State: <u>NC</u>	Zip: <u>27577-0608</u>	Zip: <u>27577-0608</u>			
Engineer:	Rivers & Associate	s, Inc.					
Address:	107 E. 2 <sup>nd</sup> St	Since					
City:	Greenville	State: NC	Zip: <u>27858</u>	Zip: <u>27858</u>			
Builder:	Ample Storage Lake Worth, LLC						
Address:	PO Box 608						
Citv:	Smithfield	State: NC	7in: 27577-0608				

# **Ample Storage Expansion**









Greenville, NC 27835 107 E. Second Street (27858) PO Box 929

RCP Investments IV, LLC 307 Berkley Woods Dr. Ashland, VA 23005-1253

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107 E. Second Street (27858) PO Box 929 Greenville, NC 27835

Beddingfield Real Estate Holdings II, LLC 114 W. Main Street Durham, NC 27701-3604

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107 E. Second Street (27858) P0 Box 929 Greenville, NC 27835

Intrepid Real Estate Group, LLC 200 Maplewood Drive Knightdale, NC 27545-9659

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107 E. Second Street (27858) PO Box 929 Greenville, NC 27835

1104 Great Falls, LLC 107 Fayetteville Street Suite 400 Raleigh, NC 27601-2916

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107 E. Second Street (27858) PO Box 929 Greenville, NC 27835

Aran Properties, LLC 1621 Kirkby Lane Raleigh, NC 27614-7228

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107 E. Second Street (27858) PO Box 929 Greenville, NC 27835

Artisoft Holdings NC, LLC 1106 Great Falls Court Knightdale, NC 27545-5801

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107 E. Second Street (27858) PO Box 929 Greenville, NC 27835

Ample Storage Lake Worth, LLC P.O. Box 608 Smithfield, NC 27577-0608

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Salter Path Camp Ground, Inc. P.O. Box 2323 Atlantic Beach, NC 28512-2323

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107 E. Second Street (27858) P0 Box 929 Greenville, NC 27835

Knightdale Development Ownership, LLC 5845 Widewaters Parkway Suite 100 East Syracuse, NY 13057-3078

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PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

FIRST-CLASS





Wake Stone Corp. P.O. Box 190 Knightdale, NC 27545-0190

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SURVEYORS





107 E. Second Street (27858) PO Box 929 Greenville, NC 27835

Ready Mixed Concrete Co. 3015 Windward Plaza Suite 300 Alpharetta, GA 30005-8713

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107 E. Second Street (27858) P0 Box 929 Greenville, NC 27835

Knight Stone, LLC 1655 Wake Drive Unit 101 Wake Forest, NC 27857-4746

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107 E. Second Street (27858) PO Box 929 Greenville, NC 27835

Flagship 6905 Knightdale, LLC 2701 Coltsgate Road Suite 300 Charlotte, NC 28211-3596

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Town of Knightdale | 950 Steeple Square Ct. | Knightdale, NC 27545 KnightdaleNC.gov | 919-217-2241

#### **NEIGHBORHOOD MEETING ATTENDANCE SHEET**

Please list Neighborhood Meeting Attendees who provided their name and/or contact information either during the meeting or via phone/email before or after the meeting. Use duplicate sheets if needed.

	Name/Organization	Address	Phone Number	Email Address	Follow Up		
					Requested?		
1.							
2.	NONE IN ATTENDANCE						
3.							
3.							
4.							
5.							
6.							
7.							
8.							
9.							
10.							
11.							
12.							
13.							
14.							
15.							