



## Project Overview

#1484769

**Project Title:** 8625 Knightdale Boulevard

**Jurisdiction:** Town of Knightdale

**Application Type:** Variance Application

**State:** NC

**Workflow:** Board of Adjustment Initial Hearing (Step 2)

**County:** Wake

## Contact Information

### Contact Info: Applicant

Amy Crout  
 Smith Anderson  
 150 Fayetteville Street, Suite 2300  
 Raleigh, NC 27601  
 P:919-838-2054  
[acrout@smithlaw.com](mailto:acrout@smithlaw.com)

## Contact Information

### Contact Info: Property Owner

Chris Papadopoulos  
 KNIGHTDALE HOLDINGS LLC  
 500 CARDINAL DR  
 Raleigh, NC 27604  
 P:919-280-8340  
[prestigehomesolutions1@gmail.com](mailto:prestigehomesolutions1@gmail.com)

## Project Location

**Project Address:** 8625 KNIGHTDALE BLVD

**PIN:** 1764581208

**Total Acreage:** 1.84

## Variance Request

### List the specific Section(s) of the Unified Development Ordinance for which you are requesting a variance. : UDO

Sections 7.1.K.1 & 7.1.M.1 (Parking Space Location); UDO Section 7.1.K.2.c (Parking Lot Curb & Gutter); UDO Sections 13.10.A & 10.4.A.3.a (Street Improvements)

### Describe in detail the requested variance (include type, dimension, location, etc.):

8625 Knightdale Boulevard (the "Property") is an approximately 1.84 acre tract with a single story steel building of approximately 10,500 and a parking pad located in front of the building. The Property was originally developed under Wake County's ordinance prior to coming into the Knightdale Extraterritorial Planning Jurisdiction and has been used historically for warehousing and vehicle related services. Since it was not developed under the current Knightdale Unified Development Ordinance (UDO), several variances were granted related to parking, screening, and buffering in 2015.

Since then, several uses historically allowed on the Property under the Highway Business are no longer allowed. More importantly, changing to a currently allowed use (even without additional development on the Property) triggers several of the Codes

requirements. After conversation with the Knightdales Development Services Department, the applicant is submitting the following variance requests to allow the Property to be used as developed:

1. UDO Sections 7.1.K.1 & 7.1.M.1 (Parking Space Location). This variance would allow all vehicle storage, and employee/patron parking to remain in front of the building.
2. UDO Section 7.1.K.2.c (Parking Lot Curb & Gutter). This variance request would remove the requirement to provide curb & gutter along the edge of the existing parking lot/vehicle storage area.
3. UDO Sections 13.10.A & 10.4.A.3.a (Street Improvements). This variance would remove the requirement to install the necessary improvements to upgrade Knightdale Boulevard to its ultimate cross-section.

**Describe any proposed conditions to the variance request that might be appropriate to reduce or minimize any injurious effects the variance may have.:**

N/A

**Findings of Fact**

**Please Note: In order to grant a variance, the Board of Adjustment must determine compliance with certain Findings of Fact found in Unified Development Ordinance Section 12.2.F.3.**

Please provide additional details in the space provided, or on a supplemental document. Responses should be fact-based, and include the arguments that you intend to make to convince the Board it can properly reach each of the required Findings of Fact.

**Explain how unnecessary hardships and exceptional practical difficulties would result from the strict application of the UDO.:**

Given that the Property was originally developed under Wake Countys jurisdiction and improved under a previous version of the Knightdale UDO, unnecessary hardship and exceptional practical difficulties would result from the strict application of the UDO.

The main parking area constructed in the 1990s and additional parking pad constructed in 2015 are located in the front of the building. Without complete redevelopment of the site, the parking area cannot be relocated due to location of existing building, the required buffer yard at the rear of the Property, and the Neuse River Riparian Buffer on the east side of the Property. The variances granted in 2015 recognized these constraints, allowing vehicle storage at the front of the Property and relaxing the landscaping requirements while still providing that the majority of the parking area be screened from the road.

Unnecessary hardships and exceptional practical difficulties also arise from the significant and costly site changes that would be required to use the Property in compliance with the current UDO, as almost any change in use

**Explain how the hardship(s) is the result of conditions peculiar and unique to the property (topography, location, size, configuration, etc.):**

Without complete redevelopment of the site, the parking area cannot be relocated due to location of existing building, the required buffer yard at the rear of the Property, and the Neuse River Riparian Buffer on the east side of the Property. The current parking area was enlarged and improved in 2015 based on site plan submitted with the variance, which did not require additional curb and gutter. The 2015 site plan also contemplated the additional 17 dedicated public right-of-way, limiting the developable area along the Property's frontage.

at this point triggers additional curb and gutter to the existing parking areas and street improvements to Knightdale Boulevard (e.g., turning and storage lanes, access management, sidewalks, bike lanes). Recognizing the eventual improvements needed to Knightdale Boulevard, an additional 17' of new dedicated public right-of-way provided and a fee-in-lieu was provided to the Town in 2015. There is already a dedicated right-turn lane into the Property.

**Findings of Fact**

**Please Note: In order to grant a variance, the Board of Adjustment must determine compliance with certain Findings of Fact found in Unified Development Ordinance Section 12.2.F.3.**

Please provide additional details in the space provided, or on a supplemental document. Responses should be fact-based, and include the arguments that you intend to make to convince the Board it can properly reach each of the required Findings of Fact.

**Explain how the hardship is not the result of the applicant's or property owner's own actions.:**

The Property was originally developed under Wake County's jurisdiction and improved under a previous version of the Knightdale UDO. Additionally, Property's historic uses are no longer allowed in the HB zoning district under the current version of the UDO.

**Explain how the request is consistent with the spirit, purpose, and intent of the UDO, such that public safety is secured and substantial justice is achieved.:**

The requested variances allow the property owner to continue to use the Property consistent with the stated purpose of the Highway Business District, which District is to provide and encourage the development of high-intensity offices, services, retailing of durable and convenience goods, facilitate convenient access, minimize traffic congestion, and reduce the visual impact of excessive signage and parking lots. As such, and like with the variances granted in 2015, these requested variances will result in substantial justice and are consistent with the spirit, purpose, and intent of the UDO.

**Variance Flood Damage**

**Does your request include a variance from the FLOOD DAMAGE PREVENTION ORDINANCE?:** No

**Describe in detail the reasons why there is good and sufficient cause for the variance request.:**

**Is the requested variance the minimum amount necessary, considering the flood hazard, to afford relief?:**

**Do you hereby affirm that the granting of a variance will not result in increased flood heights, additional threats to public safety, or extraordinary public expense, create nuisance, cause fraud on or victimization of the public or conflict with existing local laws or ordinances?:**

**TOWN OF KNIGHTDALE  
OWNER & AGENT AUTHORIZATION FORM**

Application or  
Project #: 8625 Knightdale Boulevard

Submittal Date: 09/23/2023

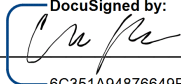
I, Chris Papadopoulos (Knightdale Holdings, LLC) am the owner of the following property/properties,  
located within in the Town of Knightdale:

8625 Knightdale Boulevard (PIN 1764581208; REID 0074800)

I do hereby give permission to Smith, Anderson, Blount, Dorsett, Mitchell & Jernigan, L.L.P. to submit the  
following type of application to the Town of Knightdale on my behalf for the above  
referenced property/properties.

- Master Plan (By Right)
- General Rezoning or Conditional District
- Special Use Permit
- Planned Unit Development
- Construction Drawings
- Variance/Appeal
- Other:

I am the owner of the property and will be acting as my own agent.

DocuSigned by:  
  
6C351A94876649E...

Signature(s) of Owner(s):

9/23/2024

Print or type name(s):

Chris Papadopoulos

Member & Registered Agent, Knightdale Holdings, LLC

Attach additional sheets if there are additional owners.

**\*If ownership has been recently transferred, a copy of the deed must accompany this authorization.**

WAKE COUNTY, NC 118  
LAURA M RIDDICK  
REGISTER OF DEEDS  
PRESENTED & RECORDED ON  
01/26/2015 10:38:18

BOOK:015900 PAGE:01385 - 01392



## TOWN OF KNIGHTDALE

---

mail to: 950 STEEPLE SQUARE COURT • KNIGHTDALE, NC 27545  
OFFICE (919) 217-2241 • FAX (919) 217-2249

NORTH CAROLINA  
WAKE COUNTY

### ORDER GRANTING A VARIANCE

THE TOWN OF KNIGHTDALE

On the date listed below, the Knightdale Land Use Review Board held a Public Hearing to consider the following application:

APPLICANT:	Charlotte Mitchell P.O. Box 26212 Raleigh, NC 27611
PROPERTY OWNER:	Todd and Stan Tansky 9209 Macon Rd. Raleigh, NC 27613
PROJECT NUMBER:	VAR-1-14
PROJECT LOCATION:	8625 Knightdale Blvd. Knightdale, NC 27545
WAKE COUNTY PIN:	1764.02-58-1208

LAND USE REVIEW BOARD MEETING DATE: August 11, 2014

The Land Use Review Board for the Town of Knightdale held a public hearing on Monday, August 11, 2014 to receive evidence presented by interested parties on a request for variances from the Knightdale Unified Development Ordinance and to allow for public questions regarding testimonies.

The Land Use Review Board having considered the testimony and arguments presented makes the following FINDINGS OF FACT:

1. Applicant seeks a variance to the Town of Knightdale Ordinance Sections 3.3(XX), 4.8(B), 8.6(B) and 8.7(A) for the lot addressed 8625 Knightdale Blvd. The applicant is requesting a variance to the location of the vehicle storage area, fence height and materials and parking lot screening requirements. The standards listed in UDO Sections 3.3(XX), 4.8(B), 8.6(B) and 8.7(A) are listed below:

**Variance Request 1:**

3.3(XX) Wholesaling and Distribution (HB\*, MI) \*Special Use [2.3(C)(6)(n)]

1. All vehicle storage areas shall be enclosed by an opaque fence or wall, restricted to the rear yard, and screened from off-site view of a public right-of-way by a Type-A buffer yard [Section 8.6(B)(1)].

**Variance Request 2:**

4.8 Fences and Walls

B. Apartment, Mixed-Use, Civic, Institutional or Commercial (All Districts Except MI) Building Types

1. Front Yard Height: Fences shall not exceed four (4) feet in height and garden/decorative walls shall not exceed three (3) feet in height.
2. Side/Rear Yard Height: Fences or garden/decorative walls shall not exceed eight (8) feet in height.
3. Materials:
  - a. Garden/decorative walls and fence piers shall be brick, stone or stucco consistent with those materials of the principal building.
  - b. Retaining walls shall be wood, brick, stone, or stucco.
  - c. All fences shall be wrought iron or a material similar in appearance and durability.
- 4.
5. Exceptions
  - a. Engineered retaining walls necessitated by severe topography (slopes) are not subject to the height limitations of this section.
  - b. Wireless Telecommunication Facility – Tower (Section 3.3YY) are not subject to the height limitations of this section.

**Variance Request 3:**

- 8.6 Buffers
- B. Buffer Yard Types

...

<p>2. Type B Buffer Yard</p>	<p>The diagram illustrates a 20-foot wide buffer yard. A dashed horizontal line at a height of 6 feet from the ground is labeled '6' Min. Semi-Opaque Screen'. Above this line, a vertical double-headed arrow indicates a '30' Minimum Intermittent Visual Obstruction' extending to a total height of 30 feet. The illustration shows a row of trees and shrubs within this 20-foot width.</p>
<p><b>a. Minimum Width</b></p>	<p>20 feet</p>
<p><b>b. Minimum Height &amp; Opacity</b></p>	<p>Ground to Six (6) feet – <i>Semi-Opaque Screen</i> Six (6)-30 feet – <i>Intermittent Visual Obstruction</i></p>
<p><b>c. Maximum Horizontal Openings</b></p>	<p>Five (5) feet – <i>Semi-Opaque Screen</i> 20 feet – <i>Intermittent Visual Obstruction</i></p>
<p><b>d. Performance Standard</b></p>	<p>A buffer which is 20 feet in width and contains screening materials which at maturity provide semi-opacity from the ground to a height of six (6) feet, and intermittent visual obstruction from a height of six (6) feet up to a height of 30 feet. Vegetative screening materials within intermittent visual obstruction areas shall contain horizontal openings no greater than 20 feet in width; and vegetative screening materials within semi-opaque areas shall contain horizontal openings no greater than five (5) feet in width upon the plants' maturity.</p>
<p><b>e. Required Plantings</b></p>	<p>For every 100 linear feet, there shall be at least three (3) Canopy Trees, five (5) Understory Trees and 20 shrubs. Depending on the species chosen, additional trees or shrubs may be necessary to meet the performance standard in subsection "d" above.</p>

**Variance Request 4:**

**8.7 Screening**

...

1. **Parking Lots:** All sides of parking lots shall be screened with a Type A Buffer Yard [Section 8.6(B)(1)]. Sides adjacent to an arterial shall be screened with a Type B Buffer Yard [Section 8.6(B)(2)]
  
2. The LURB has considered the Applicant's verified application, evidence and testimony introduced at the hearing.

3. There are unnecessary hardships that would result from the strict application of this Ordinance such as removing parking to meet some of the landscaping requirements and due to the existing landscaping and topography, the parking is screened from off-site view.
4. The identified hardship is the result of conditions peculiar to the property, such as location, size and/or topography.
5. The identified hardship did not result from actions taken by the applicant or property owner. The site was originally developed under Wake County's ordinances and became part of Knightdale's ETJ after the site was developed; therefore, the site is non-conforming.
6. The variance is consistent with the spirit, purpose and intent of this Ordinance, such that public safety is secured and substantial justice is achieved.

THEREFORE, based on the foregoing Findings of Fact, the Land Use Review Board makes the following CONCLUSIONS OF LAW:

1. Unnecessary hardship would result from the strict application of the Ordinance.
2. The identified hardship is the result of conditions peculiar to the property, such as location, size and/or topography.
3. The identified hardship did not result from actions taken by the applicant or property owner.
4. The variance is consistent with the spirit, purpose and intent of this Ordinance, such that public safety is secured and substantial justice is achieved.

The Land Use Review Board having heard all of the evidence and arguments presented at the hearing hereby grants the variance, VAR-1-14. A variance is granted from the following sections of the Unified Development Ordinance:

1. 3.3(XX): Allowing a change of use to occur with a vehicle storage area to be located in the front yard, not enclosed by an opaque fence or wall and not screened by a Type A buffer yard.
2. 4.8(B): Allowing a front yard fence to exceed 4' in height and not being constructed from wrought iron or a material similar in appearance and durability.
3. 8.6(A): Allowing a change of use to occur without meeting all of the screening requirements for a 20' Type B buffer.
4. 8.7(A)(1): Allowing a change of use to occur without the parking lot and vehicle storage area being screened along the east, south and west by a 20' Type B buffer as typically required.

The Land Use Review Board having heard all of the evidence and arguments presented at the hearing hereby grants the variance, VAR-1-14. A variance is granted with the additional conditions:

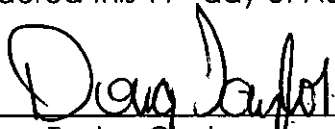
1. Site has to be developed in accordance with the site plan submitted with the variance application.



- 2. All other UDO and building code requirements shall be met, including, but not limited to obtaining a Special Use Permit from Town Council in order to operate a Wholesaling and Distribution facility on a HB zoned parcel.

**This order of the Land Use Review Board in granting this Variance shall expire if a building permit or Certificate of Occupancy (for a use for which a building permit is not required) has not been obtained within one (1) year from the date of its decision.**

Ordered this 11<sup>th</sup> day of August, 2014.




Doug Taylor, Chairman  
Land Use Review Board

NOTE: If you are dissatisfied with the decision of this board, an appeal may be taken to the Superior Court of Wake County within thirty (30) days after the date this order is served on you. See Chapter 15, Development Process, of the Knightdale Unified Development Ordinance.

NORTH CAROLINA  
WAKE COUNTY

IN WITNESS WHEREOF, the Town of Knightdale has caused this order to be issued in its name, and the undersigned being all of the property owners of the property above described, do hereby accept this Variance, together with all its conditions, as binding upon them and their successors in interest or ownership.



Todd Tansky

See attached T.H.T.  
Stan Tansky

ATTEST:



Suzanne M. Yeatts, Town Clerk

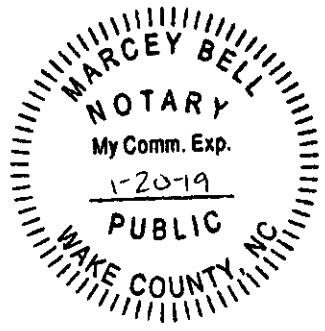


I, Marcey Bell, a Notary Public in and for said County and State, do hereby certify that Suzanne M. Yeatts, Town Clerk of Knightdale, personally came before me this day and being by me duly sworn says that she knows the corporate seal of the Town of Knightdale and that the seal affixed to the foregoing instrument

is the corporate seal of the Town of Knightdale, that Suzanne M. Yeatts, Town Clerk for the Town of Knightdale subscribed her name thereto; that the corporate seal of the Town of Knightdale was affixed thereto, all by virtue of an order of the Land Use Review Board, and that said instrument is the act and deed of the Town of Knightdale.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 16<sup>th</sup> day of October, 2014.

Marcy Bell  
Notary Public  
My Commission Expires: January 20, 2019



- 2. All other UDO and building code requirements shall be met, including, but not limited to obtaining a Special Use Permit from Town Council in order to operate a Wholesaling and Distribution facility on a HB zoned parcel.

**This order of the Land Use Review Board in granting this Variance shall expire if a building permit or Certificate of Occupancy (for a use for which a building permit is not required) has not been obtained within one (1) year from the date of its decision.**

Ordered this 11<sup>th</sup> day of August, 2014.

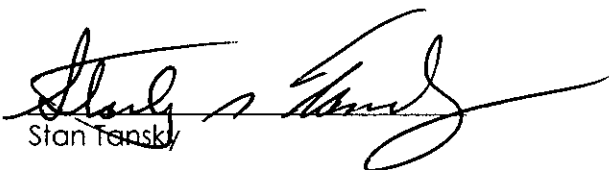
see previous sheet - JKC  
 Doug Taylor, Chairman  
 Land Use Review Board

NOTE: If you are dissatisfied with the decision of this board, an appeal may be taken to the Superior Court of Wake County within thirty (30) days after the date this order is served on you. See Chapter 15, Development Process, of the Knightdale Unified Development Ordinance.

NORTH CAROLINA  
 WAKE COUNTY

IN WITNESS WHEREOF, the Town of Knightdale has caused this order to be issued in its name, and the undersigned being all of the property owners of the property above described, do hereby accept this Variance, together with all its conditions, as binding upon them and their successors in interest or ownership.

see previous sheet  
 Todd Tansky

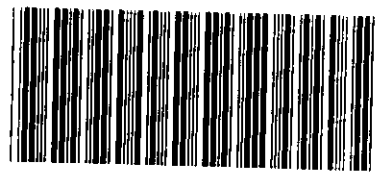
  
 Stan Tansky

ATTEST:

see previous sheet  
 Suzanne M. Yeatts, Town Clerk

SEAL

I, \_\_\_\_\_, a Notary Public in and for said County and State, do hereby certify that \_\_\_\_\_, Town Clerk of Knightdale, personally came before me this day and being by me duly sworn says that she knows the corporate seal of the Town of Knightdale and that the seal affixed to the foregoing instrument



BOOK:015900 PAGE:01385 - 01392



**Please retain yellow trailer page**  
It is part of the recorded document and must be submitted with the original for re-recording.

**Laura M. Riddick**  
**Register of Deeds**  
Wake County Justice Center  
300 South Salisbury Street, Suite 1700  
Raleigh, NC 27601

New Time Stamp

\$25 Non-Standard Fee

Additional Document Fee

Additional Reference Fee

**This Customer Group**

**This Document**

\_\_\_\_\_ # of Time Stamps Needed

8 \_\_\_\_\_ # of Pages P



# Tansky Property

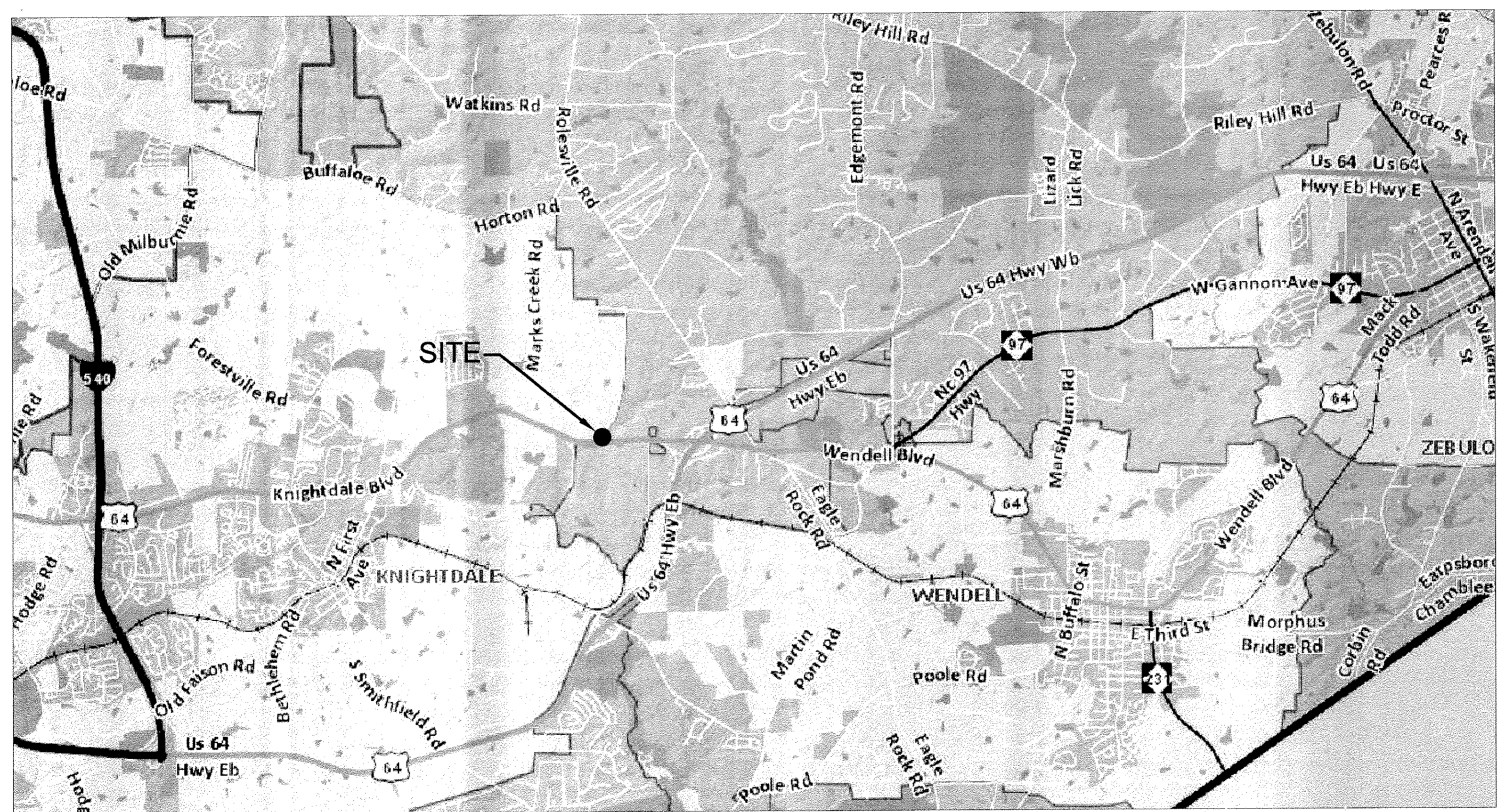
## 8625 KNIGHTDALE BLVD., KNIGHTDALE, NC 27545

**OWNER**  
STAN TANSKY & TODD TANSKY  
9209 MACON RD  
RALEIGH, NC 27613  
919-801-5782

**ENGINEER**  
EDA, PLLC  
PO BOX 31552  
RALEIGH, NC  
919-741-6185

**SURVEYOR**  
GIL CLARK SURVEYING  
2329 HODGE RD  
KNIGHTDALE, NC 27545  
919-266-9711

**LANDSCAPE ARCHITECT**  
SEARS DESIGN GROUP, P.A.  
625 W. JONES ST  
RALEIGH, NC 27603  
919-832-7000



LOCATION MAP

Town of Knightdale  
Project Number ZCP-6-15

Town of Knightdale Variance  
Number VAR-1-14

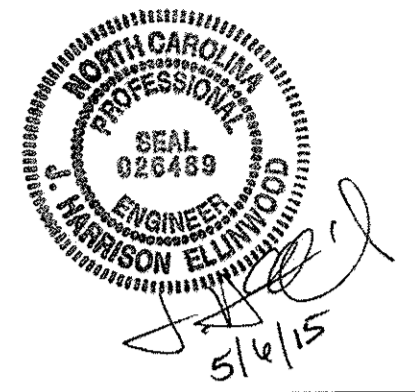
- List of Variances
- 3.3(XX): Allowing a change of use to occur with a vehicle storage area to be located in the front yard, not enclosed by an opaque fence or wall and not screened by a Type A buffer yard.
  - 4.8(B): Allowing a front yard fence to exceed 4' in height and not being constructed from wrought iron or a material similar in appearance and durability.
  - 8.6(A): Allowing a change of use to occur without meeting all of the screening requirements for a 20' Type B buffer.
  - 8.7(A)(1): Allowing a change of use to occur without the parking lot and vehicle storage area being screened along the east, south and west by a 20' Type B buffer as typically required.

### DRAWING LIST

- C-1 COVER SHEET
- C-2 PROPOSED SITE PLAN LAYOUT
- C-3 DETAIL SHEET
- L1 LANDSCAPE PLAN
- L2 LANDSCAPE DETAILS

# EDA

Ellinwood Design Associates, PLLC  
ENGINEERING - PLANNING - CONSULTING  
PO BOX 31552 - RALEIGH, NC 27615-0552  
FIRM LICENSE: P-0018



### CONSTRUCTION DRAWINGS

revisions

8625 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545

Town Approved Standards Shall Control. In the event of a conflict or inconsistency between these construction drawings and the Town of Knightdale's Approved Standards for this project, the Approved Standards shall control. Town of Knightdale Approved Standards shall mean all development documents necessary for approval for the Property including, but not limited to, any special use permit, subdivision plan, site plan, subdivision plat(s), phasing schedule, Development Agreement, Utility Allocation Agreement, Annexation Agreement, the Town of Knightdale Standard Specification and Details Manual and applicable provisions of the North Carolina State Building Code.

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

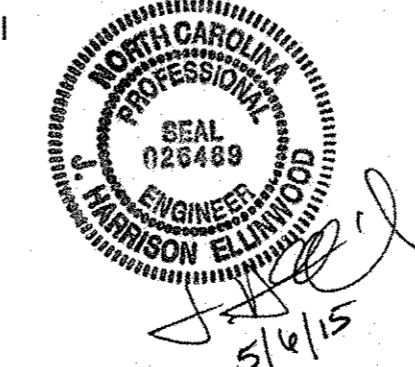
By: *[Signature]* Date: 4/16/2015  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: *[Signature]* Date: 6.25.15  
Administrator

Professional Design Engineer Certification. These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale.

I, J. Harrison Ellinwood, PE, certify that the Standard Specifications of the Town of Knightdale have been thoroughly checked and found to be applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightdale and said exceptions are shown on Sheet(s) 2 of these drawings.

Seal: 

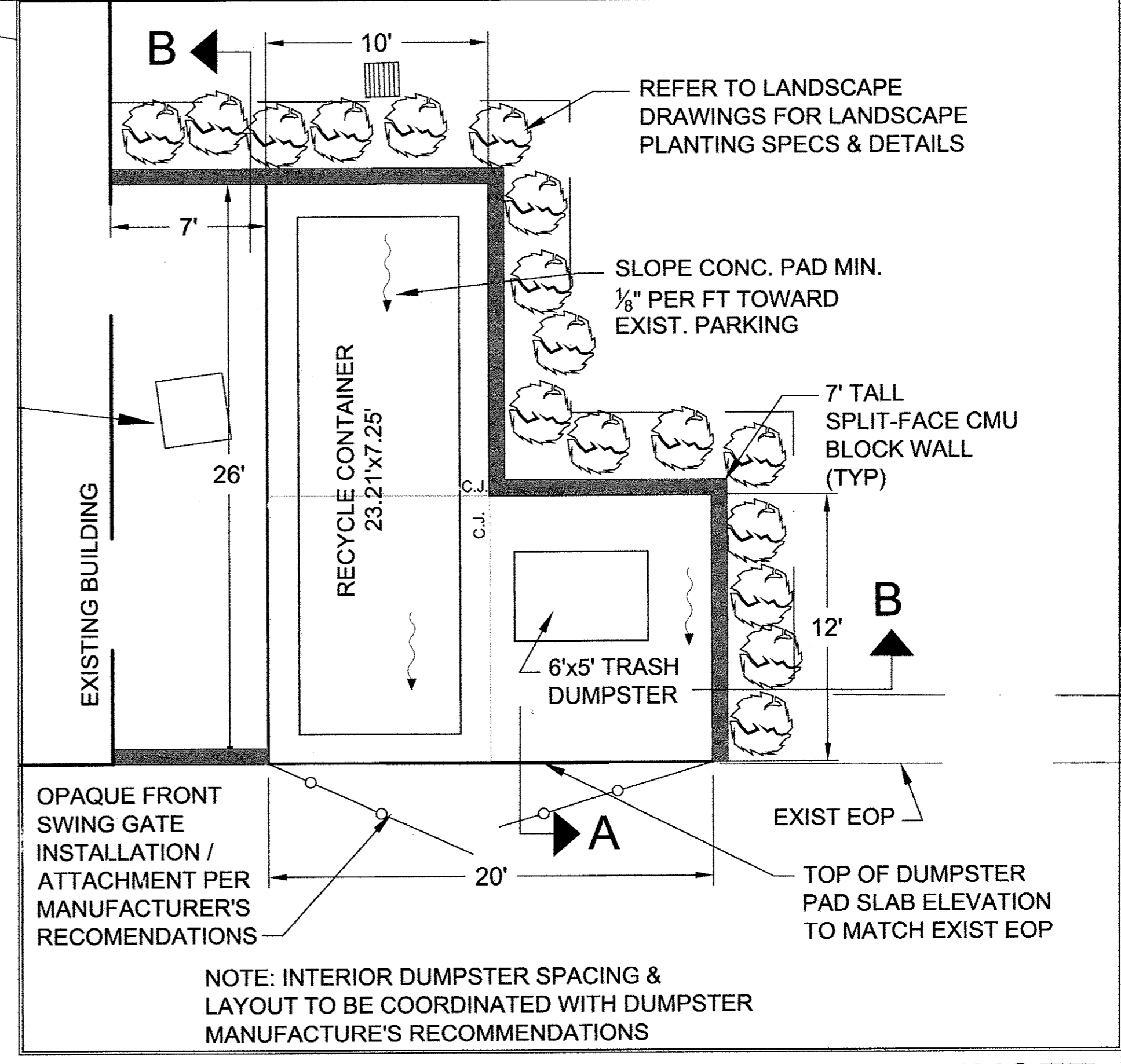
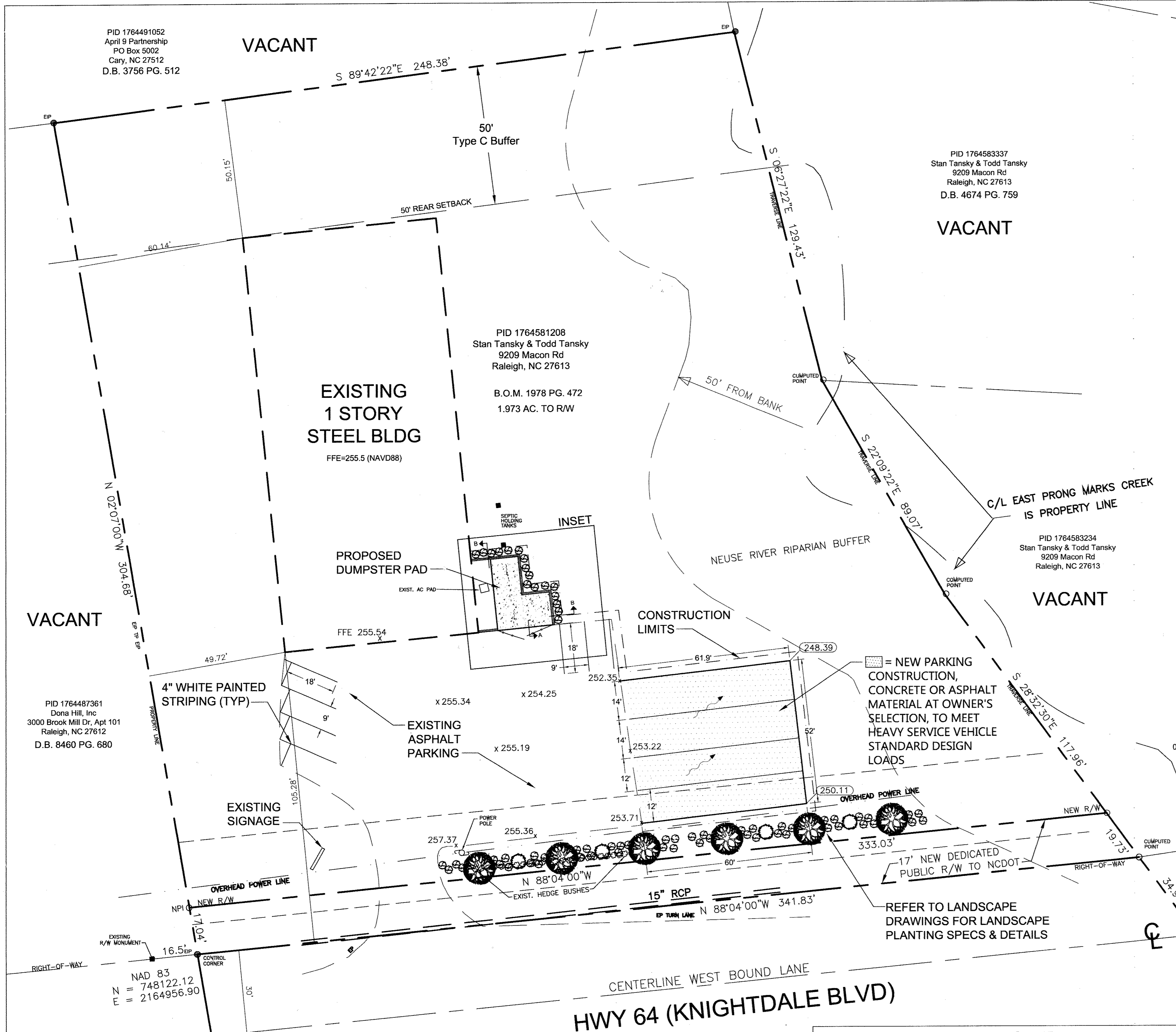
By: J. Harrison Ellinwood, PE  
Date: 5-6-2015

COVER SHEET

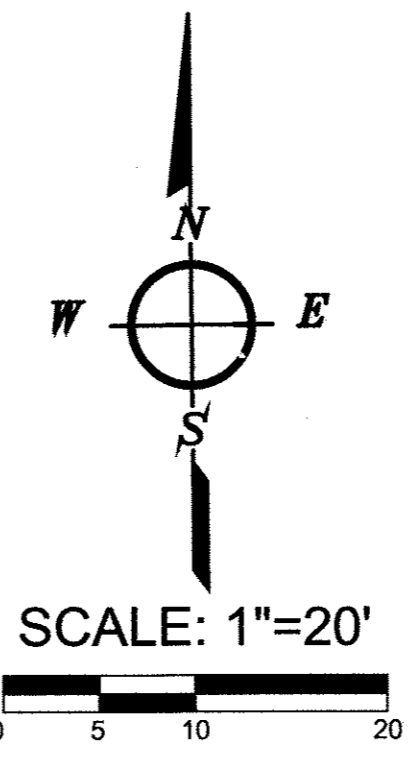
# 1 OF 3

date: 5-6-15  
commission:  
drawn by:

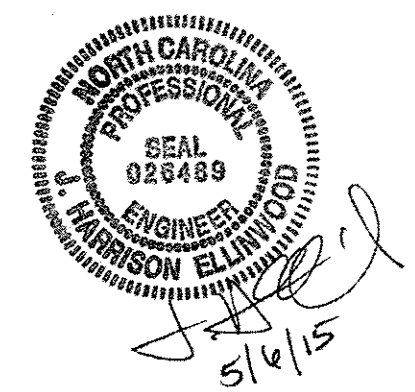




- NOTES**
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO BEGINNING NEW WORK AND COORDINATE ANY DISCREPANCIES WITH THE ARCHITECT/ENGINEER.
  - CONTRACTOR TO VERIFY ALL BOTTOM OF FOOTING ELEVATIONS TO BE A MIN. OF 12" BELOW GRADE.
  - CJ DENOTES SAWN SLAB CONTROL JOINT, DEPTH OF CUT = 1/4 SLAB THICKNESS.
  - MASONRY REINF SHALL MEET ASTM A 615, GR 60. LAP ALL SPLICES 48 BAR DIAMETERS.
  - GROUT FOR MASONRY SHALL MEET ASTM C 476, 2000 PSI MIN COMPRESSIVE STRENGTH.
  - CONTRACTOR TO REFERENCE SWING GATE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
  - CONCRETE FOR FOOTINGS SHALL HAVE 3000 PSI MIN COMPRESSIVE STRENGTH. CONCRETE FOR FLOOR SLAB SHALL BE 5000 PSI. SEE ALSO GENERAL NOTES.
  - SOILS BELOW CONCRETE SLABS ON GRADE AND PAVING SHALL BE COMPACTED TO A MINIMUM OF 95 % STANDARD PROCTOR MAXIMUM DRY DENSITY. REPLACE ANY UNSUITABLE SUBGRADE WITH PROPERLY COMPACTED SUITABLE MATERIAL. ALL FOOTINGS SHOULD BEAR ON ORIGINAL UNDISTURBED SOIL OR CONTROLLED FILL.
  - THE FOUNDATION DESIGN IS BASED ON A PRESUMPTIVE ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF. CONTRACTOR TO VERIFY AND PROVIDE CONFIRMATION IN THE FIELD THE ALLOWABLE BEARING CAPACITY AND ADEQUACY OF ALL SUBGRADES, FILLS AND BACKFILLS PRIOR TO PLACEMENT OF FOUNDATIONS, FOOTINGS, SLABS, WALLS, FILLS, BACKFILLS, ETC.
  - CONTRACTOR IS TO COORDINATE WITH OTHER DISCIPLINES AND TRADES FOR LOCATIONS AND DIMENSIONS OF OPENINGS, RECESSES, SLEEVES, AND PIPING.
  - BOUNDARY AND TOPO INFORMATION SUPPLIED BY GIL CLARK SURVEYING.
  - PARKING CALCULATIONS PER UDO SECTION 10.3 D(6)(m): STORAGE-WAREHOUSE, INDOOR STORAGE BUILDING AREA: 10,500 SF  
REQUIRED MAXIMUM: 0.7 SPACES PER 1000 SF GFA (10,500 SF / 1000 SF) x 0.7 SPACES = 7.35 SPACES  
REQUIRED MINIMUM: 1/2 THE MAXIMUM NUMBER OF SPACES 7.35 / 2 = 4 SPACES  
PROVIDED: 6 SPACES
  - SITE DATA  
TOTAL SITE AREA: 1.973 AC; 85,944 SF  
EXIST BLDG AREA: 10,500 SF  
EXIST PARKING AREA: 9,480 SF  
PROP PARKING AREA: 3,163 SF  
PROP CONC DUMPSTER PAD: 380 SF
  - SITE ZONING: HB
  - TENANT / USE: STORAGE - WAREHOUSE, INDOOR STORAGE [PER UDO 2.3C(6)m]
  - ADDITIONAL USE STANDARDS: OUTDOOR STORAGE IS NOT PERMITTED [PER UDO 3.3R(2)]



Ellinwood Design Associates, PLLC  
ENGINEERING - PLANNING - CONSULTING  
PO BOX 31553 - RALEIGH, NC 27614-6155  
FIRM LICENSE: P-0918



**CONSTRUCTION DRAWINGS**

revisions


8625 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: *[Signature]* Date: 6/10/2015  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: *[Signature]* Date: 6/25/15  
Administrator

**LEGEND**

	PROPOSED ASPHALT PARKING		CONSTRUCTION LIMITS
	DUMPSTER PAD	x 255.19	EXISTING GRADE
	DUMPSTER ENCLOSURE GATE		PROPOSED GRADE
	DUMPSTER ENCLOSURE WALL		SLOPE DIRECTION
			CROSS SECTION

**PROPOSED SITE PLAN LAYOUT**

sheet

**2 OF 3**

date: 5-6-15  
commission:  
drawn by:



# general notes

**A. GENERAL**

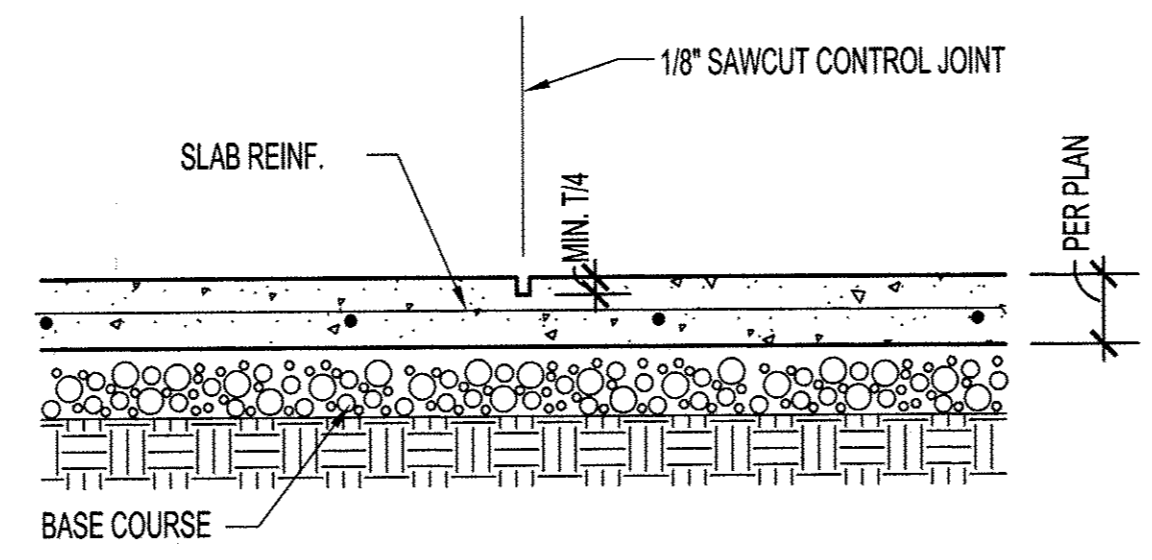
- Contractor is responsible for dissemination of revisions to Contract documents and requirements to all subcontractors.
- Contractor shall verify all dimensions, elevations and existing field conditions before proceeding with construction.
- All safety and OSHA regulations shall be followed strictly. Methods of construction and erection of structural material are the Contractor's responsibility.

**B. CONCRETE**

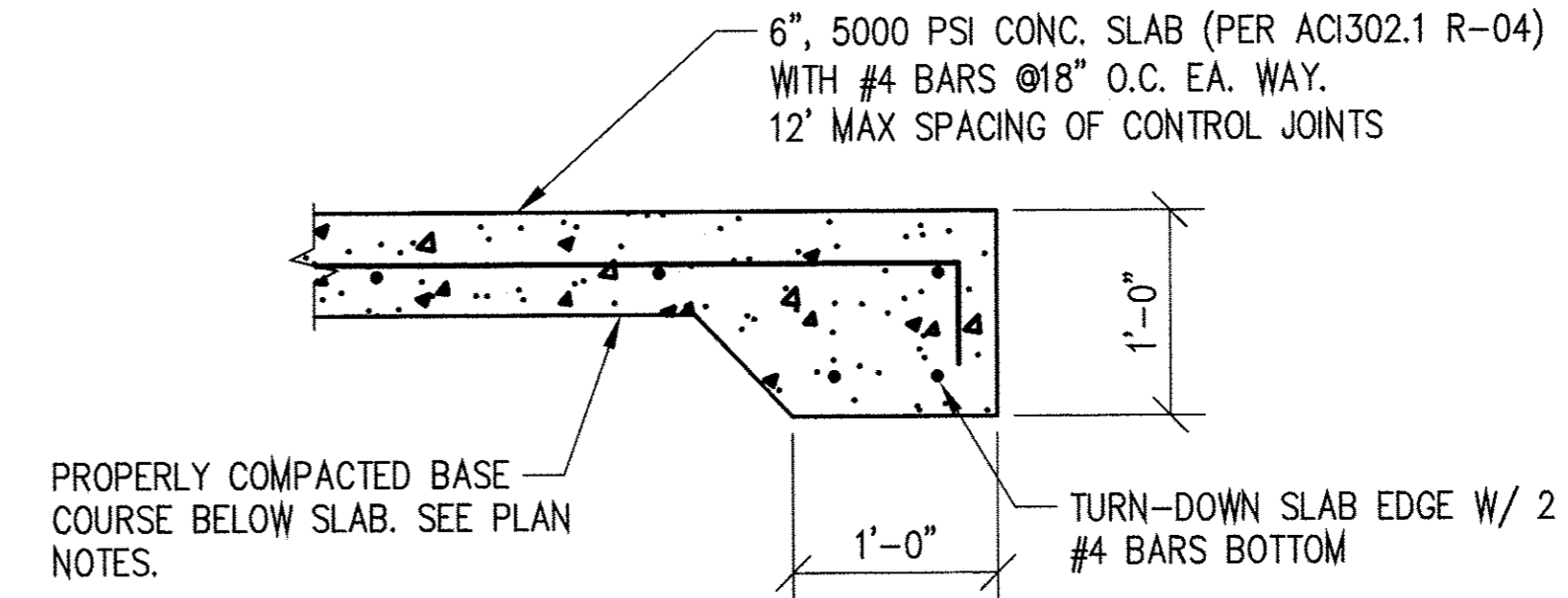
- Minimum compressive strength at 28 days shall be: 5000 psi (regular weight concrete, i.e. 145 pcf) UON.
- All detailing, fabrication and erection of reinforcing bars shall conform to ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structure" (ACI-315) and the "Building Code Requirements for Reinforced Concrete" (ACI-318).
- Reinforcing bars shall be rolled from new billet steel conforming to "Specification for Deformed Billet Steel Bars for Concrete Reinforcement", ASTM A 615, and shall be Grade 60 except for column and plaster ties and beam stirrups which shall be Grade 40.
- Details, workmanship and procedure of concrete placement shall conform to the latest editions of ACI-315, ACI-318 and ACI-301.
- Clear distance from face of concrete to main reinforcing: Suspended slabs and joists: 1" UON  
Grade beams, pedestals, columns, walls: 2" UON  
Footings, walls cast against earth: 3" UON
- All isolation joint strips shall be 1/2" thick, unless otherwise noted.
- Provide corner bars at all footing steps and corners unless otherwise noted. Bars shall lap a minimum of 48 bar diameters and shall have the same size and spacing as the horizontal reinforcing.
- Provide #4 diagonal corner bars, minimum 48" long at center of slab around all openings in floor slabs.
- Lap all reinforcing splices at least 48 bar diameters (24" minimum) unless otherwise noted.
- All reinforcing shall be securely wired together in forms as called for in "Placing Reinforcing Bars" by CRSI.
- Crack control joints shall be placed in slabs on grade at a maximum spacing of 12', unless otherwise noted.
- Provide all necessary cover and protection for masonry work when placing concrete.

**D. CONCRETE/BRICK MASONRY**

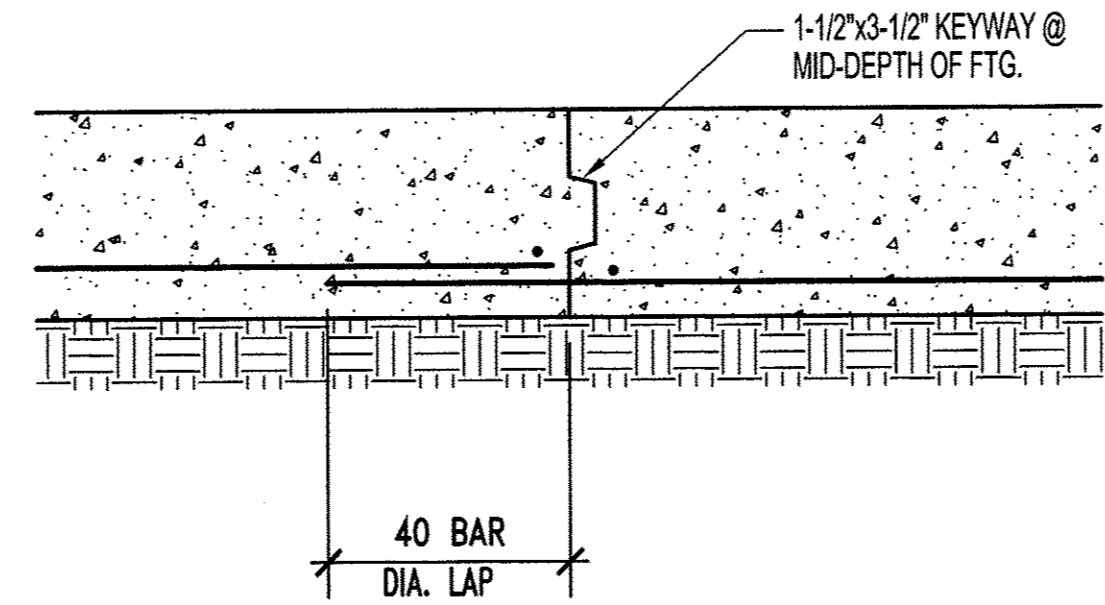
- Concrete masonry units shall conform to ASTM C 90, Grade N-1 unless otherwise noted, compressive strength on net cross sectional area: 2000 psi.
- Masonry shall be laid in ASTM C 270, type "S" mortar, UON and shall have full mortar coverage of the face shells in both horizontal and vertical joints.
- Grout for reinforced masonry shall have a compressive strength of 3000 psi at 28 days and shall conform to ASTM C 475
- Grout for reinforced masonry shall have a slump of 8 to 11 inches. Course grout shall be used in spaces 2-1/2" x 3" and greater. Fine grout shall be used in spaces 2" x 3" and smaller.
- Maximum height to which masonry shall be laid before filling is 4 feet for coarse grout and 2 feet for fine grout.
- Reinforcing grade and details shall be the same as for Concrete. Tie in position and place concrete around reinforcing during construction of masonry. Do not push reinforcing down into previously placed grout fill. Set bolts similarly.
- Horizontal reinforcing bars may be spliced with a minimum lap of 48 times the bar diameter UON.
- Reinforce all walls with 9 gage continuous ladder type reinforcing at 16" vertical spacing UON on plans.
- Spliced reinforcing bars shall occupy the same cell. Minimum lap splice shall be 48 times the bar diameter. Spliced bars need not be tied together.
- Vertical reinforcement in walls shall be supported and secured against displacement at 6 foot intervals for #3 and #4 bars and 8 foot intervals for #5 and #6 bars.
- The masonry contractor shall provide and place such special units as may be required to form all corners, returns, and offsets while maintaining the proper bond.
- Face shell bedding shall be used with complete coverage of face shells. Furrowing of the mortar shall not be permitted.
- Mortar joints shall be 3/8" thick with full mortar coverage on vertical and horizontal face shells. Vertical joints shall be shoveled tight.
- Mortar joints for concrete masonry walls to be exposed or painted shall be struck off flush with wall surface and, when partially set, shall be firmly compacted with a pointing tool to a concave joint.
- Provide bond beams at masonry elevations as shown on the Architectural and Structural Drawings. Bond beams shall have two #4 bars, continuous, unless otherwise noted.
- All vertical reinforcing bars shall extend 6" minimum into bond beam at top of wall.



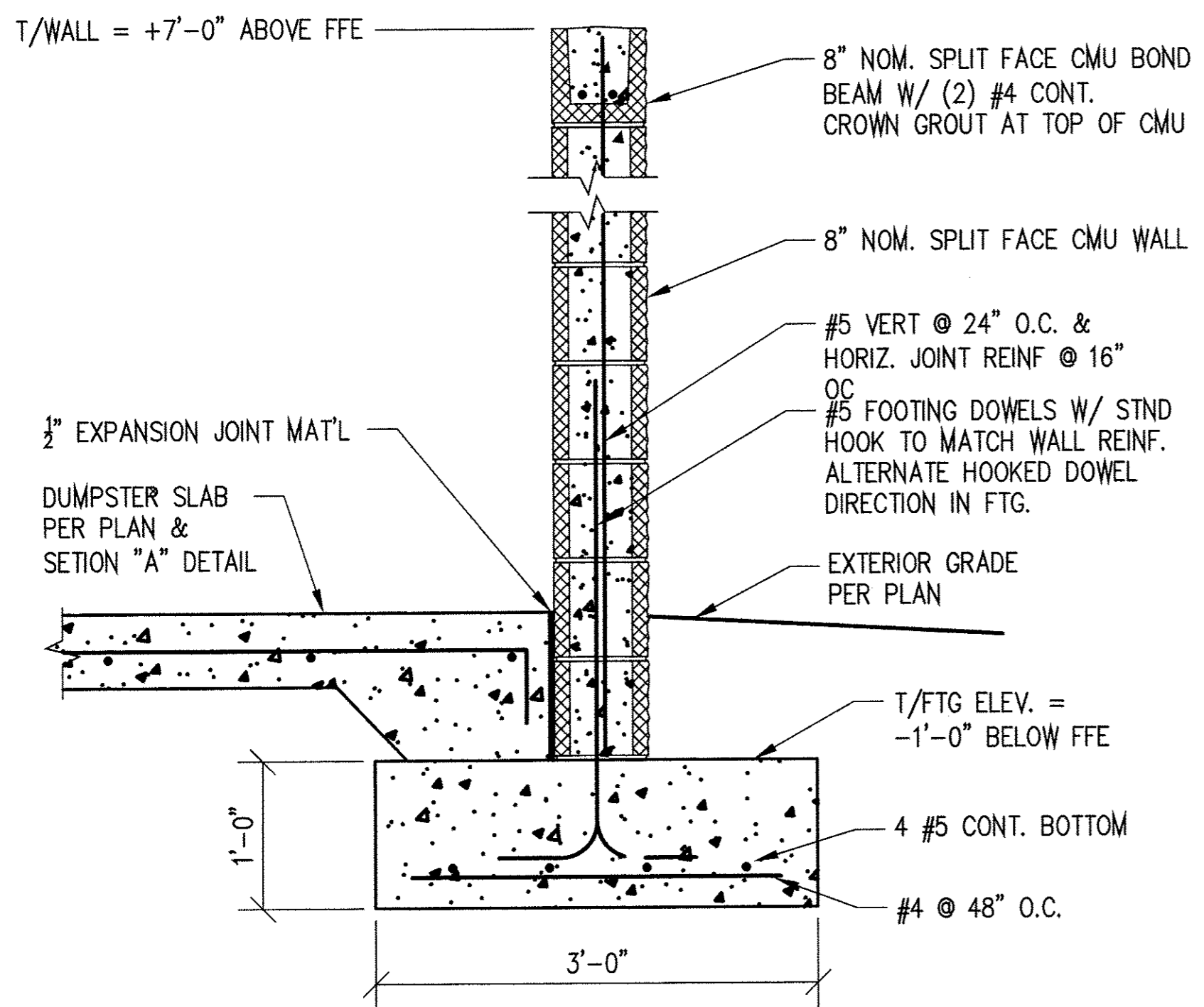
TYPICAL SLAB ON GRADE CONTROL JOINT DETAIL  
SCALE: NTS



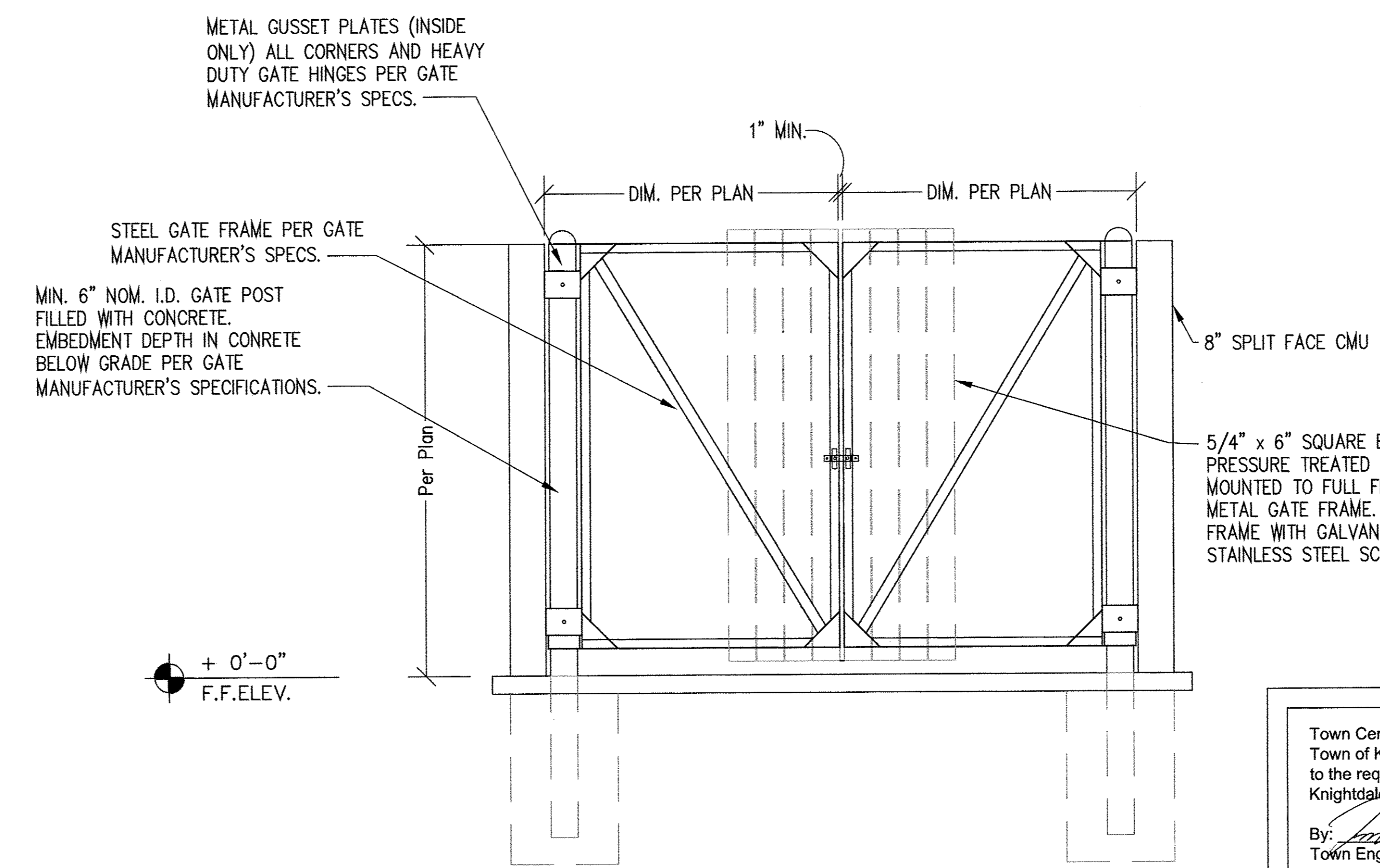
CONCRETE DUMPSTER PAD - SECTION "A"  
SCALE: 3/4" = 1'-0"



TYPICAL WALL FOOTING CONSTRUCTION JOINT DETAIL  
SCALE: NTS



DUMPSTER ENCLOSURE WALL - SECTION "B"  
SCALE: 3/4" = 1'-0"



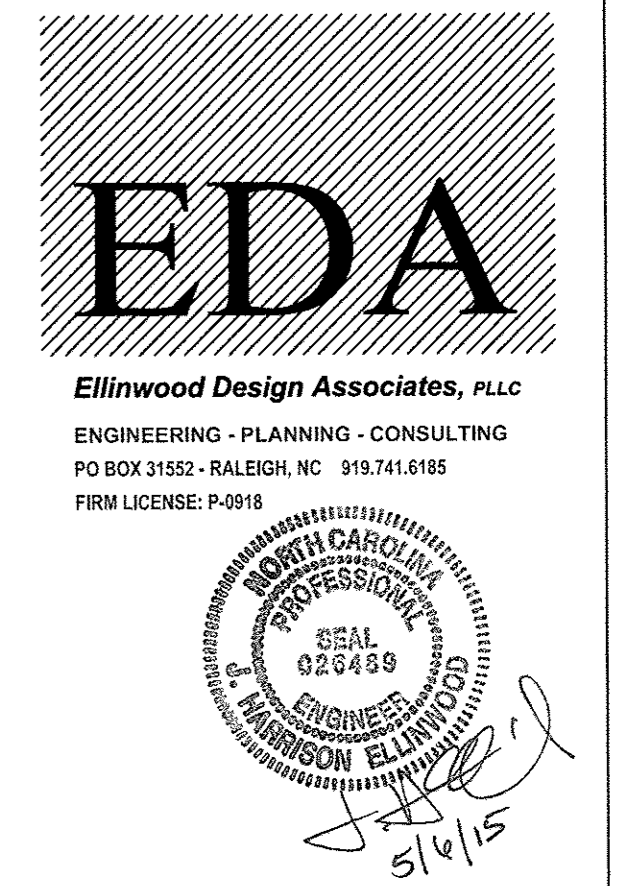
DUMPSTER ENCLOSURE GATE  
SCALE: NTS

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: *[Signature]* Date: 7/25/2015  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: *[Signature]* Date: 7.25.15  
Administrator



CONSTRUCTION DRAWINGS

revisions

8625 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545

DETAIL SHEET

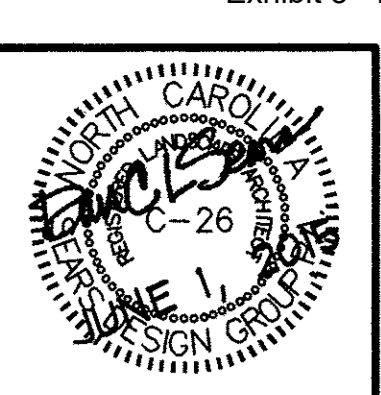
sheet

# 3 OF 3

date: 5-6-15  
commission:  
drawn by:

S:\PROJECTS\8625 KNIGHTDALE BLVD\CAD FILES\L1 LANDSCAPE PLAN.dwg

PLOT DATE: 6/30/15



### L1-2 LEGEND

#### EXISTING CONDITIONS

- PROPERTY LINE
- ROW/ADJACENT PROPERTY LINE
- OHP OVERHEAD POWER LINE
- ELECTRIC LINE EASEMENT
- NEUSE RIVER RIPARIAN BUFFER
- CENTER LINE OF CREEK
- DRAINAGE PIPE
- PLANT MATERIAL
- TREELINE/LIMITS OF DISTURBANCE

#### PROPOSED CONDITIONS

- TYPE B BUFFER YARD
- WALL
- 6' TALL OPAQUE WOOD FENCE
- BEDLINE

- (1)CC TYPICAL PLANTINGS KEY (SEE PLANT LIST)
- (1)IXN TYPICAL PLANTINGS KEY (SEE PLANT LIST)
- (1)LJ TYPICAL PLANTINGS KEY (SEE PLANT LIST)
- (1)CJY TYPICAL PLANTINGS KEY (SEE PLANT LIST)

NOTES:  
 1. THE TOWN OF KNIGHTDALE DEVELOPMENT SERVICES DEPARTMENT MUST APPROVE ALL LANDSCAPING SUBSTITUTIONS.  
 2. CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN AND PLANT LIST PRIOR TO PRICING. NO PLANT SUBSTITUTIONS MAY BE MADE BY THE CONTRACTOR UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

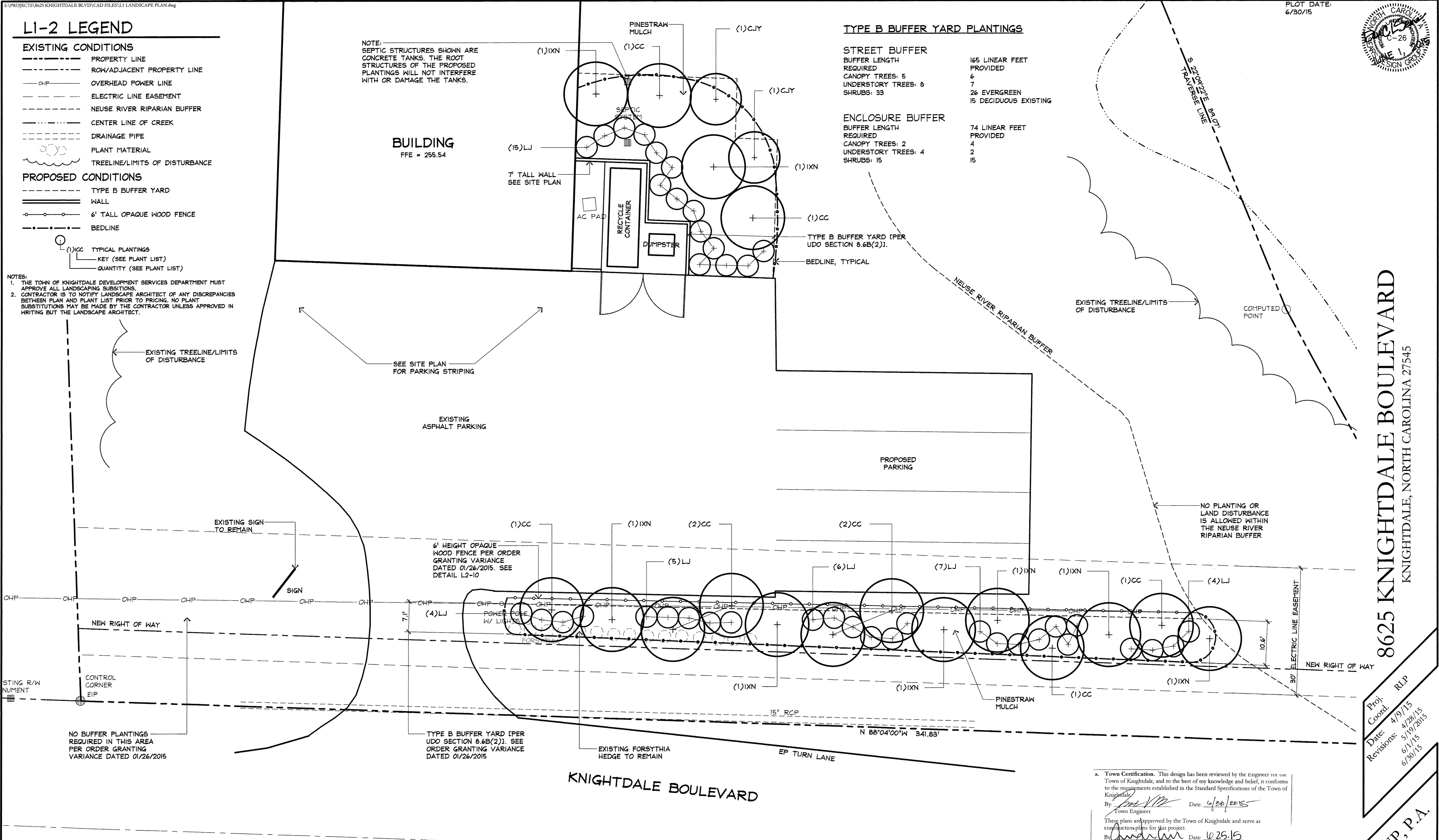
NOTE:  
 SEPTIC STRUCTURES SHOWN ARE CONCRETE TANKS. THE ROOT STRUCTURES OF THE PROPOSED PLANTINGS WILL NOT INTERFERE WITH OR DAMAGE THE TANKS.

#### TYPE B BUFFER YARD PLANTINGS

**STREET BUFFER**  
 BUFFER LENGTH REQUIRED: 165 LINEAR FEET PROVIDED: 6  
 CANOPY TREES: 5  
 UNDERSTORY TREES: 8  
 SHRUBS: 33  
 26 EVERGREEN  
 15 DECIDUOUS EXISTING

**ENCLOSURE BUFFER**  
 BUFFER LENGTH REQUIRED: 74 LINEAR FEET PROVIDED: 4  
 CANOPY TREES: 2  
 UNDERSTORY TREES: 4  
 SHRUBS: 15

**BUILDING**  
FFE = 255.54



**8625 KNIGHTDALE BOULEVARD**  
 KNIGHTDALE, NORTH CAROLINA 27545

Proj. RLP  
 Coord. 4/9/15  
 Date: 4/28/15  
 Revisions: 5/19/2015  
 6/1/15  
 6/30/15

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
 By: *[Signature]* Date: 6/30/2015  
 Town Engineer  
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
 By: *[Signature]* Date: 6/25/15  
 Administrator

BOUNDARY INFORMATION, VEGETATION LINES, AND EXISTING STRUCTURES WERE TAKEN FROM A SURVEY PROVIDED BY THE OWNER ON 4/6/15.

ALL CONTRACTORS SHALL Examine and reference all the drawings and specifications which are a part of this contract, not just those drawings and specifications for a particular sub-contract.

UNDERGROUND UTILITIES: Prior to beginning layout and prior to beginning construction, all contractors and subcontractors who are moving earth or digging in the ground SHALL CONTACT NORTH CAROLINA ONE-CALL (811 OR 1-800-632-4949) to have them field mark all underground utility services.

**L1-1 LANDSCAPE PLAN**  
 SCALE: 1"=10'  
 0 5 10 20 FEET

**SEARS DESIGN GROUP, P.A.**  
 LANDSCAPE ARCHITECTS  
 625 W. Jones Street Raleigh, NC 27603  
 (919)852-7000 Fax: (919)852-8140  
 Email: searsdesign@searsdesigngroup.com  
 Sheet No. **L1**  
 Of 2





L2-1 PLANT LIST

Enclosure	Street	TOTAL				
Buffer	Buffer	QUAN	KEY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>						
2	7	9	CC	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	1 1/2" Cal., 6' Ht. Min.
2		2	CJY	Cryptomeria japonica 'Yoshino'	Yoshino Japanese Cedar	2" Cal., 8' Ht. Min.
2	6	8	IXN	Ilex x 'Nellie R. Stevens'	Nellie Stevens Holly	2" Cal., 8' Ht. Min.
<b>SHRUBS</b>						
15	26	41	LJ	Ligustrum japonicum 'East Bay'	East Bay Ligustrum	3 Gal., 18" Ht. Min.

- NOTES:
- THE TOWN OF KNIGHTDALE DEVELOPMENT SERVICES DEPARTMENT MUST APPROVE ALL LANDSCAPING SUBSTITUTIONS.
  - CONTRACTOR IS TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN AND PLANT LIST PRIOR TO PRICING. NO PLANT SUBSTITUTIONS MAY BE MADE BY THE CONTRACTOR UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

DETAIL L2-2 TREE STANDARDS

CONTRACTOR IS TO PROVIDE THE OWNER WITH HIGH QUALITY TREES AND PLANT MATERIAL THAT EXHIBIT GOOD HEALTH AND GROWTH AND HAVE RECEIVED PROPER CULTURAL PRACTICES BY THE GROWING NURSERY WHERE THEY ARE OBTAINED. ONLY TREES THAT RATE HIGH IN TRUNK, BRANCH, CROWN, LEAF AND ROOT CHARACTERISTICS WILL BE ACCEPTABLE. THE LANDSCAPE ARCHITECT WILL HAVE THE RIGHT TO REJECT TREES THAT ARE DEEMED UNACCEPTABLE AS OUTLINED BELOW.

- ACCEPTABLE TREE:**
- SINGLE TRUNK OR LESS THAN 5' BOW (UNLESS MULTISTEM SELECTION)
  - BRANCH DIAMETER SMALLER THAN 2/3 SIZE OF THE TRUNK MEASURED DIRECTLY ABOVE THE BRANCH
  - NO FLUSH CUTS/OPEN INJURIES
  - CROWN FULL OF FOLIAGE
  - CROWN SHOWS LITTLE EVIDENCE OF CHLOROSIS, NECROSIS, DISEASE OR INSECT PESTS
  - ROOT BALL IS APPROPRIATELY SIZED AND NOT LOOSE
  - ROOT FLARE IS EXPOSED

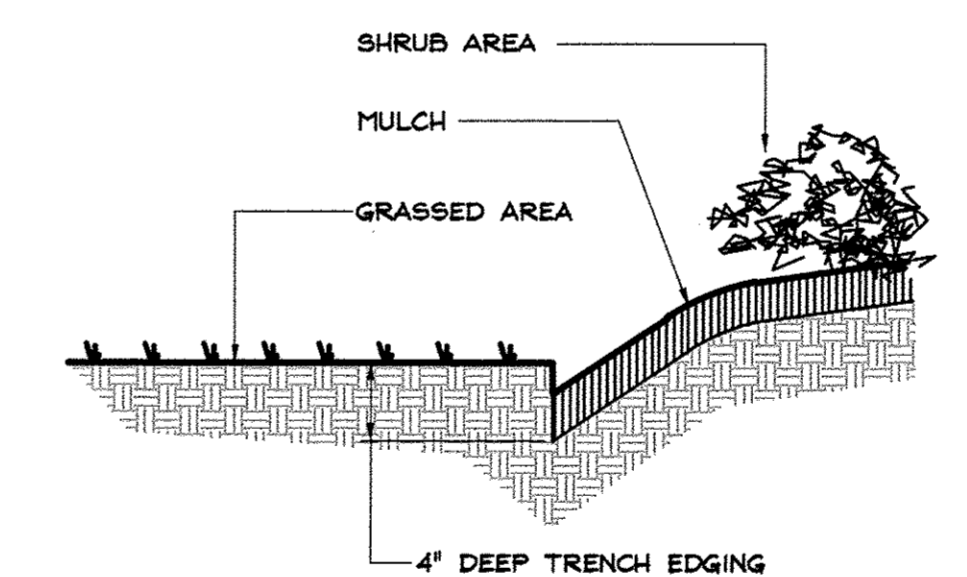
**MAY BE ACCEPTABLE WITH PRIOR WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT**  
TREE TRUNK FORKS IN TOP HALF OF TREE (NOT ACCEPTABLE IF FORKS IN LOWER HALF OF TREE)

- NOT ACCEPTABLE TREE:**
- POOR TRUNK AND BRANCH STRUCTURE (DOGLEG, BRANCHES NOT EVENLY DISTRIBUTED AROUND TRUNK, LARGE VOIDS IN CROWN, TREE IS ONE-SIDED OR FLAT SIDED, DOUBLE LEADER IN LOWER HALF OF TREE, BRANCH SMALLER DIAMETER, ETC.)
  - CIRCLING ROOTS
  - OPEN WOUNDS, FLUSH CUTS
  - LOOSE ROOT BALL
  - ROOT FLARE IS BURIED OR GROWN BELOW GRADE
  - TREE LACKS VIGOR
  - LEADER THAT HAS BEEN CUT
  - OR ANY OTHER DEFECT AS JUDGED BY LANDSCAPE ARCHITECT

DETAIL L2-3 PREPARATION OF PLANTING BEDS

SUBSOIL ALL BED AREAS TO A DEPTH OF 12" MINIMUM, THEN LOOSEN SUBGRADE EXCEPTING THAT UNDER EXISTING TREES TO REMAIN FOR PLANTING BED AREAS TO A MINIMUM DEPTH OF 8" USING A CULTIMULCHER OR SIMILAR EQUIPMENT. REMOVE STONES OVER 1/2" IN ANY DIMENSION, AND STICKS, STONES, RUBBISH AND OTHER EXTRANEOUS MATTER.

SPREAD PLANTING SOIL MIXTURE TO A MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES, AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF PLANTING SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE PLANTING SOIL.



DETAIL L2-4 TRENCH EDGING

DETAIL L2-5 PLANTING NOTES

KEY LETTERS REFER TO PLANT LIST. WHERE KEY LETTERS ARE CONNECTED TO A SINGLE PLANT, THE QUANTITY IS ONE.

GROUP PLANTINGS HAVE KEY LETTERS FOLLOWED BY THE QUANTITY OF THAT PLANT IN THAT PARTICULAR AREA OR GROUP.

QUANTITIES SHOWN FOR GROUND COVER PLANTING OR MASS PLANTING AREAS ARE FOR REFERENCE ONLY. EXACT QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THIS CONTRACTOR.

LOCATIONS FOR PROPOSED PLANT BEDS AND TREES CAN BE ESTABLISHED BY USING SCALED DIMENSIONS TAKEN FROM PLANTING PLAN. USE WALKS, DRIVES, BUILDINGS, ETC. AS REFERENCES.

ALL PLANTS SHALL BE COMPACT, UNIFORM AND WELL GROWN. PLANTS SHALL NOT BE LOOSE, OPEN PLANTS.

ALL AREAS DISTURBED BY GRADING OPERATIONS AND UTILITY LINE PLACEMENT SHALL BE GRASSED.

ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" APPROVED TRIPLE SHREDDED HARDWOOD, EXCEPT PERENNIAL AND GROUNDCOVER BEDS SHALL RECEIVE 2" PINEBARK FINES MULCH.

EXISTING AND PROPOSED TREES SHALL BE PRUNED AS INSTRUCTED BY LANDSCAPE ARCHITECT, AND AS DETAILED.

SYMBOLS: BMB - BALLED AND BURLAPPED; B.R. - BARE ROOT; O/C - ON CENTER; SPR. - SPREAD; CAL. - CALIPER; CONT. - CONTAINER GROWN; GAL. - GALLON CONTAINER; SHW - STAKED AND WRAPPED; G - GUYED.

ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. WASHINGTON, D.C.

DETAIL L2-6 PLANTING SOIL AND FERTILIZER REQUIREMENTS

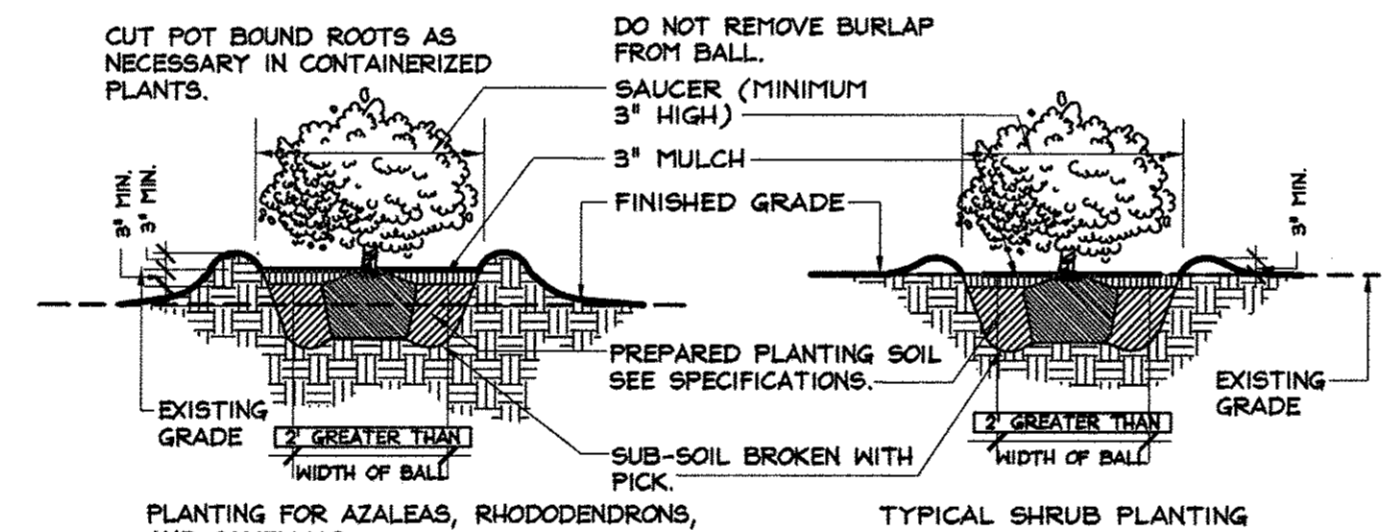
THESE APPLICATION RATES ARE TO BE USED WHERE SOIL TESTS ARE NOT REQUIRED. WHERE SOIL TESTS ARE REQUIRED, SOIL TEST RESULTS WILL DETERMINE APPLICATION RATES. COPIES OF SOIL TEST RESULTS ARE TO BE SUBMITTED ALONG WITH APPLICATION RATES TO THE LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL.

AREA	PLANTING SOIL MIXTURE	FERTILIZER	LIME
LAWN	APPROVED SCREENED TOPSOIL	10:20:20 @ 20 LBS. PER 1000 SQUARE FEET	75 LBS. DOLOMITIC LIME PER 1000 SQUARE FEET*
PLANT AND TREE PITS	50:50 TOPSOIL AND COMPOST BLEND	10:20:20 @ 1.5 LBS. PER CUBIC YARD	75 LBS. DOLOMITIC LIME PER 1000 SQUARE FEET**
ITALIAN CYPRESS PLANTING BACKFILL MIX	ADD (1) PART PERMATILL TO (2) PARTS 50:50 SOIL COMPOST BLEND		

\*ALL LAWNS EXCEPT CENTIPEDE LAWNS NEED DOLOMITIC LIME, TYP. PH SHOULD BE 5.0-6.0  
\*\*NEVER ADD LIME TO AZALEAS, RHODODENDRONS, CAMELLIAS AND OTHER ACID LOVING PLANTS

DETAIL L2-7 QUANTITATIVE ANALYSIS OF TOPSOIL

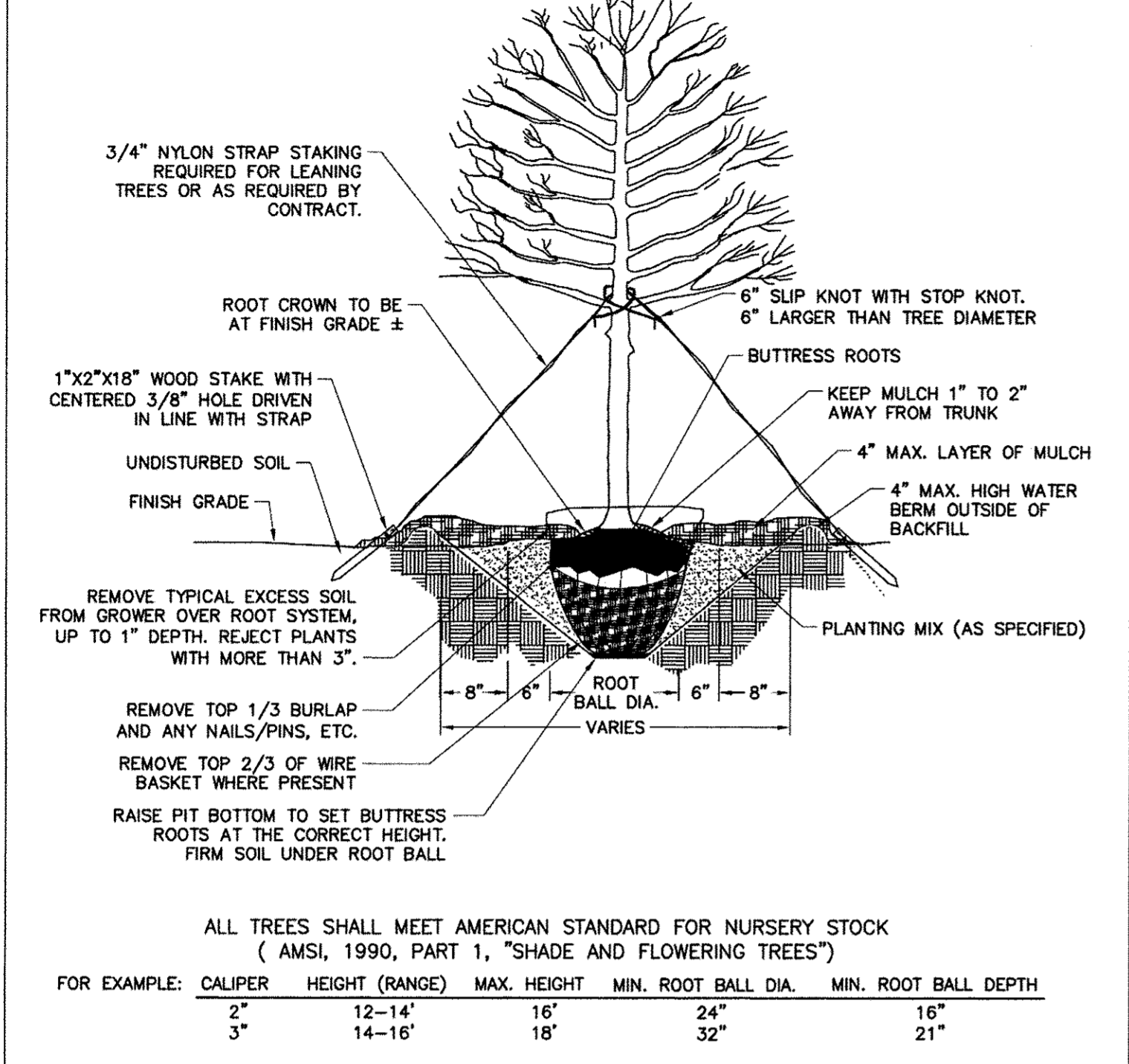
ORGANIC CONTENT	CLAY CONTENT	pH VALUE
2% MINIMUM	60% MAXIMUM	6.6-5



DETAIL L2-8 SHRUB PLANTING

NOTES:

- REMOVE WIRE OR NYLON TWINE FROM BALL.
- SOAK ROOT BALL AND PLANT FIT IMMEDIATELY AFTER INSTALLATION.

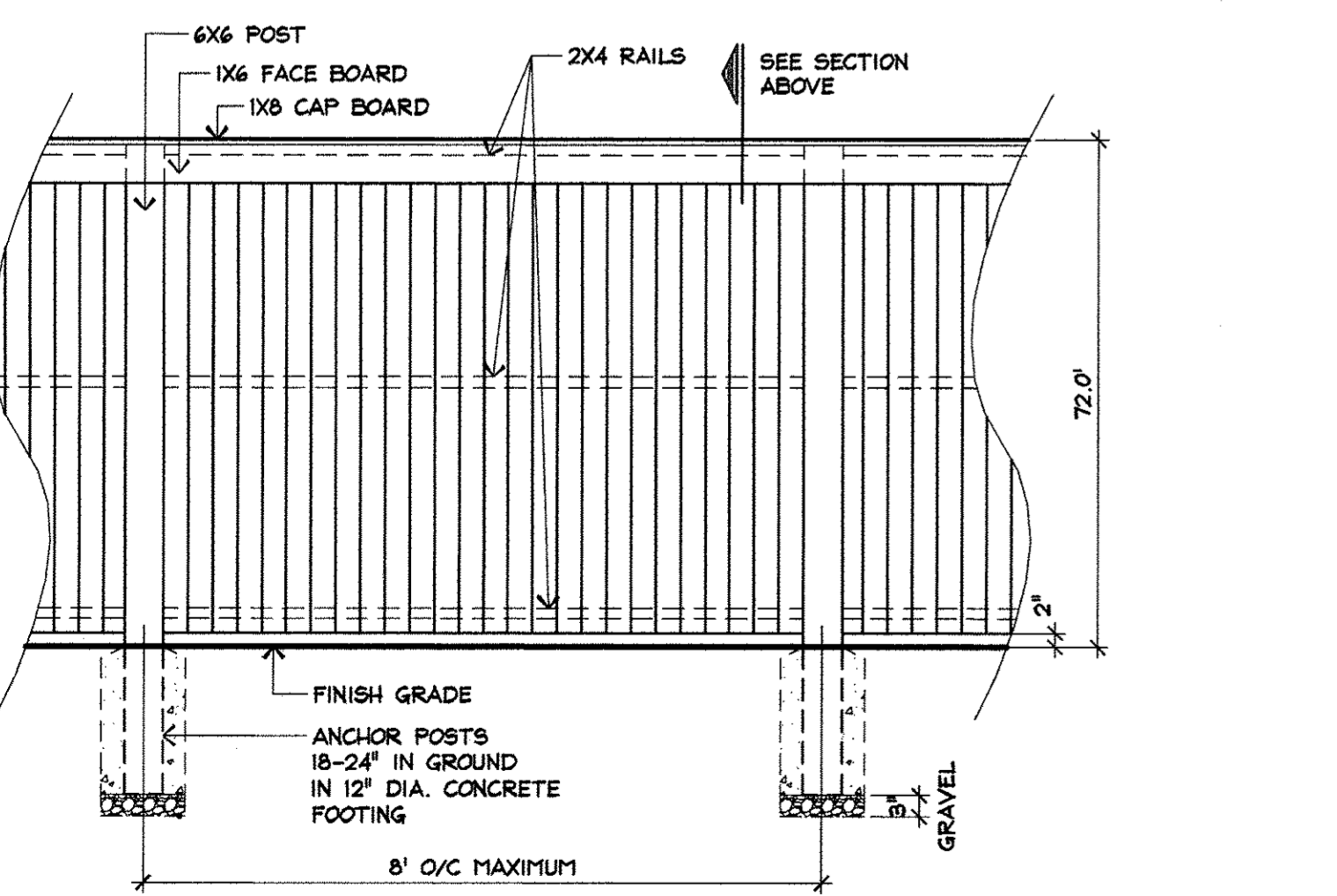
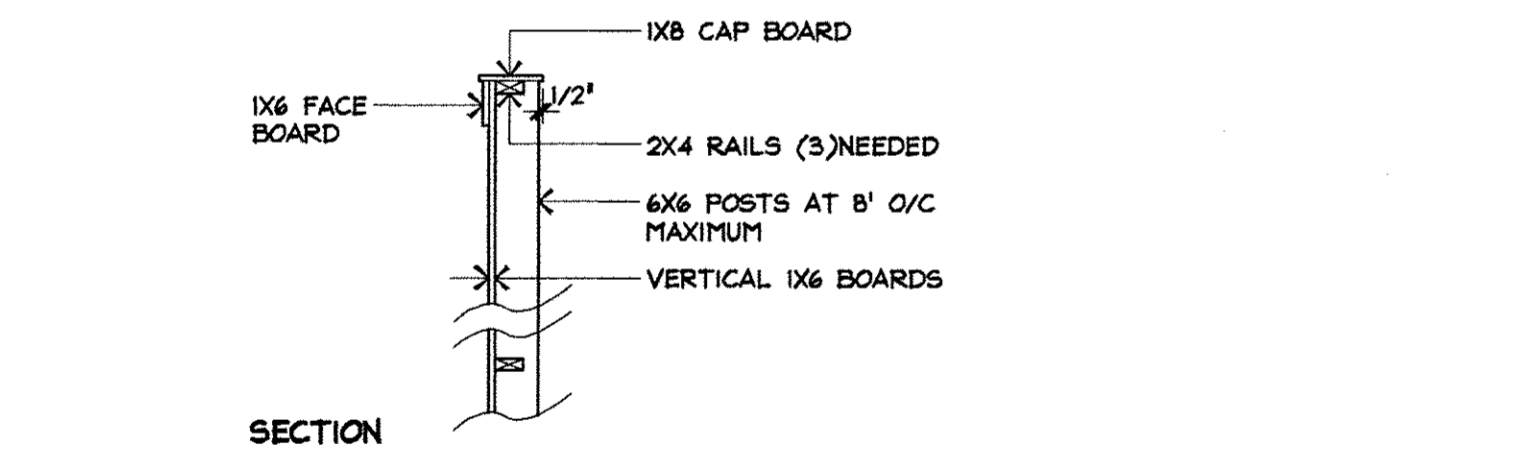


ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (AMSI, 1990, PART 1, "SHADE AND FLOWERING TREES")

FOR EXAMPLE: CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
2"	12-14'	16'	24"	16"
3"	14-16'	18'	32"	21"

REVISIONS	DATE	DESCRIPTION	STD. NO.

TOWN OF KNIGHTDALE STANDARD DETAILS



NOTE: ALL TIMBER SHALL BE PRESSURE TREATED FOR GROUND CONTACT .40 PCF (ALKALINE COPPER). STAIN AS SELECTED BY OWNER.

DETAIL L2-10 WOOD FENCE  
1/2" = 1'-0"

8625 KNIGHTDALE BOULEVARD  
KNIGHTDALE, NORTH CAROLINA 27545

Proj. RLP  
Coord.  
Date: 4/9/15  
Revisions: 4/29/15  
6/1/15  
6/30/15

a. Town Certification. This design has been reviewed by the Engineer for use Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: [Signature] Date: 7/31/2015  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: [Signature] Date: 6.25.15  
Administrator

SEARS DESIGN GROUP, P.A.  
LANDSCAPE ARCHITECTS  
625 W. Jones Street Raleigh, NC 27603  
(919) 852-7000 Fax (919) 852-8140  
Email: searsdesign@searsdesigngroup.com

Sheet No. L2  
Of 2



July 14, 2015

Town of Knightdale  
 Attn: Jennifer Currin  
 950 Steeple Square Ct  
 Knightdale, NC 27545

Re: Tansky Site Plan Submittal  
 Sidewalk Fee-in-Lieu Estimate

To Ms. Currin,

Below is an outline for the sidewalk fee-in-lieu estimate for the Tansky site plan submittal. The sidewalk extends across the length of the front of the property with a five foot sidewalk width. The proposed estimate amounts to a total of \$7,962.48.

We trust the enclosed information meets your needs for final site plan submittal and approvals. If you should have any questions, please do not hesitate to contact me at 919-741-6185.

### **Fee In-Lieu - Sidewalk Cost Estimate**

***Location: 8625 Knightdale Blvd., Knightdale, NC 27545***

***General Specs: 5' wide sidewalk, 341.8 linear feet***

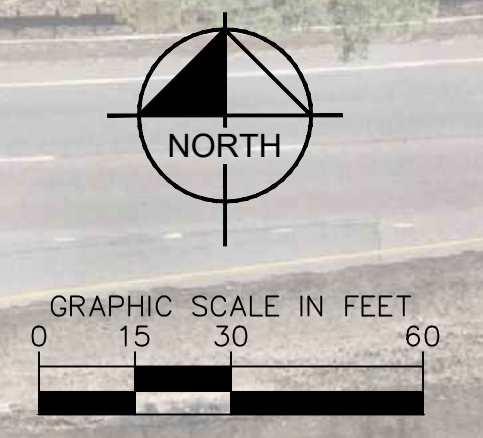
	<u>Quantity</u>	<u>Unit Price</u>	<u>Unit</u>	<u>Total Cost</u>
Rough Grading (utilizing existing grade with a balanced cut/fill)	89.2	\$6.50	CY	\$579.70
Fine Grading	190.6	\$5.00	SY	\$952.78
Form and pour two (2) stamped ADA handicap ramps	2	\$650.00	EA	\$1,300.00
Materials & Labor	1710	\$3.00	SF	<u>\$5,130.00</u>
<b>TOTAL COST ESTIMATE:</b>				<b>\$7,962.48</b>

Sincerely,

**J. Harrison Ellinwood PE, LEED AP**  
*Principal - Ellinwood Design Associates, PLLC (EDA)*



Plotted By: Barnes, Michael  
 Sheet Set: Holly Springs Retail - Layout: Layout1 - October 22, 2024 - 09:32:43am - K:\BAL\_LDEV\016596000\_8625\_Knightdale Blvd\15\_CAD\_Files\Exhibits\2024-10-21\_Parking.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



No.	REVISIONS	DATE	BY

**Kimley»Horn**

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000  
 WWW.KIMLEY-HORN.COM

KHA PROJECT  
016596000  
 DATE  
10/21/2024  
 SCALE AS SHOWN  
 DESIGNED BY: MDB  
 DRAWN BY: MDB  
 CHECKED BY: COB

**KNIGHTDALE HOLDINGS, LLC.**  
 8625 KNIGHTDALE BLVD  
 KNIGHTDALE NORTH CAROLINA

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**PRELIMINARY SITE LAYOUT**

SHEET NUMBER  
**PSL-1**