

Project Overview

#1083040

Project Title: Ample Storage Expansion

Jurisdiction: Town of Knightdale

Application Type: Conditional District Rezoning (Full)

State: NC

Workflow: Conditional District Rezoning: Master Plan (Step 2)

County: Wake

Project Contacts

Contact Info: Applicant

Terry Wethington
Lampe Management
225 E. Peedin Rd
Smithfield, NC 27577
P:252-640-2664
terryw@lampemanagement.com

Contact Info: Property Owner

Terry Wethington
Lampe Management
225 E. Peedin Rd
Smithfield, NC 27577
P:252-640-2664
terryw@lampemanagement.com

Contact Info: Engineer

Matthew Prokop
Rivers & Associates, Inc.
6131 Falls of Neuse Road, Suite 300
Raleigh, NC 27609
P:(919) 848-3347
mprokop@riversandassociates.com

Please indicate which of the following contacts should be included in this project.: Engineer

Project Location

Project Address:

- 6839 KNIGHTDALE BLVD, KNIGHTDALE, NC 27545
- 1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545

PIN: 1744868623

Total Acreage: 2.01

Project Description

Brief Description of Project:

Ample Storage Center, located at 6839 Knightdale Blvd, desires to expand their existing facility on the north end of their property (Parcel # 1744868623). Enclosed is the Sketch Plan for review.

The existing facility was developed in two phases. Phase 1 is located at 1107 Great Falls Ct and includes the more traditional one-story exterior storage units. Phase 2 is located at 6839 Knightdale Blvd and includes a multi-story mini-storage building. The proposed development will be the construction of one 29,280 sf, 3-story indoor mini-storage facility (87,840 sf total floor area) at the rear of the property, abutting TRW Electric Supply and the Wake Stone Corporation quarry.

The project area is currently wooded. No other environmental features are present on site. Proposed development is consistent with the existing development on the same parcel. The project area is bounded on two sides by the existing quarry and a third side by the existing on-site development. The final side adjoins TRW Electric Supply and will include preservation of the existing wooded area as part of the requisite screening buffer. The existing and proposed tree lines are shown on the Natural Resources Sketch Plan.

The proposed development will be accessed via the existing Phase 1 entrance at the end of Great Falls Ct. The proposed use will likely not increase traffic demand along the street significantly, and will not require any additional public infrastructure outside of fire protection.

Given that the proposed development matches the existing development on site, and given the adjacent land use and site location, the proposed indoor mini-storage facility fits within the spirit of the Knightdale Comprehensive Plan. Detailed reasonings are discussed below.

Applicant seeks to request a variance pertaining to UDO 6.4 and UDO 6.12. Applicant has attached proposed building elevations and a depiction of the visible effects on neighboring properties to illustrate the non-offensive nature of the requested variance once required vegetative buffers are accounted for. Applicant intends on requesting this variance from the Town Council.

Project Location Data

Inside Corporate Limits: Yes
Proposed Land Use (General):
Manufacturing/Wholesale/Storage

Current Land Use: Manufacturing/Wholesale/Storage
Current Zoning: MI - Manufacturing and Industrial

Residential Information

Does this project include a residential component?: No
Number of Townhome Lots:
Total Number of Proposed Residential Lots: 0
Number of alley loaded lots:

Proposed Density:
Number of Detached Single Family Lots:
Number of Multi-Family/Apartments Units:
Number of front loaded lots:

Please Note: Knightdale's Unified Development Ordinance has unique regulations pertaining to mass grading and landscape preservation. Please consult the UDO regulations below to ensure your proposed project meets the requirements.

As outlined in **UDO Chapter 9.3: Residential Clearing & Grading**, mass grading is prohibited except where residential lots are less than 60 feet in width.

As outlined in **UDO Chapter 7.4.H: Tree Protection**, there are requirements for landscape preservation, tree save areas, protection measures, and replacement specifications.

Non-Residential Information

Does this project include a non-residential component?:
Yes

Total Number of Proposed Non-Residential Lots: 1

Total Number of Non-Residential Buildings: 1

If your project contains more than three buildings, please upload total proposed square footage information as part of your project documents.

Building #1 Square Footage: 29280

Building #2 Square Footage:

Building #3 Square Footage:

Please Note: Knightdale's Unified Development Ordinance has unique regulations pertaining to landscape preservation. Please consult the UDO regulations below to ensure your proposed project meets the requirements.

As outlined in **UDO Chapter 7.4.H: Tree Protection**, there are requirements for landscape preservation, tree save areas, protection measures, and replacement specifications.

Utility & Stormwater Information

Proposed Water Supply: N/A

Proposed Wastewater Supply: N/A

How will stormwater management be addressed?: New System or Device

Does the proposed development anticipate the addition or extension of public streets?: No

Description of Public Utility Connection (Water Supply):

Description of Public Utility Connection (Wastewater Supply):

New Device Type: Bioretention Area

Does the parcel(s) contain any of the following environmental/natural features?: N/A

Neighborhood Meeting Information

Please Note: A full Neighborhood Meeting Report is a required element of this application. The questions below must answered and are not a substitution for providing a full report, as outlined in the application checklist.

Date of Mailed Notification: 04/02/2024

Date of Neighborhood Meeting: 04/11/2024

Number of Property Owners Contacted: 13

Number of Residents in Attendance: 0

Provide a brief summary of the meeting, including any issues or concerns that were discussed.:

With zero attendance, no issues were presented at the meeting.

Verbal agreement was obtained from owner of Wake Stone Corp prior to meeting. Issue was pertaining to maintenance of a screening buffer.

Comprehensive Plan Consistency

Current 2035 Comprehensive Plan Placetype Designation: Retail

Provide brief statements regarding whether the rezoning request is consistent with the Growth Framework designation, Growth & Conservation Placetype, and any applicable policies contained within the 2035 Comprehensive Plan.:

Though the parcel does face Knightdale Blvd, the project area will be accessed via Great Falls Ct, which is neither a high-volume road, nor has a key intersection. Retail development at the end of a cul-de-sac could potentially increase traffic demand past what the existing street could handle.

UDO Consistency

Please Note: All standards and requirements of the corresponding Base/General District must be met, except to the extent that the conditions imposed are more restrictive than those standards. If a Conditional District is required per UDO Ch. 3, certain UDO standards may be decreased or modified.

Proposed Base Zoning District: MI - Manufacturing and Industrial

Project Type: New Construction or Site Development

UDO Building Type: Manufacturing

Explain how the project is consistent with the Unified Development Ordinance:

Project is a continuation of the exiting use on the same parcel.

List all requested Land Use Categories to be permitted within the Conditional District. :

Water Allocation Policy Compliance

Please Note: Connection to municipal water requires compliance with the [Water Allocation Policy](#). Projects must be awarded 50 points or more to merit water allocation. Specific information regarding policy compliance must be included in the Master Plan submittal.

Land Use Category: 30 pts- All Other Uses Not Categorized

Base Points: 30

Bonus Points: 0

Total Points Proposed: 30

Ample Storage Center
6839 Knightdale Blvd
Knightdale, NC 27545
Proposed Indoor Self Storage
Proposed +/-27,346 SF, 3-Story Indoor Self-Storage Building
Master Plan Submittal
Comprehensive Plan Consistency
May 21, 2024

General Narrative

Ample Storage Center, located at 6839 Knightdale Blvd, desires to expand their existing facility on the north end of their property (Parcel # 1744868623). Enclosed is the Sketch Plan for review. This project will require rezoning the entire parcel from a combination of HB-CD to MI-CD.

The existing facility was developed in two phases. Phase 1 is located at 1107 Great Falls Ct and includes the more traditional one-story exterior storage units. Phase 2 is located at 6839 Knightdale Blvd and includes a multi-story mini-storage building. The proposed development will be the construction of one 29,280 sf, 3-story indoor mini-storage facility (87,840 sf total floor area) at the rear of the property, abutting TRW Electric Supply and the Wake Stone Corporation quarry.

The project area is currently wooded. No other environmental features are present on site. Proposed development is consistent with the existing development on the same parcel. The project area is bounded on two sides by the existing quarry and a third side by the existing on-site development. The final side adjoins TRW Electric Supply and will include preservation of the existing wooded area as part of the requisite screening buffer. The existing and proposed tree lines are shown on the Natural Resources Sketch Plan.

The proposed development will be accessed via the existing Phase 1 entrance at the end of Great Falls Ct. The proposed use will likely not increase traffic demand along the street significantly, and will not require any additional public infrastructure outside of fire protection.

Given that the proposed development matches the existing development on site, and given the adjacent land use and site location, the proposed indoor mini-storage facility

fits within the spirit of the Knightdale Comprehensive Plan. Detailed reasonings are discussed below.

Growth Framework Map Consistency

The site is located within existing town limits. The project area is described as a 2-acre section of a 7-acre parcel (zoned MI). Existing development on the property includes 95,600 sf of self-storage (Mini-Warehouses).

The nature of this development will not increase any water/sewer demand to the town. Furthermore, any impact to traffic flow will be negligible.

Though the parcel does face Knightdale Blvd, the project area will be accessed via Great Falls Ct, which is neither a high-volume road, nor has a key intersection. Retail development at the end of a cul-de-sac could potentially increase traffic demand past what the existing street could handle.

Growth & Conservation Map Consistency

The site is located within a Retail place type category. Adjacent land uses, along with the designated place type from the published map are as follows:

- Site: Ample Storage (Retail)
- North & West: Wake Stone Corporation – Knightdale Quarry (Heavy Industrial).
- Northeast: TRW Electric and Supply Company (Retail).
- East: Auto DRS (Light Industrial)
Tractor Supply Company (Retail)
- Southeast: Knightdale Pediatrics (Retail).

The growth map designates the property for commercial development (retail). The parcel is currently split between HB-CD and MI zoning. The proposed development will require a rezoning for the property to bring current use into full compliance. By rezoning the property, the entire parcel will be in compliance with the UDO.

The proposed development will also include a public gathering space which will provide the neighboring properties with an amenity which will be infrequently (if ever) used by the site's future customers and potentially could be used by customers/employees of the neighboring businesses.

Given the location and surrounding uses, the proposed office development is consistent with and promotes the vision of the Growth & Conservation Map.

Trails & Greenways Map Consistency / Pedestrian Access

The site is not located adjacent to any existing or proposed trails, greenways, bicycle routes, parks or open space located within or adjacent to the site, it is consistent with the Trails & Greenways Map.

The existing sidewalk along Knightdale Blvd will be converted to a 10' multi-use path.

Street Network Map Consistency

Existing development abuts Knightdale Blvd (NCDOT arterial) and Great Falls Ct. Development will be accessed via the exiting driveway at the end of the cul-de-sac on Great Falls Ct (city). The proposed development (mini-warehouses) will not significantly increase the number of trips along Great Falls Ct. Due to the nature of both the existing and proposed development, pedestrian and bike traffic will be very minimal, if ever. Any increase in vehicular traffic will not pose any risks to either group. The proposed development is consistent with the street network plan.

Transit Network

Though the project area is not located along any planned transit route, the existing office area for the site is located along Knightdale Blvd. The front of the property is two parcels away from an existing GoRaleigh bus stop. The proposed 10' multi-use path will assist pedestrians/cyclists who desire to make use of the current bus stop. The addition of artwork along the Knightdale Rd frontage will also make the property more pedestrian/cycling friendly.

Focus Area Studies

The project area is not located within any existing Focus Area Study.

Water Allocation

As the proposed development is an expansion of the existing mini-storage facility, no new office/residential facilities are included. Customers will have access to bathroom facilities in the Phase 2 building. No water connections will be used to provide any janitorial services. Submitted plans show only a fire line as part of development. No water demand will be needed to be allocated for the proposed development.

Requested Variance

As part of the rezoning process, a need for a relaxation of buffer yard rules was discovered. To protect both the site owner/customers and the general public, a 26' fire lane will need to be installed circling the proposed building. To protect the safety of customers, the owner wishes to install a grass-paver fire lane to discourage access by the public. This also adds a benefit to the general public by not allowing folks to access a blind dead-end driveway for nefarious purposes.

Though the fire lane will not be hard-surface, it does still constitute a drive aisle per UDO. This will cause an encroachment along into the required 20-ft buffer along the north side of the property. To mitigate this encroachment, additional vegetation will be planted, both in the vicinity of the encroachment, and along the proposed parking area. In addition, public art work will be installed along Knightdale Blvd.

CIVIL ENGINEER

Rivers & Associates, INC.
Greenville, NC



107 East Second Street
Greenville, NC 27858
(252) 752-4135

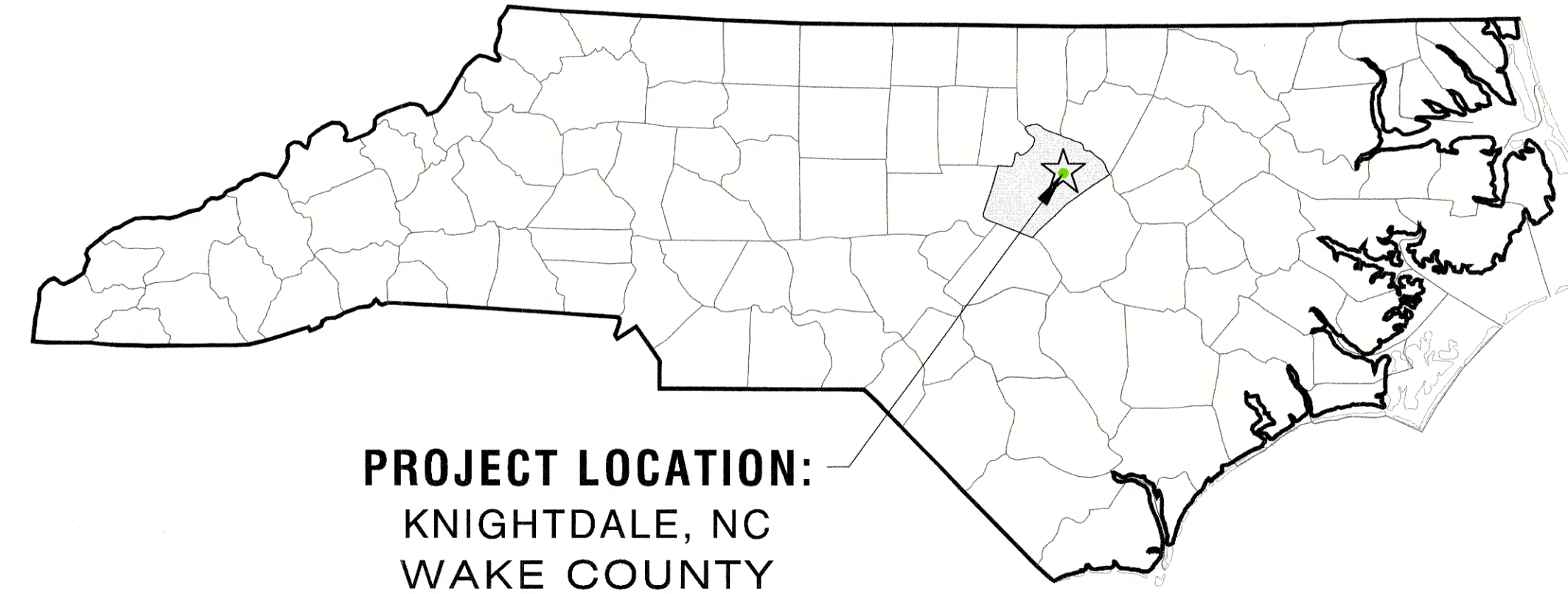
Contact: MATTHEW J. PROKOP, PE
mprokop@riversandassociates.com

OWNER/DEVELOPER

AMPLE STORAGE LAKE
WORTH LLC

P.O. BOX 608
SMITHFIELD, NC 27577-0608

Contact: TERRY WETINGTON
(252) 670-2664
terryw@lampmanagement.com



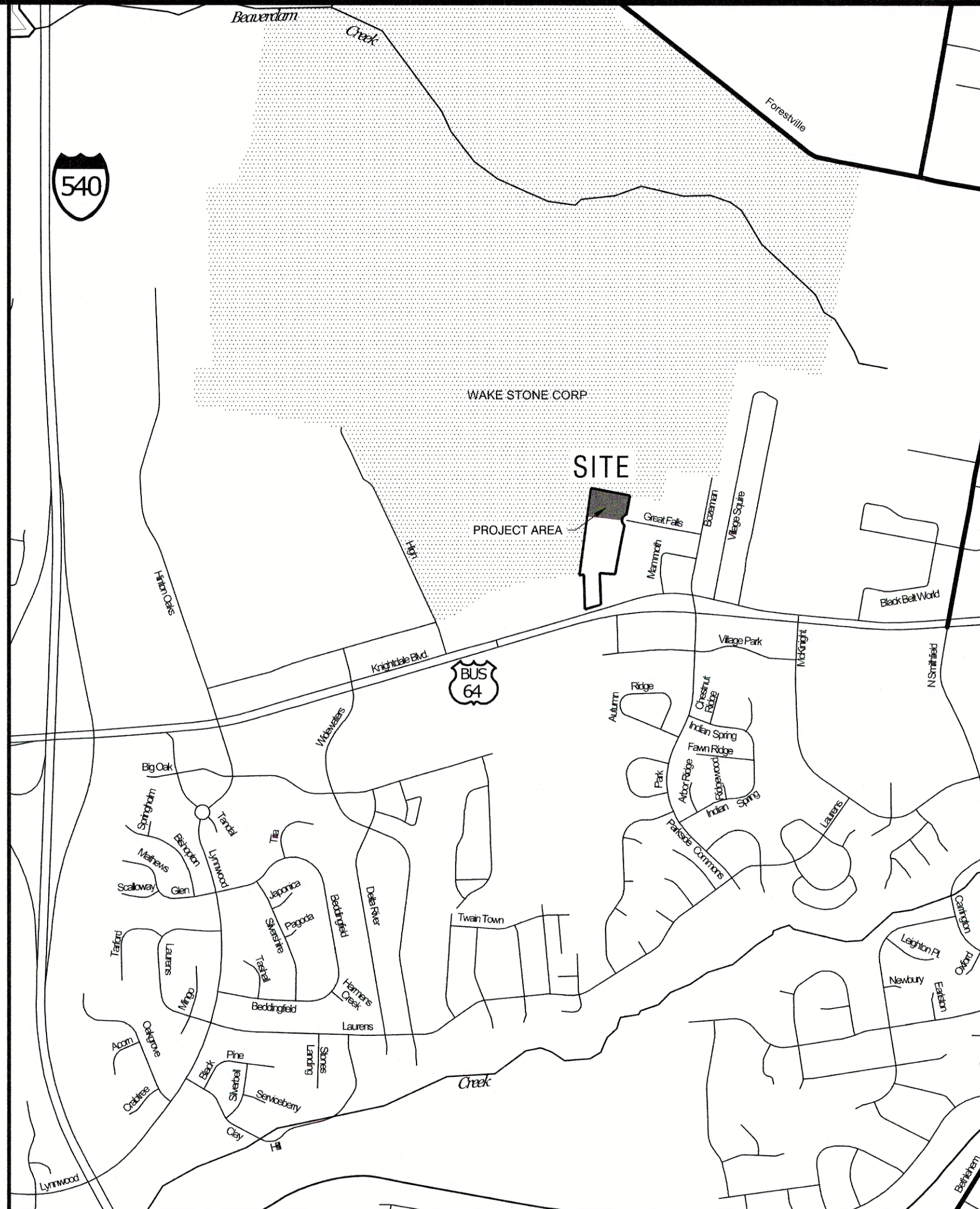
PROJECT LOCATION:
KNIGHTDALE, NC
WAKE COUNTY



MASTER PLAN (TOK Project # ZMA-5-23)
**AMPLE STORAGE
EXPANSION**

REVISIONS:			
NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	09/23/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	08/21/24	

SITE DATA	
SITE ADDRESS PHASE 1:	1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545
SITE ADDRESS PHASE 2:	6839 KNIGHTDALE BLVD. KNIGHTDALE, NORTH CAROLINA 27545
MUNICIPALITY:	ST. MATTHEWS
PARCEL NO.:	1744868623
DEED REFERENCE:	DB 15706, PG 63
AREA IN SITE:	6.98 ACRES (+/- 303,818 SF)
EXISTING USE CLASS./ZONING:	GENERAL COMMERCIAL - HB/MI
PROPOSED USE CLASS./ZONING:	MINI-WAREHOUSES - HB/MI-CD
WATERSHED:	27-29: BEAVERDAM CREEK
RECEIVING STREAM:	C, NSW
TOTAL BUILDING SQUARE FOOTAGE:	95,640 SF EXIST + 87,840 NEW = 183,480 TOTAL SF
BUILDING HEIGHT:	EXISTING = 1 @ 30' (3-STORY), 7 @ 10' (1-STORY) PROPOSED = 30' (3 STORY)
TOTAL NUMBER OF STORAGE UNITS:	EXISTING = ~750 PROPOSED = 977
IMPERVIOUS AREA	
EXISTING BUILDINGS FOOTPRINT:	62,611 SF
EXISTING CONCRETE:	4,197 SF
EXISTING ASPHALT PARKING:	87,965 SF
TOTAL EXISTING IMPERVIOUS AREA:	154,773 SF (3.55 ACRE)
EXISTING:	50.9 %
PROPOSED BUILDING FOOTPRINT:	
PROPOSED CONCRETE:	29,280 SF
TOTAL PROPOSED IMPERVIOUS AREA:	15,752 SF
EXISTING:	45,0325F (1.03ACRES)
TOTAL IMPERVIOUS AREA:	
TOTAL POST DEVELOPMENT:	199,805 SF (4.59 ACRES)
EXISTING:	65.8 %
PARKING SUMMARY	
EXISTING REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF(95,645 SF) = 23.9 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM() = 12 SPACES
PROPOSED REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF(87,840 SF) = 22 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM() = 11 SPACES
TOTAL PARKING SPACES REQUIRED:	23
TOTAL EXISTING PARKING SPACES:	12
NEW PARKING SPACES REQUIRED:	11
NEW PARKING SPACES PROVIDED:	17
TOTAL PARKING SPACES PROVIDED:	29
EXISTING H/C PARKING SPACES:	2
H/C PARKING SPACES REQUIRED:	1
TOTAL H/C PARKING SPACES PROVIDED:	3
TOTAL BICYCLEPARKING REQUIRED:	2
TOTAL BICYCLEPARKING PROVIDED:	2



Vicinity Map
SCALE: 1" = 1000'

SHEET INDEX	
Sheet Number	Sheet Title
C1.01	COVER SHEET
C1.11	BOUNDARY SURVEY
C1.12	NATURAL RESOURCES MASTER PLAN
C1.21	EXISTING CONDITIONS OVERALL
C1.22	EXISTING CONDITIONS - PROJECT AREA
C2.01	MASTER PLAN OVERALL
C2.10	MASTER PLAN - PROJECT AREA
C2.51	SITE DETAILS
C2.52	DRAFT BUILDING ELEVATIONS
C3.01	UTILITY PLAN
C4.01	GRADING & STORMWATER MANAGEMENT PLAN
C4.02	STORMWATER DETAILS
C5.01	SEDIMENTATION & EROSION CONTROL PLAN
C5.11	SEDIMENTATION & EROSION CONTROL NOTES
C5.21	SEDIMENTATION & EROSION CONTROL DETAILS
C5.22	SEDIMENTATION & EROSION CONTROL DETAILS
C6.41	PAVEMENT MARKING, SIGNAGE & TRAFFIC CONTROL PLAN
L1.01	LANDSCAPING PLAN
L2.01	LANDSCAPING DETAILS
SL1.01	LIGHTING DETAILS
SL1.02	SITE LIGHTING PLAN

GENERAL NOTES:

- PROPOSED USE (MINI-WAREHOUSES) WILL REQUIRE CONDITIONAL DISTRICT REZONING PER UDO SECTION 3.1.C.6.1
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE TOWN OF KNIGHTDALE AND THE ENGINEER.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS.
- CONTRACTOR MUST NOTIFY ONE CALL CENTER, INC (NC ONE CALL) 1-800-632-4949 AT LEAST 72 HOURS PRIOR TO THE START OF EXCAVATION OR TRENCHING TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
- CONTACT TOWN OF KNIGHTDALE AT 919-217-2255 TO SCHEDULE PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR, PROJECT ENGINEER AND OWNER. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING ALL APPROPRIATE AUTHORITIES TO THE DATE OF SAID ACTIVITY.
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). THIS PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON FIRM PANEL NUMBER 3720174400K, DATED JULY 19, 2022.
- WETLANDS AND PONDS, IF PRESENT, ARE DENOTED ON THE SURVEY. NO IMPACTS TO WETLANDS ARE ANTICIPATED.
- PLEASE BE ADVISED TO OF THE RULES WHICH PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE AND TAR/PAMLICO RIVER BASINS. THIS RULE IS ENFORCED BY THE DIVISION OF WATER QUALITY (DWQ). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THIS RULE TO THE RALEIGH REGIONAL OFFICE. (919) 791-4200
- NEW BUILDINGS MUST COMPLY WITH NC FIRE CODE SECTION 510 - EMERGENCY RESPONDER RADIO COVERAGE. FIRE DEPARTMENT VEHICULAR ACCESS TO ALL STRUCTURES UNDER CONSTRUCTION SHALL BE PROVIDED AT ALL TIMES.
- CONTRACTOR TO FURNISH ALL PAVEMENT MARKINGS AS SHOWN.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE POINTS.
- SITE LIGHTING IS TO BE INSTALLED WITH COORDINATION BETWEEN CONTRACTOR, OWNER/DEVELOPER AND DUKE ENERGY.
- COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/S.S. PERMITS, ETC.
- OUTDOOR STORAGE IS PROHIBITED PER UDO SECTION 5.7.G.1.
- WATER ALLOCATION POLICY COMPLIANCE: NEW DEVELOPMENT WILL ONLY INCLUDE A FIRE LINE. NO DOMESTIC SERVICE IS NEEDED.
- PROPERTY WILL NOT BE SUBDIVIDED

OWNER CONTACT INFO UPDATED
-TOK PROJ # ADDED
-SITE DATA TABLE UPDATED
-GENERAL NOTED UPDATED
3 SETP 24

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator

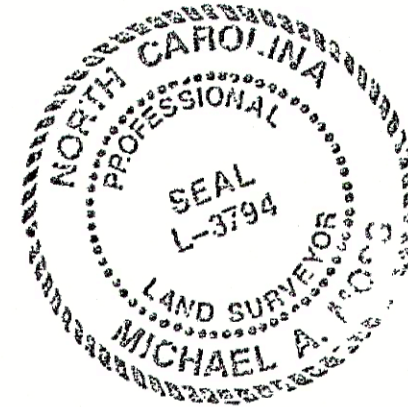
IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN THESE CONSTRUCTION DRAWINGS AND THE TOWN OF KNIGHTDALE'S APPROVED STANDARDS FOR THIS PROJECT, THE APPROVED STANDARDS SHALL CONTROL. TOWN OF KNIGHTDALE APPROVED STANDARDS SHALL MEAN ALL DEVELOPMENT DOCUMENTS NECESSARY FOR APPROVAL FOR THE PROPERTY INCLUDING, BUT NOT LIMITED TO, ANY SPECIAL USE PERMIT, SUBDIVISION PLAN, SITE PLAN, SUBDIVISION PLAT(S), PHASING SCHEDULE, DEVELOPMENT AGREEMENT, UTILITY ALLOCATION AGREEMENT, ANNEXATION AGREEMENT, THE TOWN OF KNIGHTDALE STANDARD SPECIFICATION AND DETAILS MANUAL AND APPLICABLE PROVISIONS OF THE NORTH CAROLINA STATE BUILDING CODE.

Professional Design Engineer Certification. These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale.
I, _____ PE, certify that the Standard Specifications of the Town of Knightdale have been thoroughly checked and found to be applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightdale and said exceptions are shown on Sheet(s) _____ of these drawings.
Scale By: _____ PE
Date: _____

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWPSP. - WAKE CO. - NORTH CAROLINA
COVER SHEET

DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: AS NOTED
SHEET No. **C1.01**

I, MICHAEL A. MOSS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE SOURCE OF INFORMATION FOR THE SURVEY IS SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED; THAT THE RATIO OF PRECISION IS GREATER THAN 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL.



THIS 24th DAY OF JANUARY, 2017.
Michael A. Moss
 PROFESSIONAL LAND SURVEYOR (L-3794)

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF KNIGHTDALE, AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, PRESERVE AND PROTECT ALL SOILS AND VEGETATION IN THE TREE PROTECTION AREAS AS REQUIRED IN SECTION 8.5 OF THE TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE, PLANT SUPPLEMENTARY OR REPLACEMENT TREES AS REQUIRED, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS, TO PUBLIC OR PRIVATE USES AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL SANITARY SEWER, STORM SEWER, AND WATER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE CITY OF RALEIGH, AND I HEREBY DEDICATE ALL STORM SEWER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE TOWN OF KNIGHTDALE.

1-25-2017 *Ample Storage Lake Worth LLC*
 DATE OWNER(S)

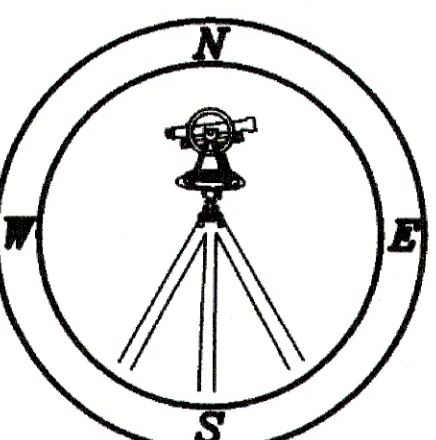
I, *Patricia D. Hildreth*, DO HEREBY CERTIFY THAT *Guy Lampe*, PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE DUE EXECUTION OF THIS CERTIFICATE. WITNESS MY HAND AND (WHERE AN OFFICIAL SEAL IS REQUIRED BY LAW) OFFICIAL SEAL THIS 25th DAY OF Jan., A.D., 2017 (YEAR)

Patricia D. Hildreth
 NOTARY
 09/27/2021
 COMMISSION EXPIRES

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN IS EXEMPT FROM THE SUBDIVISION PROVISIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND IS THEREFORE EXEMPT FROM ITS PROVISIONS. THE PLAT HAS BEEN FOUND TO COMPLY WITH THE ZONING REGULATIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND HAS BEEN APPROVED BY THE TOWN OF KNIGHTDALE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY.

2/10/17 *ATG*
 DATE ADMINISTRATOR, TOWN OF KNIGHTDALE

REVIEW OFFICER CERTIFICATION
 STATE OF NORTH CAROLINA, COUNTY OF WAKE
 I, *Jennifer Corrin*, REVIEW OFFICER OF WAKE COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL THE STATUTORY REQUIREMENTS FOR RECORDING.
 2.10.17 *Jennifer Corrin*
 DATE REVIEW OFFICER, TOWN OF KNIGHTDALE, WAKE COUNTY



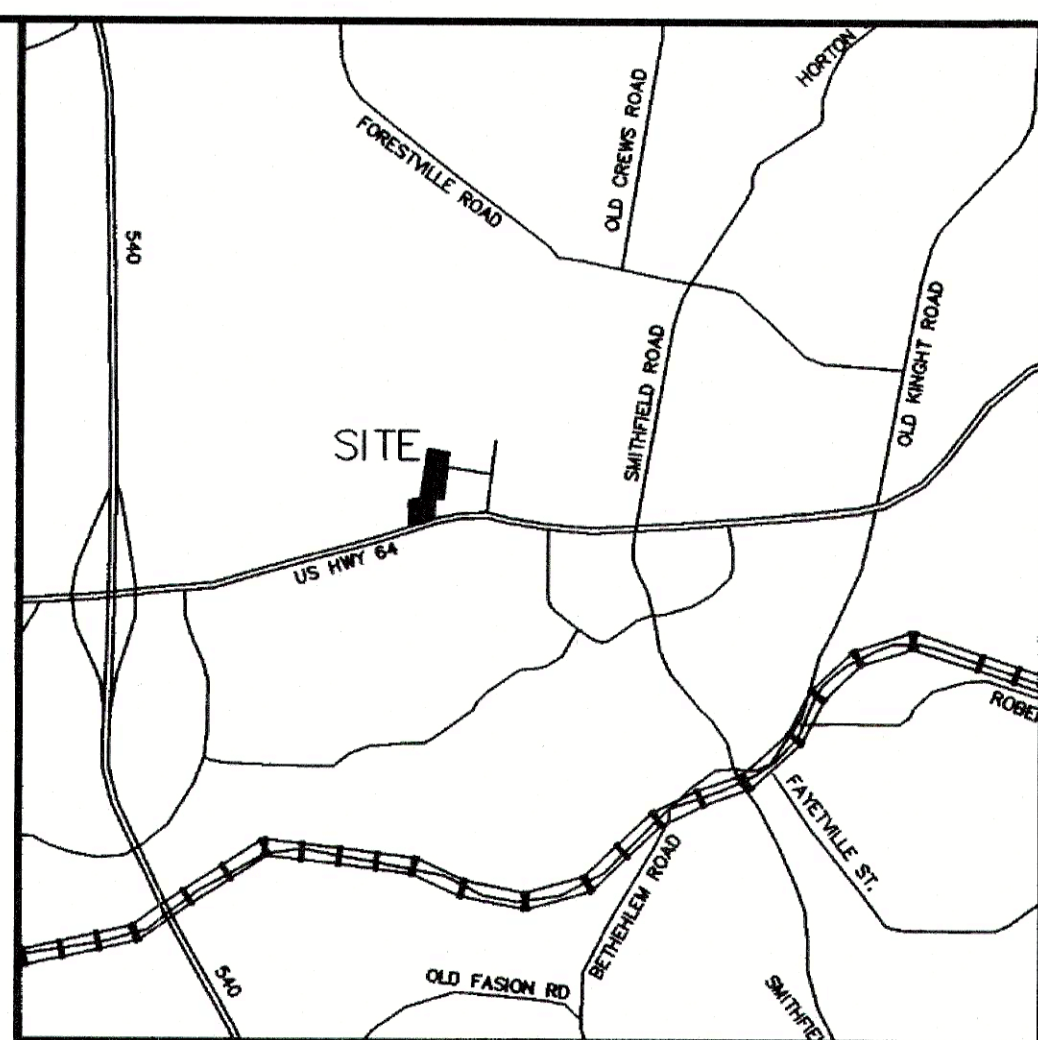
CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148

LINE TABLE

LINE	LENGTH	BEARING
L-1	141.12'	N 85°53'01" W
L-3	42.02'	N 84°35'44" E
L-4	58.39'	N 39°38'36" W

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	61.61'	55.00'	58.44'	S 42°54'26" W
C-2	61.51'	55.00'	58.36'	S 21°13'27" E

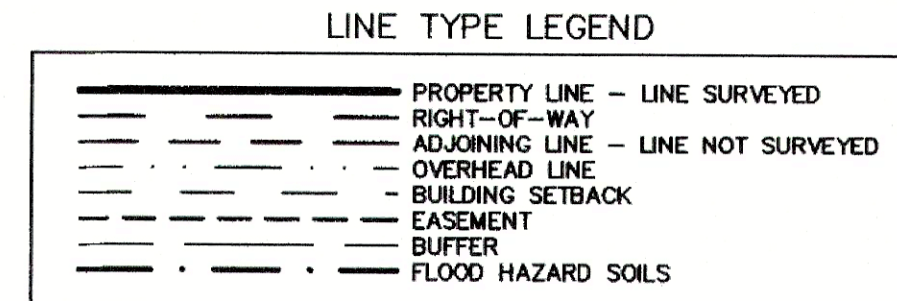


VICINITY MAP

EASEMENT LINE TABLE

LINE	LENGTH	BEARING
EL-1	10.34'	N 73°31'12" E
EL-2	95.34'	N 01°43'54" W
EL-3	53.04'	N 22°31'01" E
EL-4	104.59'	N 01°36'11" W
EL-5	51.82'	N 68°07'32" E
EL-6	63.07'	N 85°13'41" E
EL-7	53.22'	S 01°46'35" E
EL-8	91.85'	N 84°35'44" E
EL-9	51.25'	S 00°17'28" W
EL-10	29.94'	S 68°07'32" W
EL-11	109.42'	S 01°36'11" E
EL-12	53.05'	S 22°31'01" W
EL-13	100.12'	S 01°43'54" E
EL-14	72.24'	S 01°36'11" E
EL-15	84.97'	S 26°13'12" E
EL-16	48.18'	S 01°55'22" W
EL-17	189.56'	S 06°03'46" W
EL-18	107.89'	S 06°03'46" W
EL-19	26.80'	S 83°17'45" E
EL-20	81.19'	S 06°41'32" W
EL-21	178.73'	S 08°27'21" W
EL-22	36.84'	S 03°38'40" W
EL-23	42.45'	S 01°55'22" W
EL-24	60.32'	S 26°13'12" E
EL-25	94.74'	S 01°36'11" E

LEGEND:
 EIP - EXISTING IRON PIPE
 EPK - EXISTING PK NAIL
 NIP - NEW IRON PIPE SET
 R/W - RIGHT OF WAY
 CATV - CABLE TV BOX
 EB - ELECTRIC BOX
 TEL - TELEPHONE PEDESTAL
 PP - POWER POLE
 OHL - OVERHEAD LINE
 LP - LIGHT POLE
 WM - WATER METER
 WV - WATER VALVE
 CO - SEWER CLEAN-OUT
 SCP - SECURITY CAMERA POLE



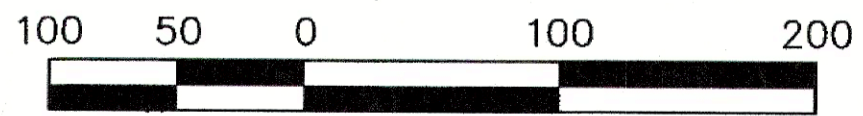
FINAL PLAT FOR NEW STORMWATER BMP MAINTENANCE & ACCESS

AMPLE STORAGE LAKE WORTH, LLC

OWNER: AMPLE STORAGE LAKE WORTH, LLC

REF: D.B. 15706 PAGE 63
 REF: B.M. 2005 PAGE 450
 REF: B.M. 2013 PAGE 683
 REF: B.M. 2015, PAGE 400

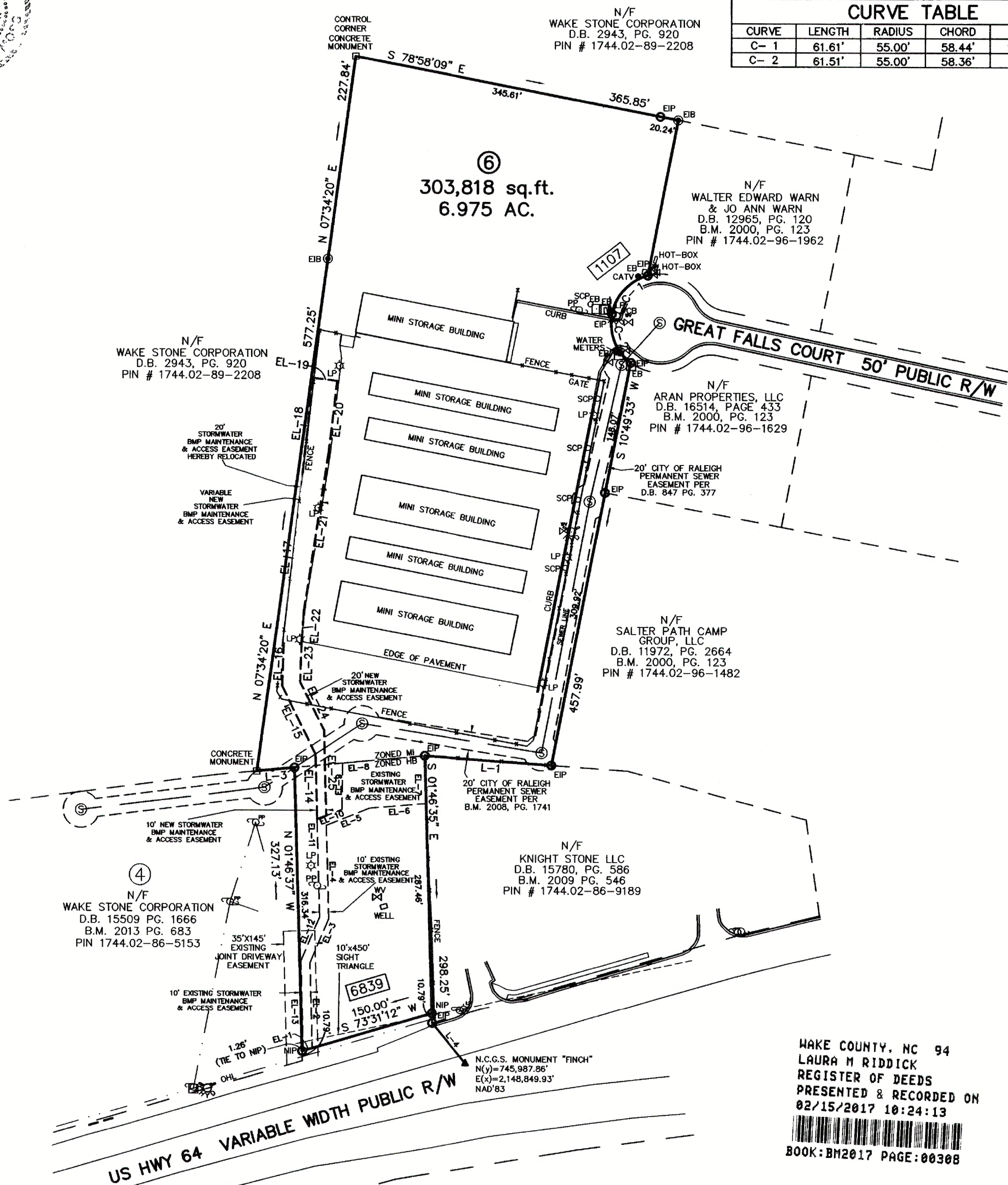
ST. MATTHEWS TOWNSHIP
 WAKE COUNTY, NORTH CAROLINA



SCALE 1"=100'

DECEMBER 15, 2014
 REVISED MAY 25, 2016
 REVISED DECEMBER 1, 2016
 REVISED JANUARY 16, 2017
 REVISED JANUARY 17, 2017

ZONED HB & MI
 PIN # 1744-86-8623
 EX-10-16
 ZCP-7-14



WAKE COUNTY, NC 94
 LAURA M RIDDICK
 REGISTER OF DEEDS
 PRESENTED & RECORDED ON
 02/15/2017 10:24:13
 BOOK: BM2017 PAGE: 00308

I, MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794, CERTIFY THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.
Michael A. Moss
 MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794

Rivers
 & ASSOCIATES, INC.
 ENGINEERS, PLANNERS & ARCHITECTS
 107 East Second Street
 Greenville, NC 27658
 (252) 752-4135

REVISIONS:

NO.	DATE	DESCRIPTION
3	09/23/24	MASTER PLAN COMMENTS
2	08/09/24	TOWN COUNCIL WORKSHOP
1	05/21/24	MASTER PLAN - FIRST SUBMITTAL

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
BOUNDARY SURVEY

DATE: MAY 22, 2024
 DESIGNED BY: MJM
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No: 2023008
 DRAWING No: W-4073-MP
 SCALE: NOT TO SCALE
 SHEET No:

C1.11

P:\LAND\LAKE WORTH\LAKE WORTH STG\KNIGHTDALE\2023008\CAD\DWG\SHEETS-MASTER PLAN\W-4073 SURVEY.DWG - LAYOUT1 - 8/30/2024 7:53:15 AM - MAT PRODP

P:\LANDDEV\LANPE-AMPE_516-KNIGHTDALE-202308\CADD, DWG\SHEETS-MASTER PLAN-W-4073 NATURAL RESOURCES.DWG - LAYOUT - 8/30/2024 11:11:58 AM - MAT PRODP

N/F
WAKE STONE CORPORATION
D.B. 12601, PG. 1144
PIN # 1744.02-79-9279
ZONE M0
USE TYPE SINGLFAM

S 78°58'36" E 365.85'
EX. WOODED AREA RETAINED VIA 10' BUFFER

FIRE LANE

N/F
AMPLE STORAGE LAKE WORTH LLC
D.B. 15706, PG. 63
PIN # 1744.02-86-8623
ZONE M
USE TYPE MINWHSE

N/F
WAKE STONE CORPORATION
D.B. 12601, PG. 1144
PIN # 1744.02-79-9279
ZONE M0
USE TYPE SINGLFAM

EX. WOODED AREA RETAINED VIA 10' BUFFER

LOBBY

RISER ROOM

LOBBY

ESTIMATED EXISTING TREE LINE

EX SHRUB TO BE RELOCATED ON SITE AS POSSIBLE

EX. STORAGE BUILDING

EX. OFFICE

EXISTING HEDGES RETAINED

EX. MINI STORAGE BUILDING

NEW TREE LINE

EX. WOODED AREA RETAINED VIA BUFFER

S 10°49'06" W 126.65'

ESTIMATED EXISTING TREE LINE

N/F
ARTISOFT HOLDINGS NC LLC
D.B. 18996, PG. 11847
PIN # 1744.02-96-1962
ZONE NMV
USE TYPE MULT TEN

S 42°54'11" W
CH. = 58.43
R. = 55.00

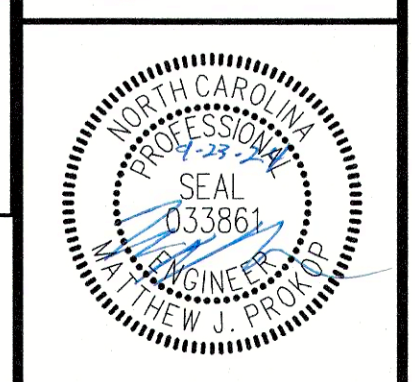
N 21°13'43" W
CH. = 58.37
R. = 55.00

N/F
ARAN PROPERTIES LLC
D.B. 16514
PG. 433
PIN # 1744.02-96-1629
ZONE NMV
USE TYPE FLEX WHSE

PRIORITY	TREE SAVE AREA	PROTECTION MEASURES
TIER 1	FLOODWAYS REQUIRED STREAM BUFFERS REQUIRED BUFFER YARD SLOPE AREAS GREATER THAN 25% WETLANDS	ALL VEGETATION AND SOIL TO REMAIN UNDISTURBED IN SOME CASES, LIMITED DISTURBANCE MAY OCCUR WITHIN THE AREAS TO BE PROTECTED PROVIDED ALL NECESSARY APPROVALS ARE OBTAINED. SUCH ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: 1. MITIGATION OF DEVELOPMENT ACTIVITIES. 2. RESTORATION OF PREVIOUSLY DISTURBED AREAS. 3. UTILITY INSTALLATIONS AND EMERGENCY PUBLIC SAFETY ACTIVITIES. 4. CONSTRUCTION OF A TRAIL OR PEDESTRIAN WALKWAY THAT WILL PROVIDE PUBLIC ACCESS. 5. REQUIRED STREET OR DRIVEWAY CONNECTIONS.
TIER 2	100 YEAR FLOODPLAINS FRONT SETBACK AREAS STREET TREE PLANTING STRIP RESIDENTIAL LANDSCAPING AREAS REQUIRED OPEN SPACE SLOPE AREAS OF 15-25%	ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE **
TIER 3	ALL OTHER LOCATIONS	ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE **

** REQUIRED STREET TREES, PARKING LOT LANDSCAPING, RESIDENTIAL LANDSCAPING AND BUFFER YARD
PLANTINGS MAY NOT BE COUNTED TOWARDS REPLACEMENT REQUIREMENTS.

NOTES: PER UDO SECTION 7.4.H.1 ALL TREES
GREATER THAN 24" DBH SHALL REMAIN
UNDISTURBED, OR REPLACEMENT TREES SHALL
BE PLANTED AT A RATE OF 1 TREE PER 12" DBH,
AND SHOULD BE INCORPORATED INTO OPEN
SPACE AMENITIES WHEREVER POSSIBLE.



Rivers
N.C. License #033861
PLANNERS & ASSOCIATES, INC.
Landscape Architects
Engineers
Planners
Architects
107 East Second Street
Greenville, NC 27858
(252) 752-4195

REVISIONS:

NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	09/23/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	08/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWPSP. - WAKE CO. - NORTH CAROLINA
NATURAL RESOURCES
MASTER PLAN

DATE: MAY 22, 2024

DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT No.	2023008
DRAWING No.	W-4073-MP
SCALE:	1" = 20'
SHEET No.	

811
CALL BEFORE YOU DIG!
WWW.NC811.ORG
N.C. ONE-CALL CENTER
IT'S THE LAW

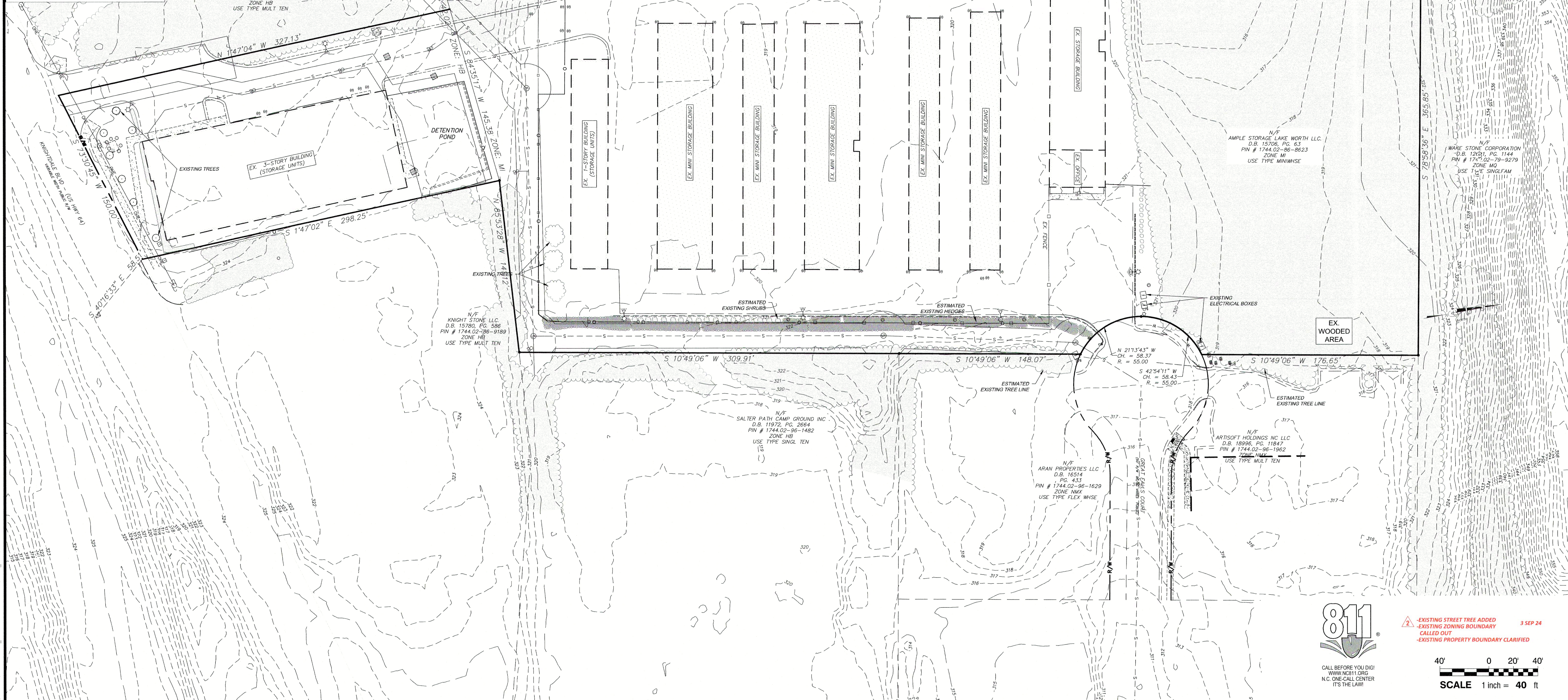
TIER 1-3 NOTES ADDED
PROPOSED TREE LINE CLARIFIED
EX SHRUBS CLARIFIED

3 SEP 24

SCALE 1 inch = 20 ft

Do Not Use for Construction - PRELIMINARY

- LEGEND**
- EXISTING BOUNDARY CORNER FOUND
 - BOUNDARY CORNER SET
 - COMPUTED POINT
 - CONCRETE MONUMENT FOUND
 - CLEAN OUT
 - TRANSFORMER / ELECTRIC BOX
 - LIGHT POLE
 - UTILITY POLE
 - WATER METER
 - FIRE HYDRANT
 - UTILITY VALVE
 - TELEPHONE PEDESTAL
 - CAMERA
 - CATCH BASIN
 - DROP INLET
 - UTILITY MANHOLE
 - UTILITY HAND HOLE
 - AIR CONDITIONING UNIT
 - BOLLARD
- PROPERTY LINE SURVEYED
 - - - PROPERTY LINE NOT SURVEYED
 - - - DRIVEWAY EASEMENT
 - - - SEWER EASEMENT
 - - - STORMWATER & ACCESS EASEMENT
 - - - OVERHEAD UTILITY WIRE
 - - - FENCE
- ▨ RIPRAP / GRAVEL
 - ▨ CONCRETE
 - ▨ PAVEMENT
- EIP EXISTING IRON PIPE
 - EIR EXISTING IRON REBAR
 - IPS IRON PIPE SET
 - PKS PK NAIL SET
 - PKF PK NAIL FOUND
 - NSMH SANITARY SEWER MANHOLE
 - N NORTH
 - E EAST
 - S SOUTH
 - W WEST
 - DB DEED BOOK
 - PG PAGE
 - BM BOOK OF MAPS
 - (T) TOTAL



Rivers
 & ASSOCIATES, INC.
 107 East Second Street
 Greenville, NC 27858
 (252) 752-4135

Engineers
 Planners
 Surveyors
 Landscape Architects

REVISIONS:

NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	08/23/24	
2	TOWN COUNCIL WORKSHOP	08/09/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

REVISIONS:

NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	08/23/24	
2	TOWN COUNCIL WORKSHOP	08/09/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWPSP ~ WAKE CO. ~ NORTH CAROLINA

EXISTING CONDITIONS OVERALL

DATE: MAY 22, 2024

DESIGNED BY: MJP

DRAWN BY: EDN

CHECKED BY: JSJ

PROJECT No. 2023008

DRAWING No. W-4073-MP

SCALE: 1"=40'

SHEET No. **C1.21**

811
 CALL BEFORE YOU DIG!
 WWW.811.ORG
 N.C. ONE-CALL CENTER
 IT'S THE LAW!

EXISTING STREET TREE ADDED
 EXISTING ZONING BOUNDARY CALLED OUT
 EXISTING PROPERTY BOUNDARY CLARIFIED

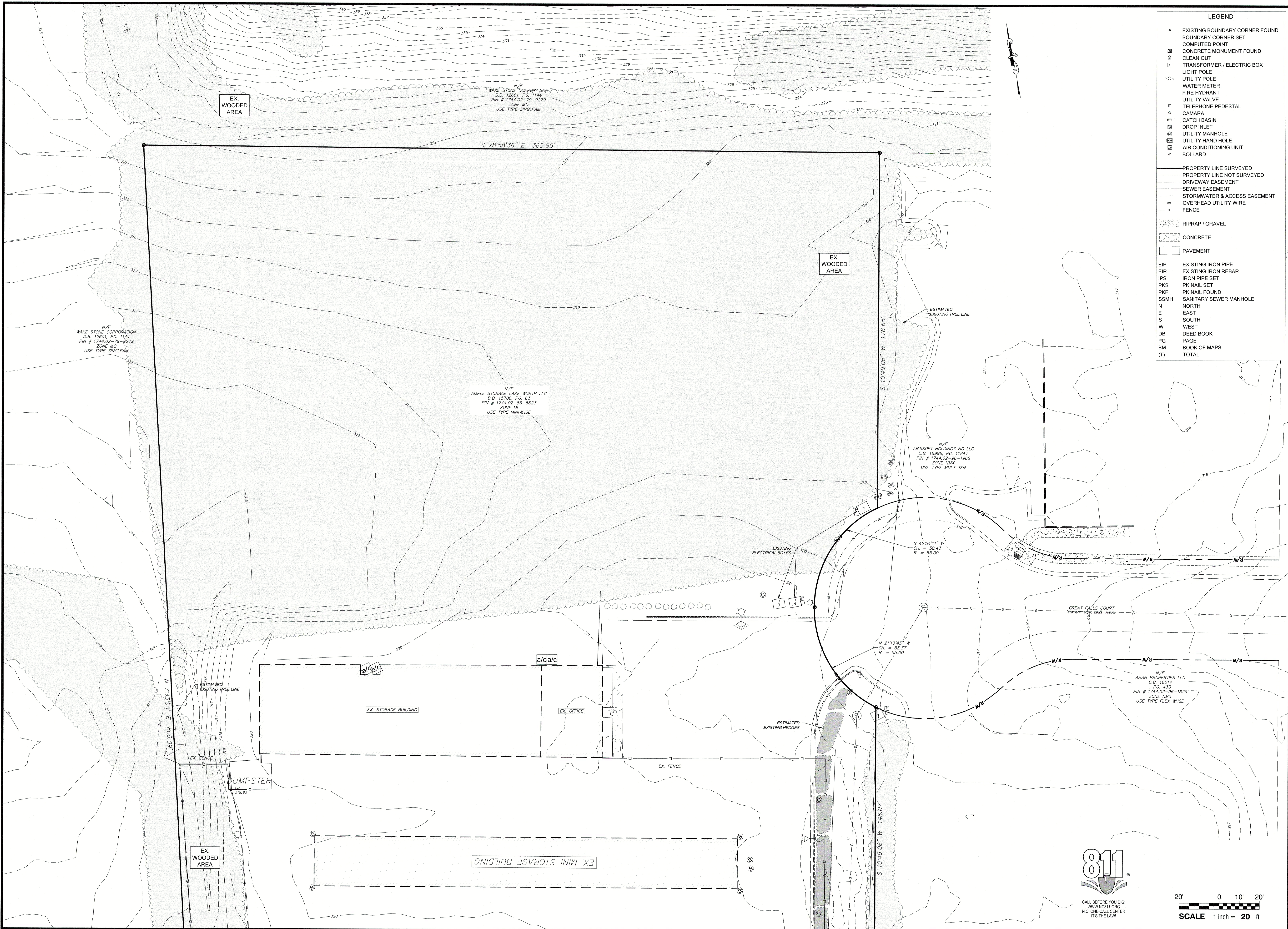
3 SEP 24

40' 0 20' 40'
 SCALE 1 inch = 40 ft

P:\LANDDEV\AMPLE_STORAGE_EXPANSION\DWGSHEETS\MASTER PLAN\W-4073 EXISTING CONDITIONS - LAYOUT1 - 8/20/2024 11:20:33 AM - MATI PROLOG

Do Not Use for Construction - PRELIMINARY

P:\LAND\LAPE AMPLE - STG-RIGHTDALE-20230309\CADD, DWG\SHEETS-MASTER.PLAN-4073 EXISTING CONDITION.DWG - LAYOUT 2 - 8/30/2024 11:20:33 AM - MATI PROTOP



- LEGEND**
- EXISTING BOUNDARY CORNER FOUND
 - BOUNDARY CORNER SET
 - COMPUTED POINT
 - CONCRETE MONUMENT FOUND
 - CLEAN OUT
 - TRANSFORMER / ELECTRIC BOX
 - LIGHT POLE
 - UTILITY POLE
 - WATER METER
 - FIRE HYDRANT
 - UTILITY VALVE
 - TELEPHONE PEDESTAL
 - CAMERA
 - CATCH BASIN
 - DROP INLET
 - UTILITY MANHOLE
 - UTILITY HAND HOLE
 - AIR CONDITIONING UNIT
 - BOLLARD
- PROPERTY LINE SURVEYED
 - - - PROPERTY LINE NOT SURVEYED
 - - - DRIVEWAY EASEMENT
 - - - SEWER EASEMENT
 - - - STORMWATER & ACCESS EASEMENT
 - - - OVERHEAD UTILITY WIRE
 - - - FENCE
- ▨ RIPRAP / GRAVEL
 - ▨ CONCRETE
 - PAVEMENT
- EIP EXISTING IRON PIPE
 - EIR EXISTING IRON REBAR
 - IPS IRON PIPE SET
 - PKS PK NAIL SET
 - PKF PK NAIL FOUND
 - SSMH SANITARY SEWER MANHOLE
 - N NORTH
 - E EAST
 - S SOUTH
 - W WEST
 - DB DEED BOOK
 - PG PAGE
 - BM BOOK OF MAPS
 - (T) TOTAL

Rivers
 & ASSOCIATES, INC.
 ENGINEERS
 PLANNERS
 ARCHITECTS
 Landscape Architects

107 East Second Street
 Greenville, NC 27858
 (252) 752-4135

REVISIONS:

NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	06/23/24	
2	TOWN COUNCIL WORKSHOP	06/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY

AMPLE STORAGE - EXPANSION

TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

EXISTING CONDITIONS

- PROJECT AREA

DATE: MAY 22, 2024

DESIGNED BY: MJP

DRAWN BY: EDN

CHECKED BY: JSJ

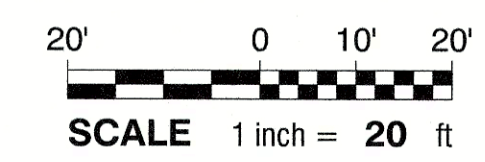
PROJECT No. 2023008

DRAWING No. W-4073-MP

SCALE: 1"=40'

SHEET No.

C1.22





REVISIONS:

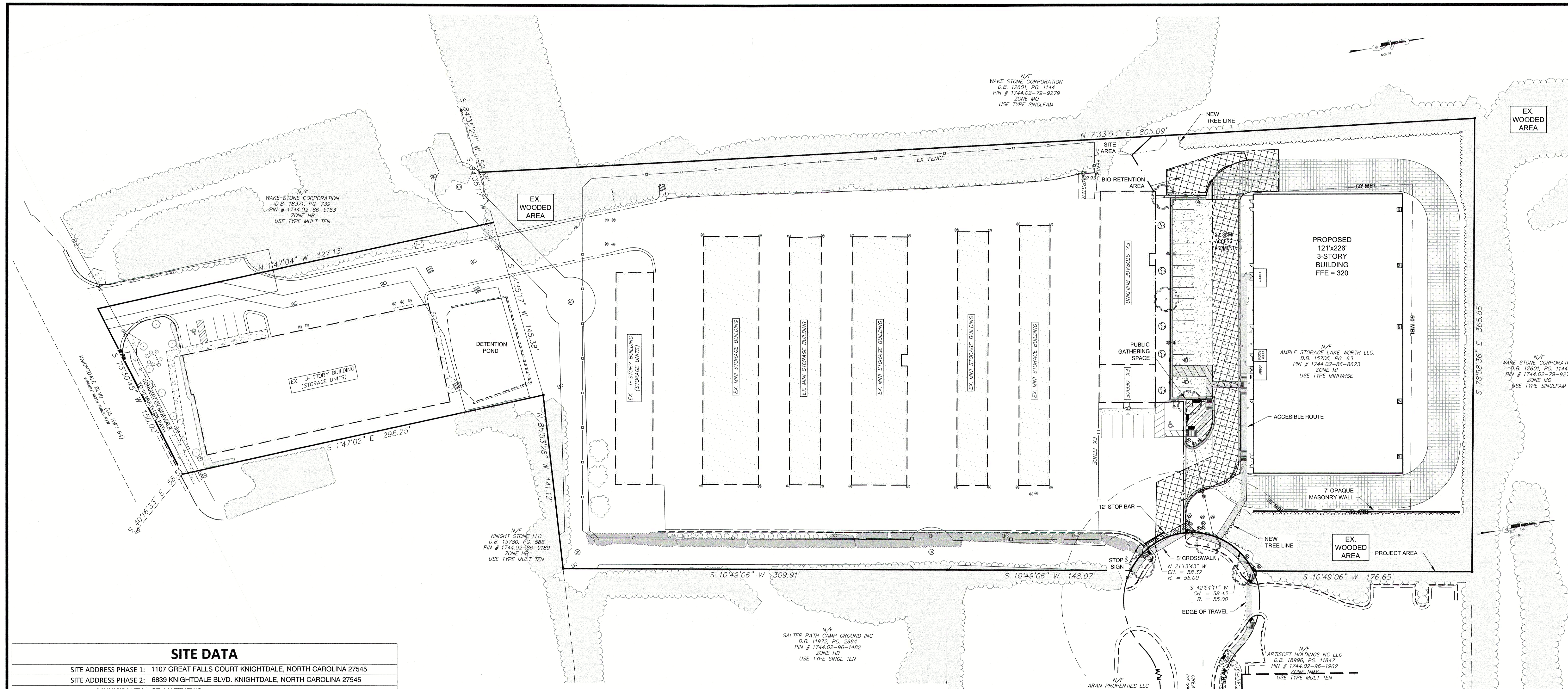
NO.	DATE	DESCRIPTION
3	08/28/24	MASTER PLAN COMMENTS
2	08/09/24	TOWN COUNCIL WORKSHOP
1	05/21/24	1 MASTER PLAN - FIRST SUBMITTAL

NO. DATE DESCRIPTION

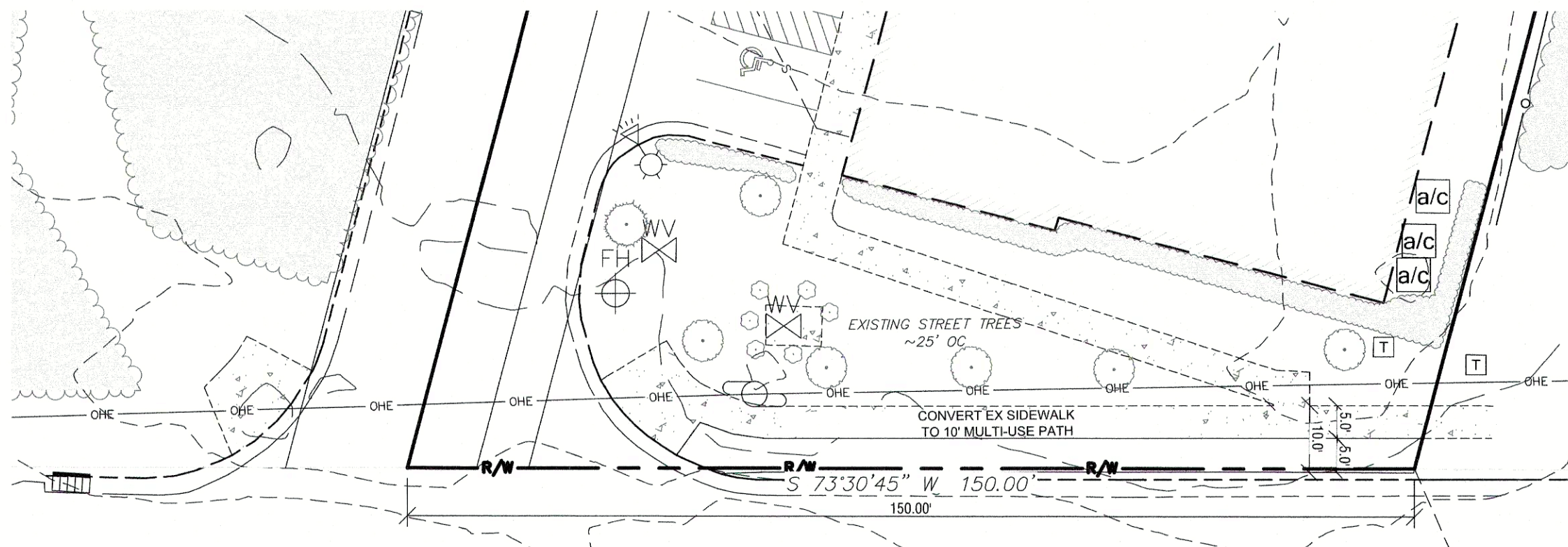
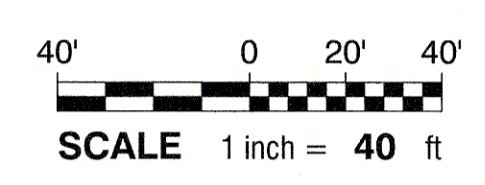
LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
MASTER PLAN OVERALL

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT NO: 2023008
 DRAWING NO: W-4073-MP
 SCALE: AS NOTED
 SHEET NO.

C2.01



SITE DATA	
SITE ADDRESS PHASE 1:	1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545
SITE ADDRESS PHASE 2:	6839 KNIGHTDALE BLVD. KNIGHTDALE, NORTH CAROLINA 27545
MUNICIPALITY:	ST. MATTHEWS
PARCEL NO.:	1744868623
DEED REFERENCE:	DB 15706, PG 63
AREA IN SITE:	6.98 ACRES (+/- 303,818 SF)
EXISTING USE CLASS./ZONING:	GENERAL COMMERCIAL - HB/MI
PROPOSED USE CLASS./ZONING:	MINI-WAREHOUSES - HB/MI-CD
WATERSHED:	27-29: BEAVERDAM CREEK
RECEIVING STREAM:	C, NSW
TOTAL BUILDING SQUARE FOOTAGE:	95,640 SF EXIST + 87,840 NEW = 183,480 TOTAL SF
BUILDING HEIGHT:	EXISTING = 1 @ 30' (3-STORY), 7 @ 10' (1-STORY) PROPOSED = 30' (3 STORY)
TOTAL NUMBER OF STORAGE UNITS:	EXISTING = ~750 PROPOSED = 977
IMPERVIOUS AREA	
EXISTING BUILDINGS FOOTPRINT:	62,611 SF
EXISTING CONCRETE:	4,197 SF
EXISTING ASPHALT PARKING:	87,965 SF
TOTAL EXISTING IMPERVIOUS AREA:	154,773 SF (3.55 ACRE)
EXISTING:	50.9 %
PROPOSED BUILDING FOOTPRINT:	
PROPOSED CONCRETE:	29,280 SF
TOTAL PROPOSED IMPERVIOUS AREA:	15,752 SF
EXISTING:	45,032 SF (1.03 ACRES)
TOTAL IMPERVIOUS AREA:	199,805 SF (4.59 ACRES)
TOTAL POST DEVELOPMENT:	65.8 %
PARKING SUMMARY	
EXISTING REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF(95,645 SF) = 23.9 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM() = 12 SPACES
PROPOSED REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF(87,840 SF) = 22 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM() = 11 SPACES
TOTAL PARKING SPACES REQUIRED:	23
TOTAL EXISTING PARKING SPACES:	12
NEW PARKING SPACES REQUIRED:	11
NEW PARKING SPACES PROVIDED:	17
TOTAL PARKING SPACES PROVIDED:	29
EXISTING H/C PARKING SPACES:	2
H/C PARKING SPACES REQUIRED:	1
TOTAL H/C PARKING SPACES PROVIDED:	3
TOTAL BICYCLE PARKING REQUIRED:	2
TOTAL BICYCLE PARKING PROVIDED:	2



**MULTI-USE PATH
 KNIGHTDALE BLVD**

**PROJECT AREA
 VEGETATION
 CALCULATIONS FOUND
 ON SHEET L1.01**

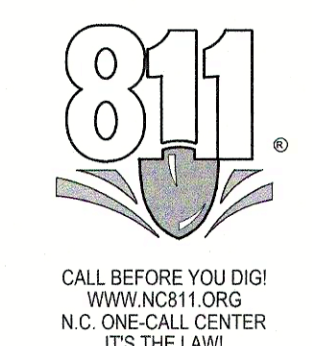
- SITE DATA TABLE UPDATED
- PROPOSED BUILDING DIMENSIONS/LOCATION MODIFIED
- PEDESTRIAN ACCESS MODIFIED
- SIDEWALK EASEMENT ADDED
- PUBLIC GATHERING SPACE RELOCATED
- BICYCLE RACK RELOCATED
- MASONRY WALL ADDED
- EXISTING STREET TREES SHOWN ON KNIGHTDALE BLVD.

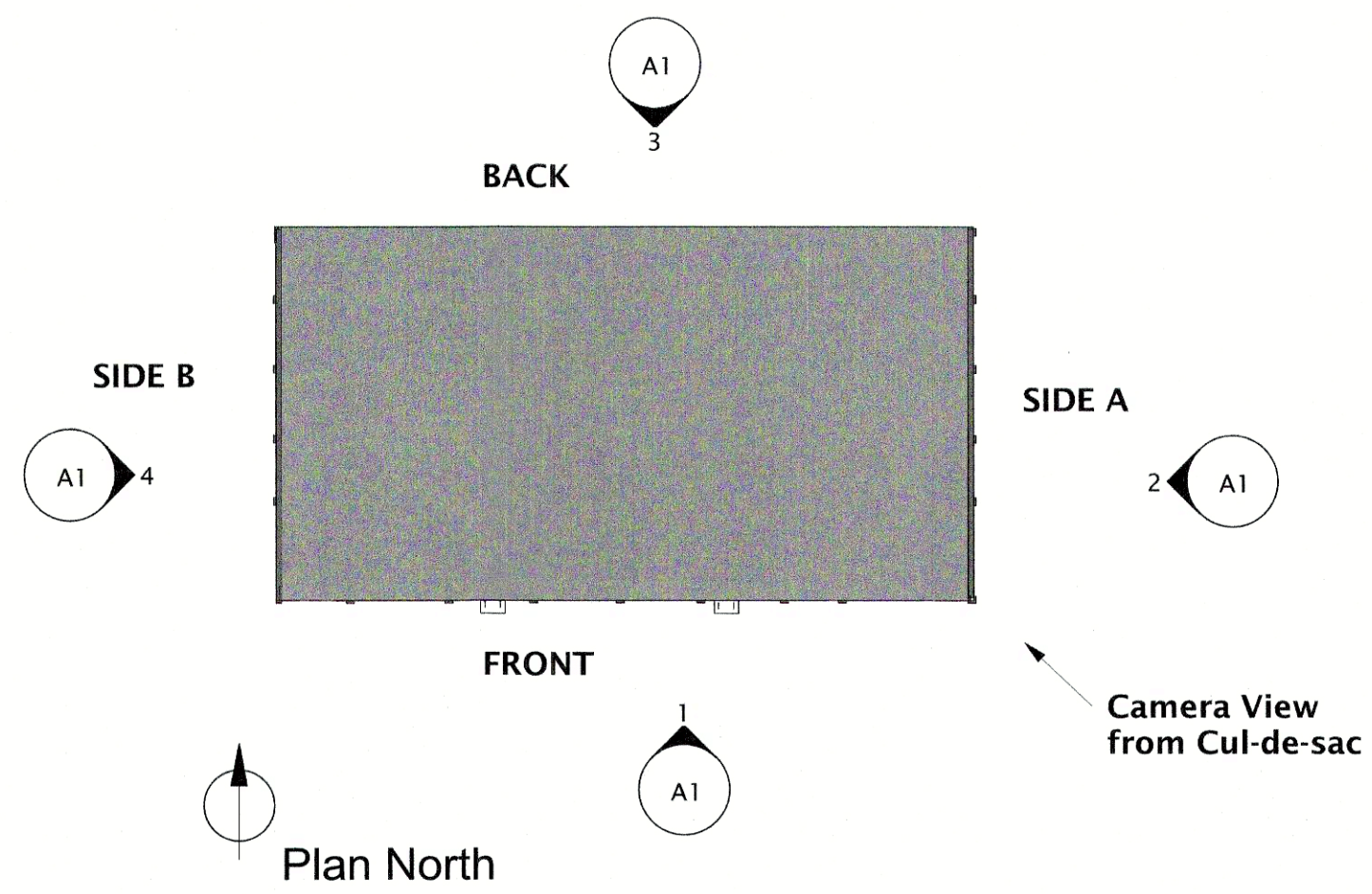
**KNIGHTDALE BLVD
 FRONTAGE LENGTH = 150'
 STREET TREES REQ = 4
 EXISTING = 5
 CALCULATIONS FOUND ON
 SHEET L1.01**

LEGEND

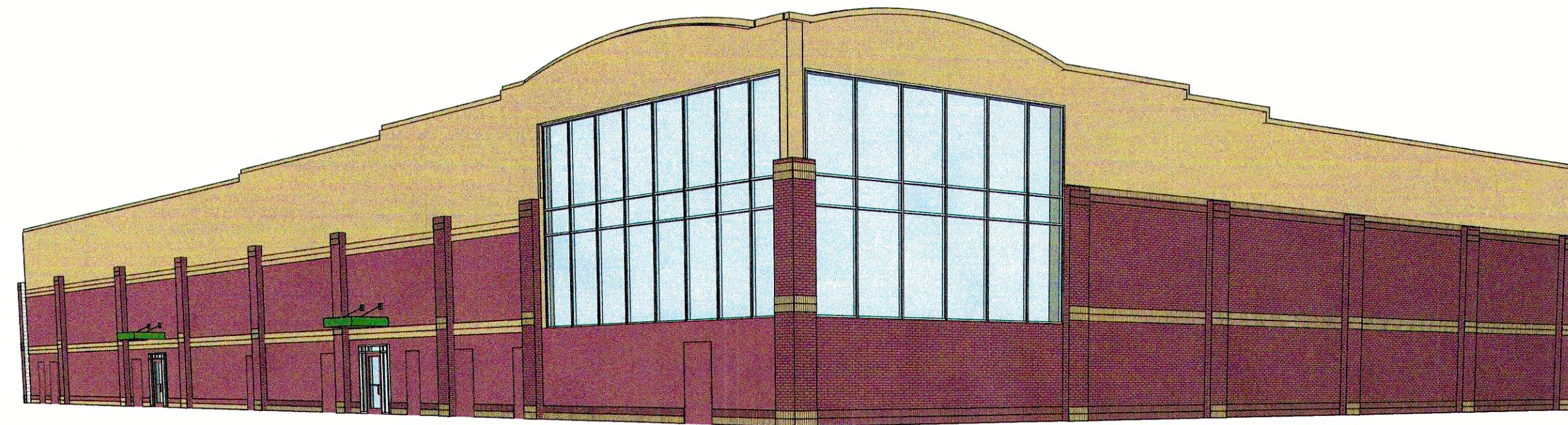
- RETAINED TREE COVER
- ADA ACCESSIBLE ROUTE
- PUBLIC GATHERING SPACE
- PROPOSED STORMWATER CONTROL MEASURE ACCESS EASEMENT
- PROPOSED PEDESTRIAN ACCESS EASEMENT
- GRASS PAVER FIRE LANE
- PROPOSED 6" CONCRETE DRIVE AISLE / PARKING AREA
- 2' CURB & GUTTER

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator



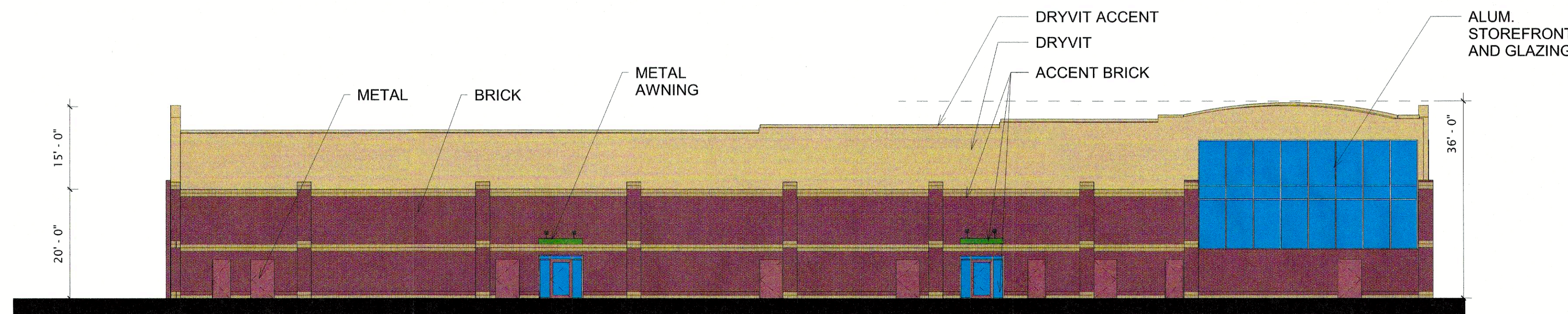


5 Key Plan
A1 1" = 60'-0"

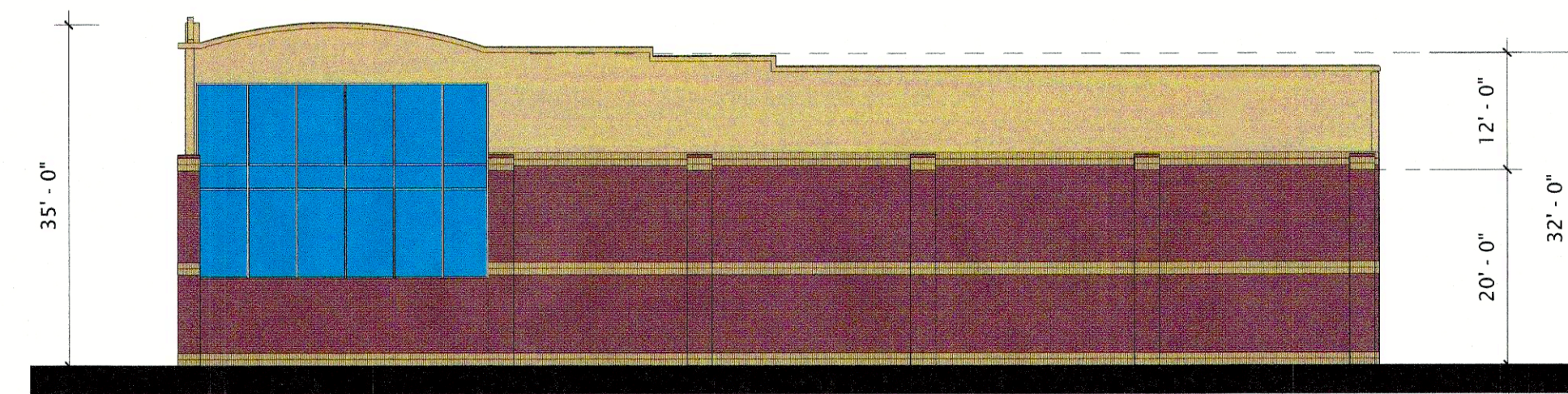


6 Camera View from Cul-de-sac
A1

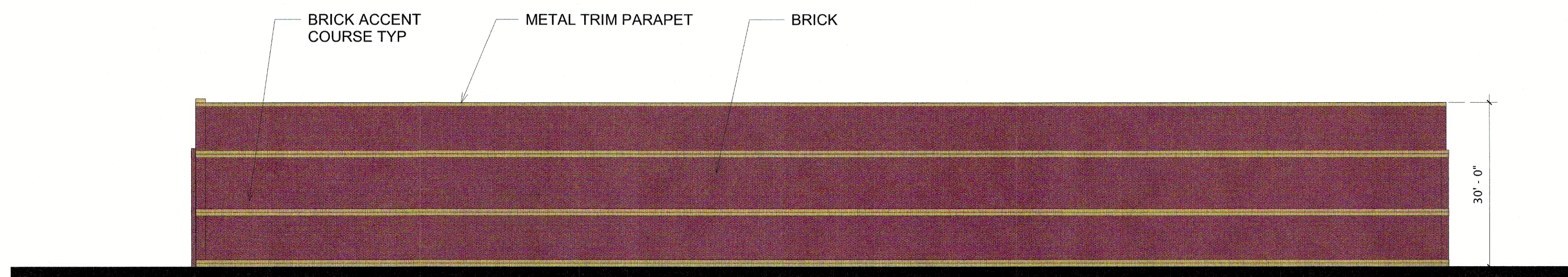
ALL BRICK AND DRYVIT
COLORS TO MATCH PHASE
ONE OFFICE BUILDING



1 FRONT ELEVATION
A1 1/16" = 1'-0"



2 Building A Elevation SIDE A
A1 1/16" = 1'-0"



3 BACK ELEVATION
A1 1/16" = 1'-0"



4 SIDE B ELEVATION
A1 1/16" = 1'-0"

**Ample
Storage
Addition**

Knightdale

2024
copyright RND
Architects

JOB NUMBER: 1430.02
DRAWN: gp
CHECKED: gp
DATE: 8.13.24

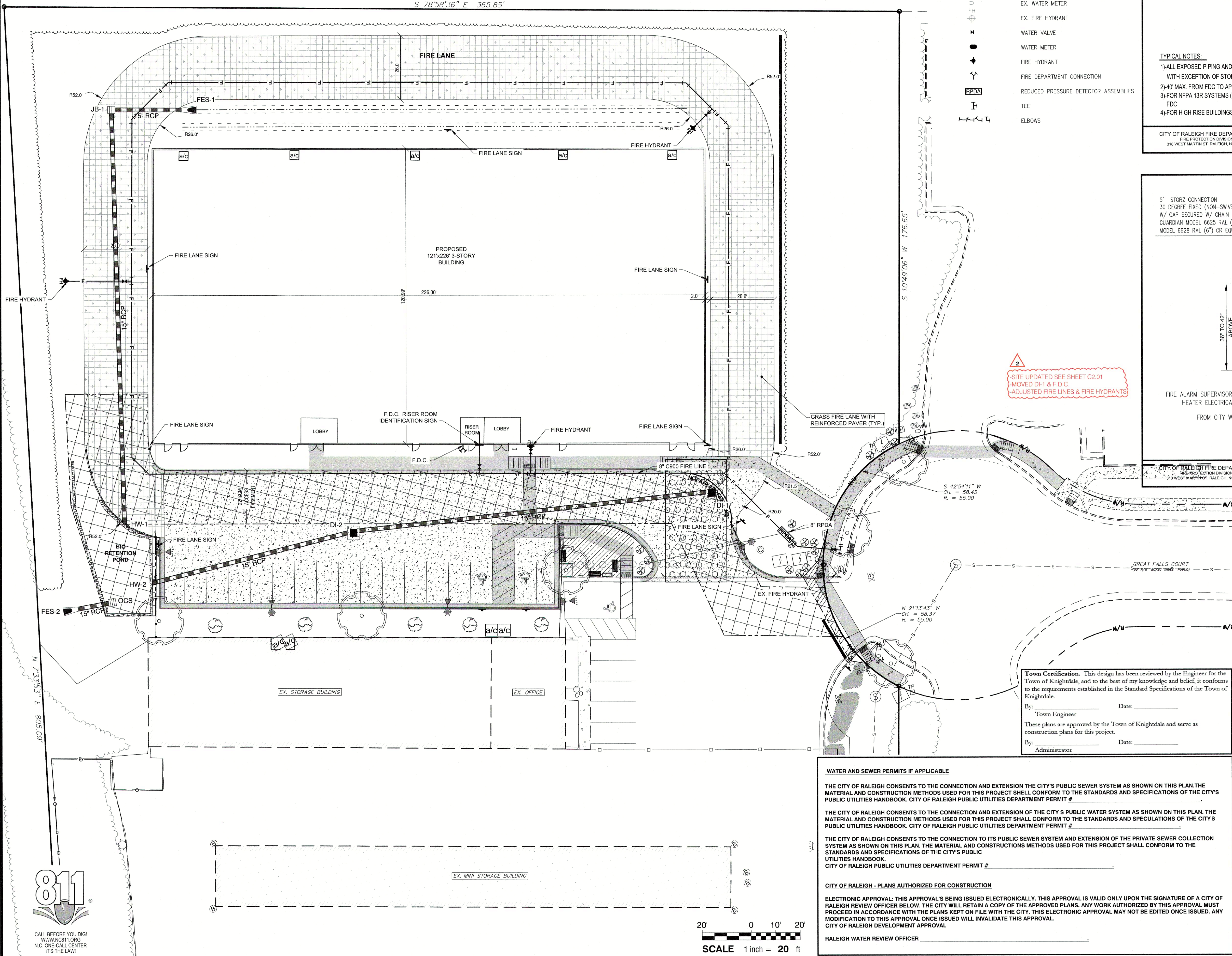
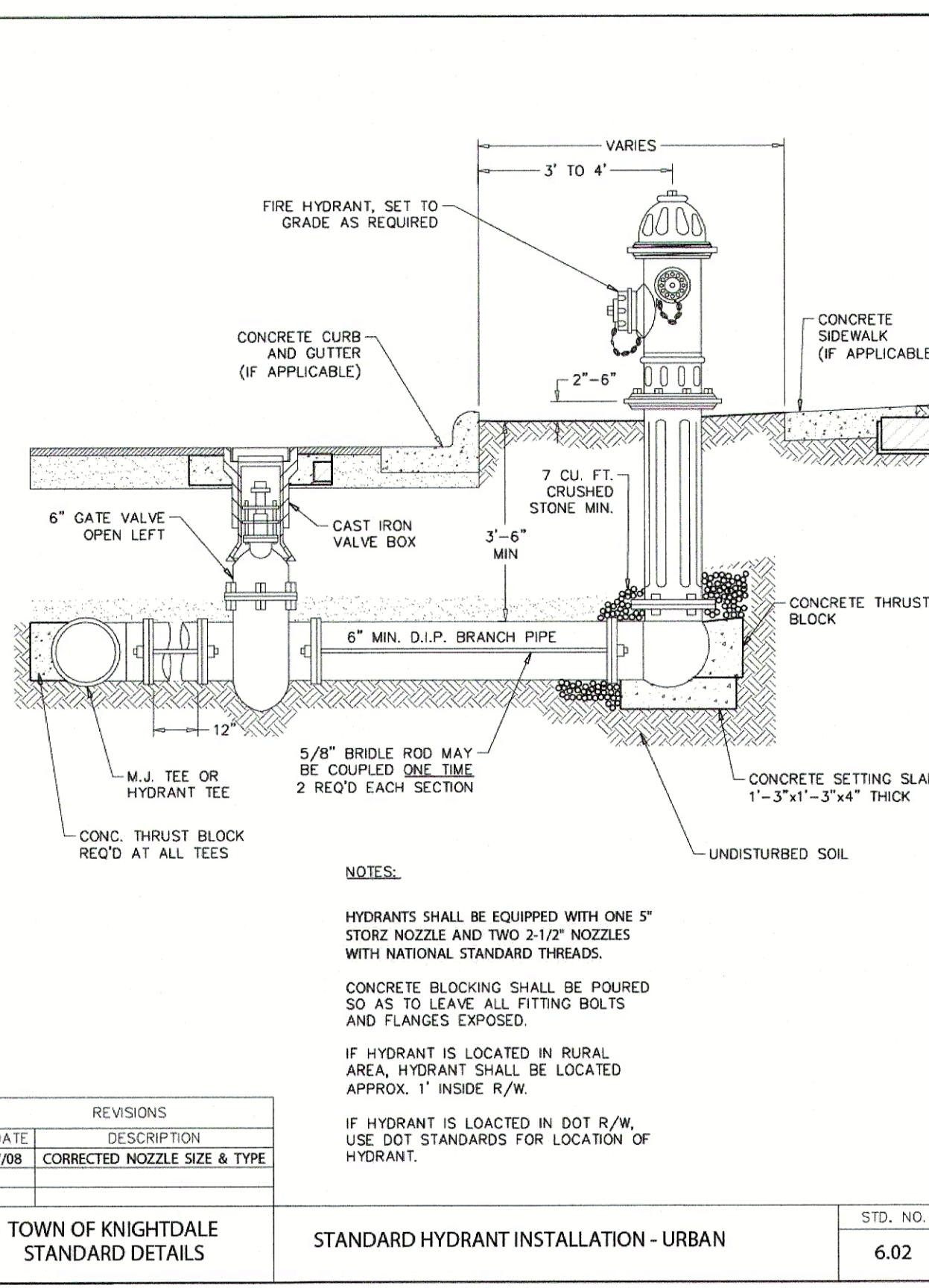
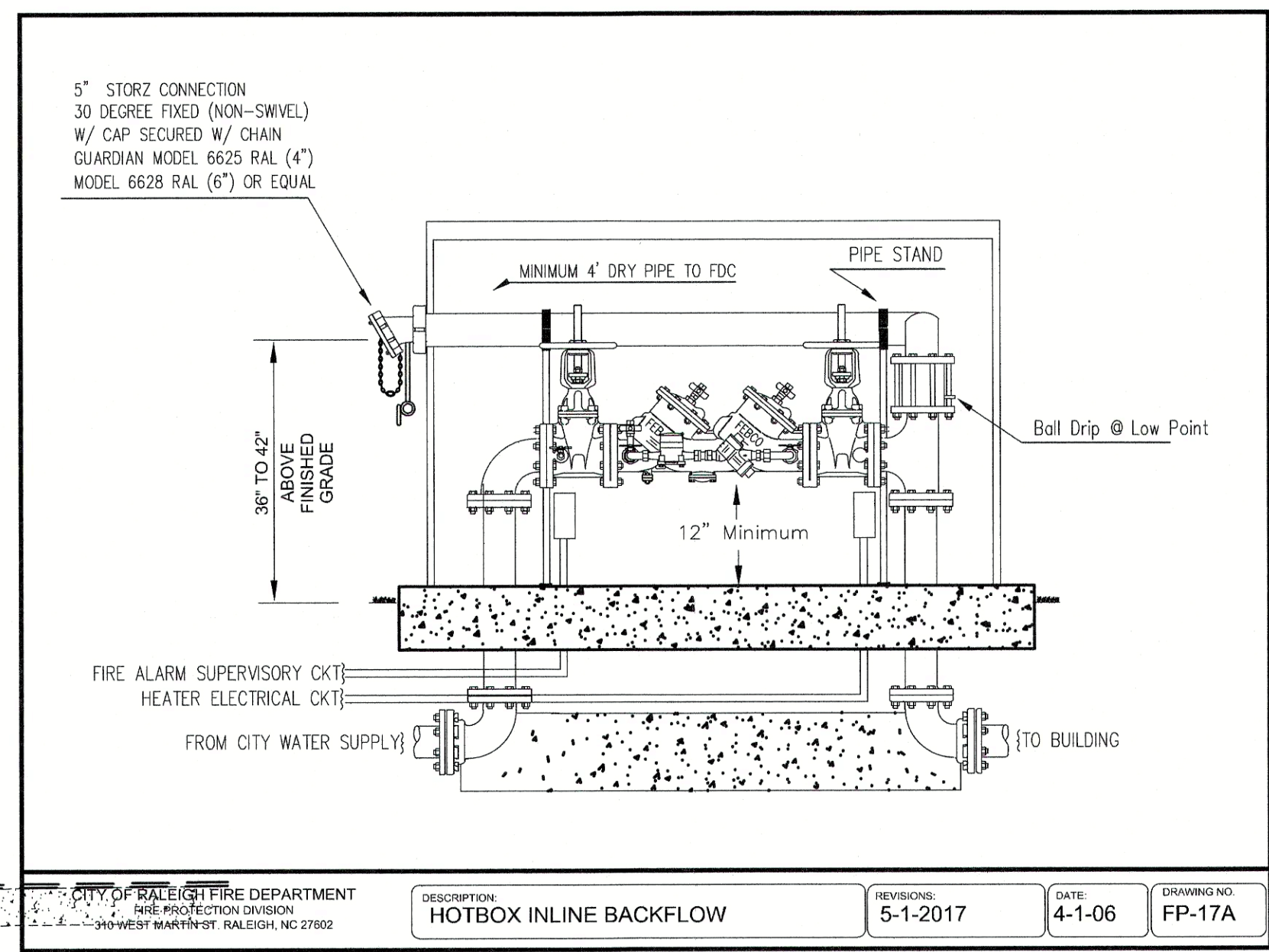
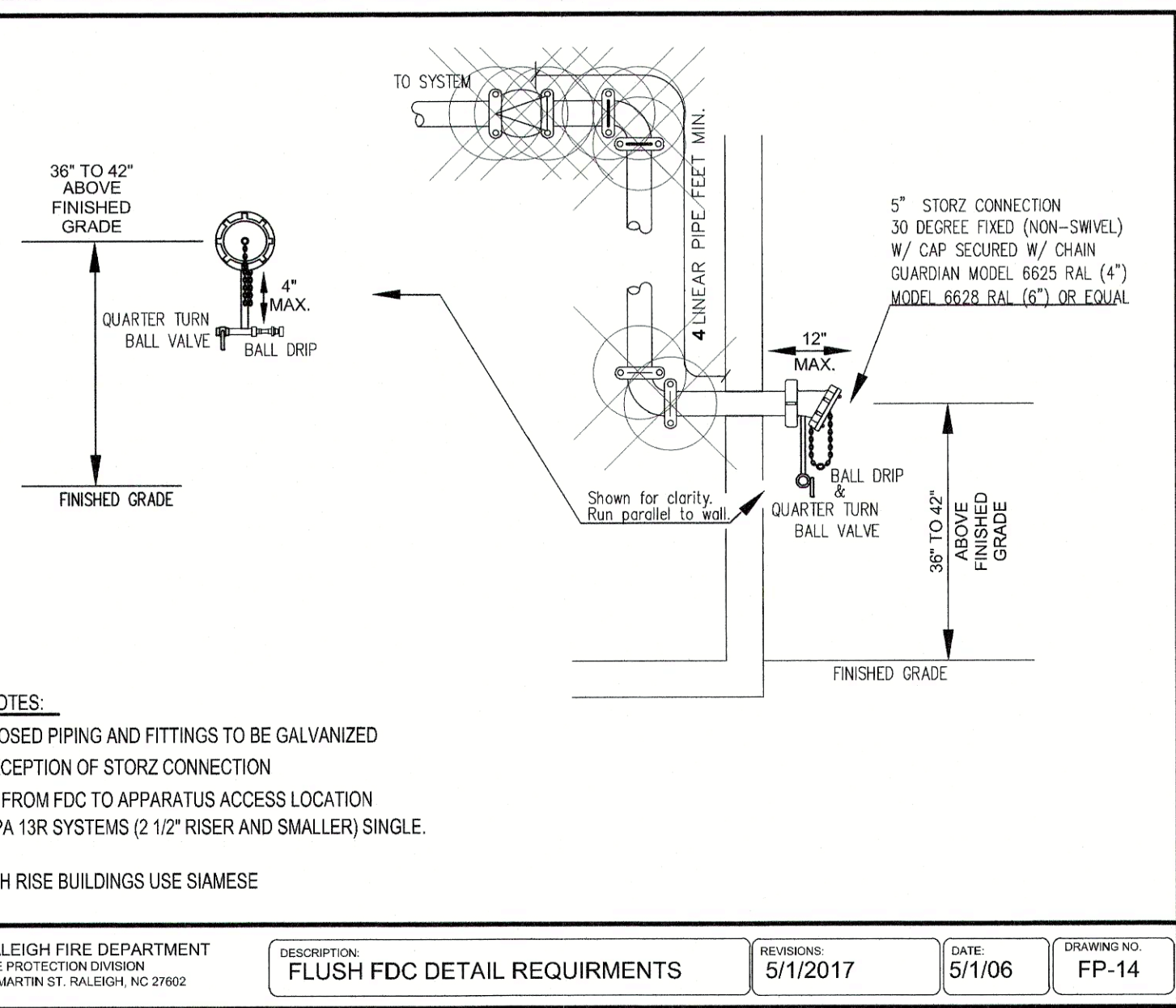
Building Elevations
Knightdale Addition

A1

WATER ALLOCATION POLICY COMPLIANCE:
NEW DEVELOPMENT WILL ONLY INCLUDE A FIRE LINE.
NO DOMESTIC SERVICE IS NEEDED.

LEGEND

- PAVEMENT
- GRASS FIRE LANE
- 8" C900 FIRE LINE
- EX. WATER MAIN
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE HYDRANT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- REDUCED PRESSURE DETECTOR ASSEMBLIES
- TEE
- ELBOWS



Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator

WATER AND SEWER PERMITS IF APPLICABLE
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION THE CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC WATER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION TO ITS PUBLIC SEWER SYSTEM AND EXTENSION OF THE PRIVATE SEWER COLLECTION SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK. CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.
RALEIGH WATER REVIEW OFFICER _____

NC License F-10394
Rivers & Associates, Inc.
Engineers
Planners
Surveyors
Landscape Architects

107 East Second Street
Greenville, NC 27658
(252) 752-4135

PROFESSIONAL SEAL
033861
ENGINEERING
PLANNING
SURVEYING

REVISIONS:

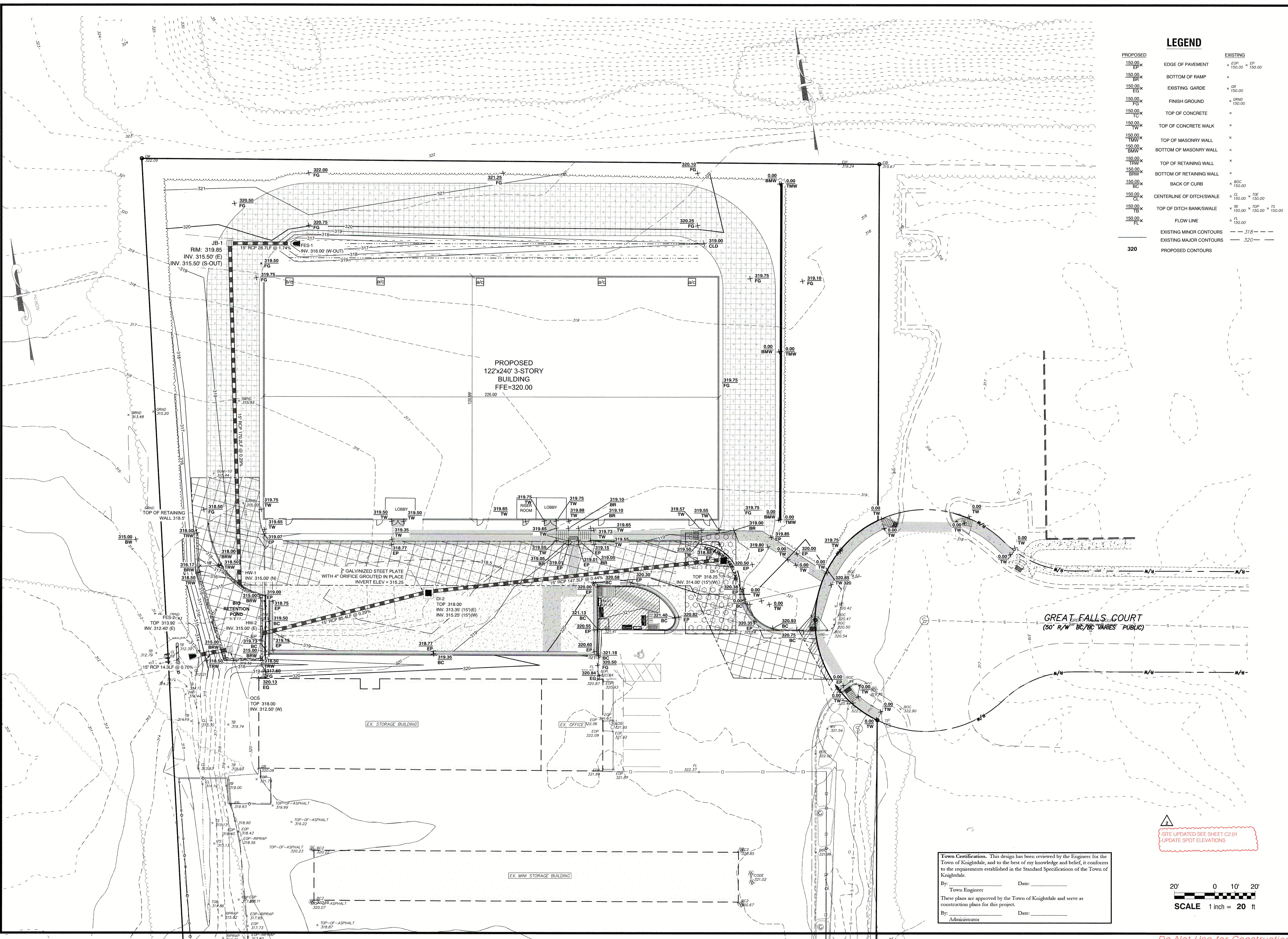
NO.	DATE	DESCRIPTION	BY
3	08/23/24	MASTER PLAN COMMENTS	
2	09/03/24	TOWN COUNCIL WORKSHOP	
1	05/21/24	MASTER PLAN - FIRST SUBMITTAL	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA

UTILITY PLAN

DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDJ
CHECKED BY: JSJ
PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: 1" = 20'
SHEET No. **C3.01**

P:\LANDDEV\AMPLE_C401\KIGHTDALE_202308\CADD_DMS\SHEETS-MASTER PLAN\W-4073 GRADING-DWG - LAYOUT - 9/23/2024 11:26:35 AM - MATT PROCTOR



LEGEND

PROPOSED	EXISTING		
150.00 EP	EDGE OF PAVEMENT	x EP	150.00 x FP
150.00 BR	BOTTOM OF RAMP	x	150.00
150.00 EG	EXISTING GARDE	x	150.00
150.00 FG	FINISH GROUND	x	ORND
150.00 TC	TOP OF CONCRETE	x	150.00
150.00 TW	TOP OF CONCRETE WALK	x	
150.00 TMW	TOP OF MASONRY WALL	x	
150.00 BMW	BOTTOM OF MASONRY WALL	x	
150.00 TRW	TOP OF RETAINING WALL	x	
150.00 BRW	BOTTOM OF RETAINING WALL	x	
150.00 BC	BACK OF CURB	x	80C
150.00 CL	CENTERLINE OF DITCH/SWALE	x	150.00 x 70E
150.00 TS	TOP OF DITCH BANK/SWALE	x	75 150.00 x 75P
150.00 FL	FLOW LINE	x	FL 150.00
	EXISTING MINOR CONTOURS	- - -	318 - - -
	EXISTING MAJOR CONTOURS	- - -	320 - - -
	PROPOSED CONTOURS	- - -	320 - - -

Rivers
 & ASSOCIATES, INC.
 ENGINEERS, ARCHITECTS, PLANNERS
 107 East Second Street
 Greenville, NC 27838
 (252) 752-4135



REVISIONS:

NO.	DATE	BY	DESCRIPTION
3	08/23/24		MASTER PLAN COMMENTS
2	08/03/24		TOWN COUNCIL WORKSHOP
1	08/21/24		MASTER PLAN - FIRST SUBMITTAL

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWPSP. - WAKE CO. - NORTH CAROLINA
GRADING & STORMWATER
MANAGEMENT PLAN

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No. **C4.01**

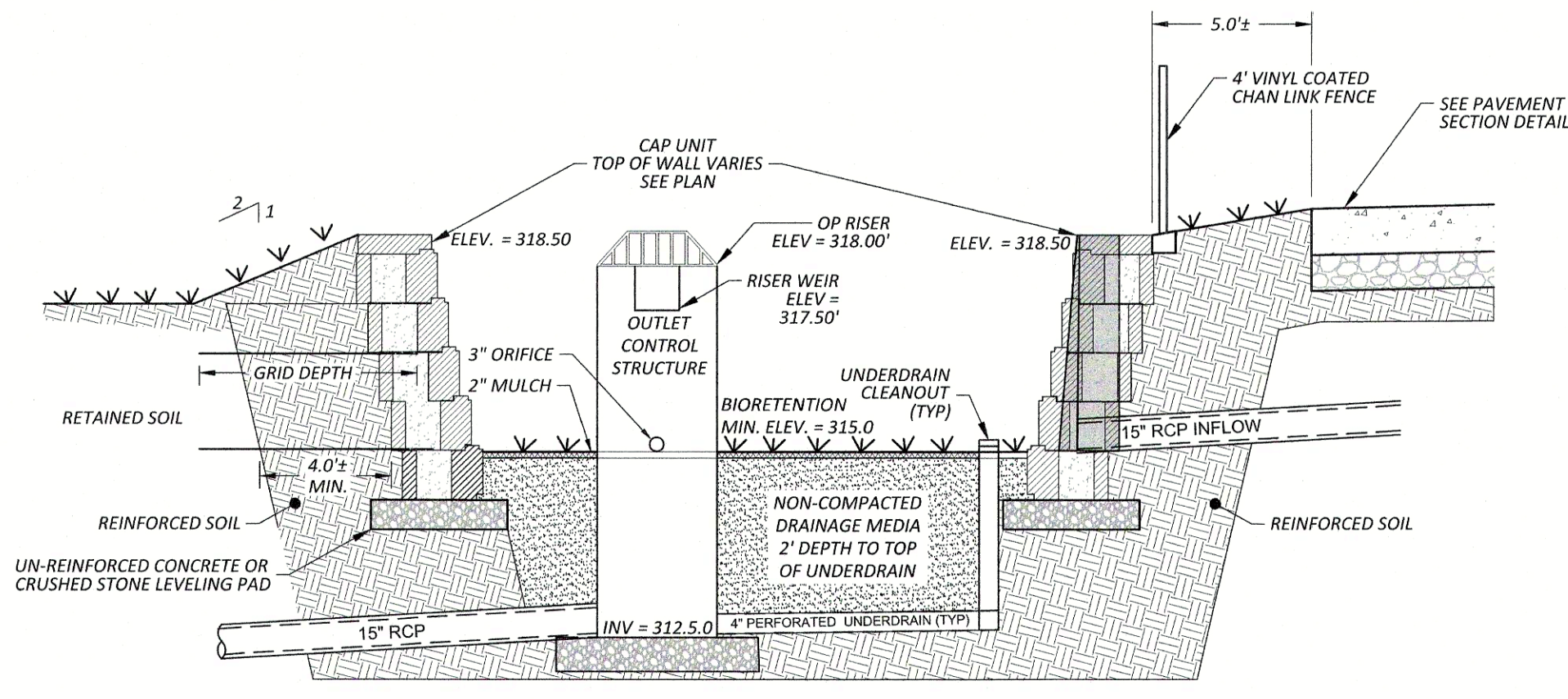
Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator

2
 SITE UPDATED SEE SHEET C2.01
 UPDATE SPOT ELEVATIONS



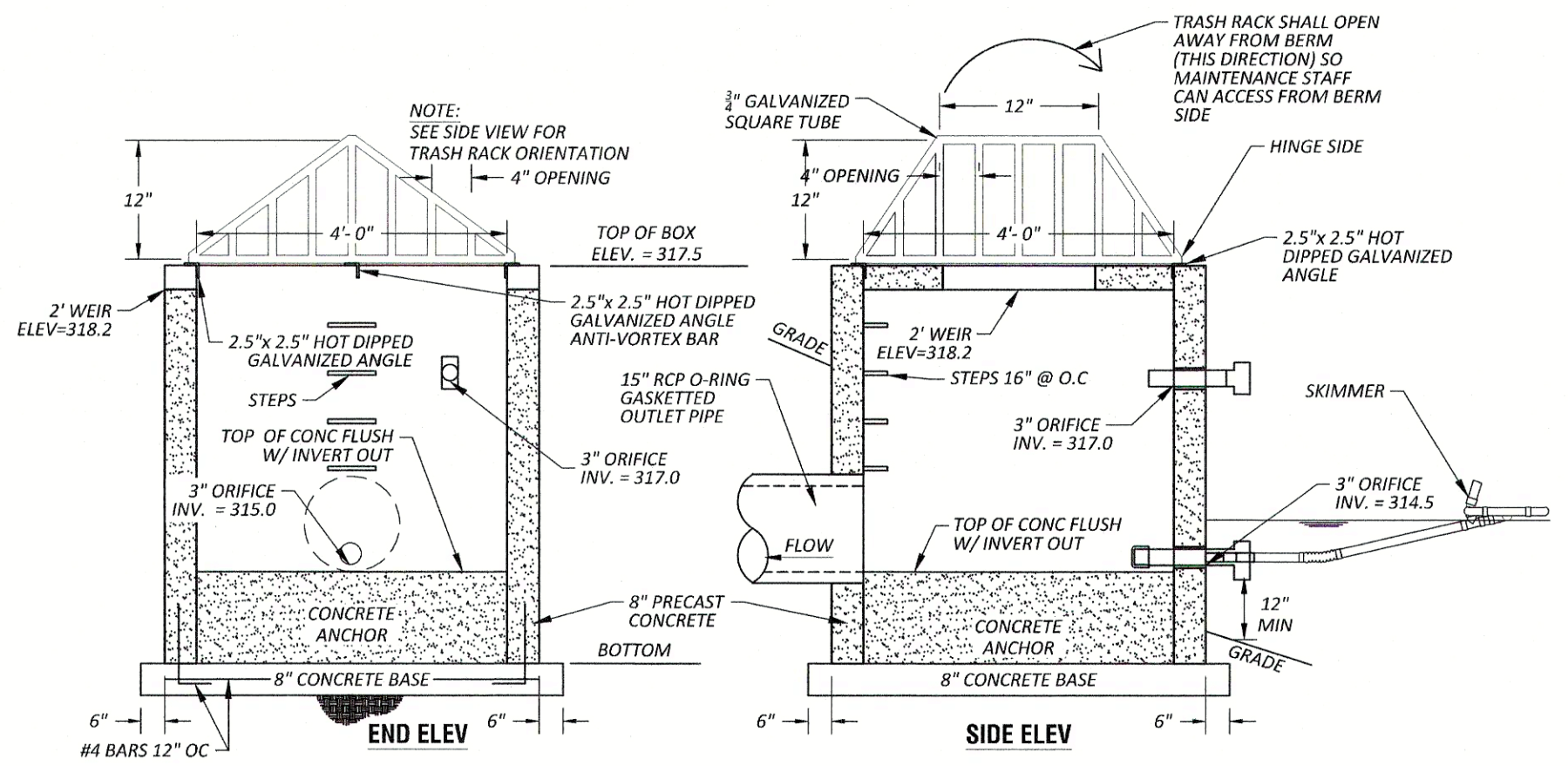
Do Not Use for Construction - PRELIMINARY

P:\LANDDEV\LAMPE_AMPLE_STG_KNIGHTDALE_2022008\CADD_DWG\SHEETS\MASTER PLAN\W-4073 SITE DETAILS.DWG - LAYOUT 3 - 0/22/2024 11:23:52 AM - MATI PROKOP



BIORETENTION SECTION

N.T.S.
RWAL-11 MOD

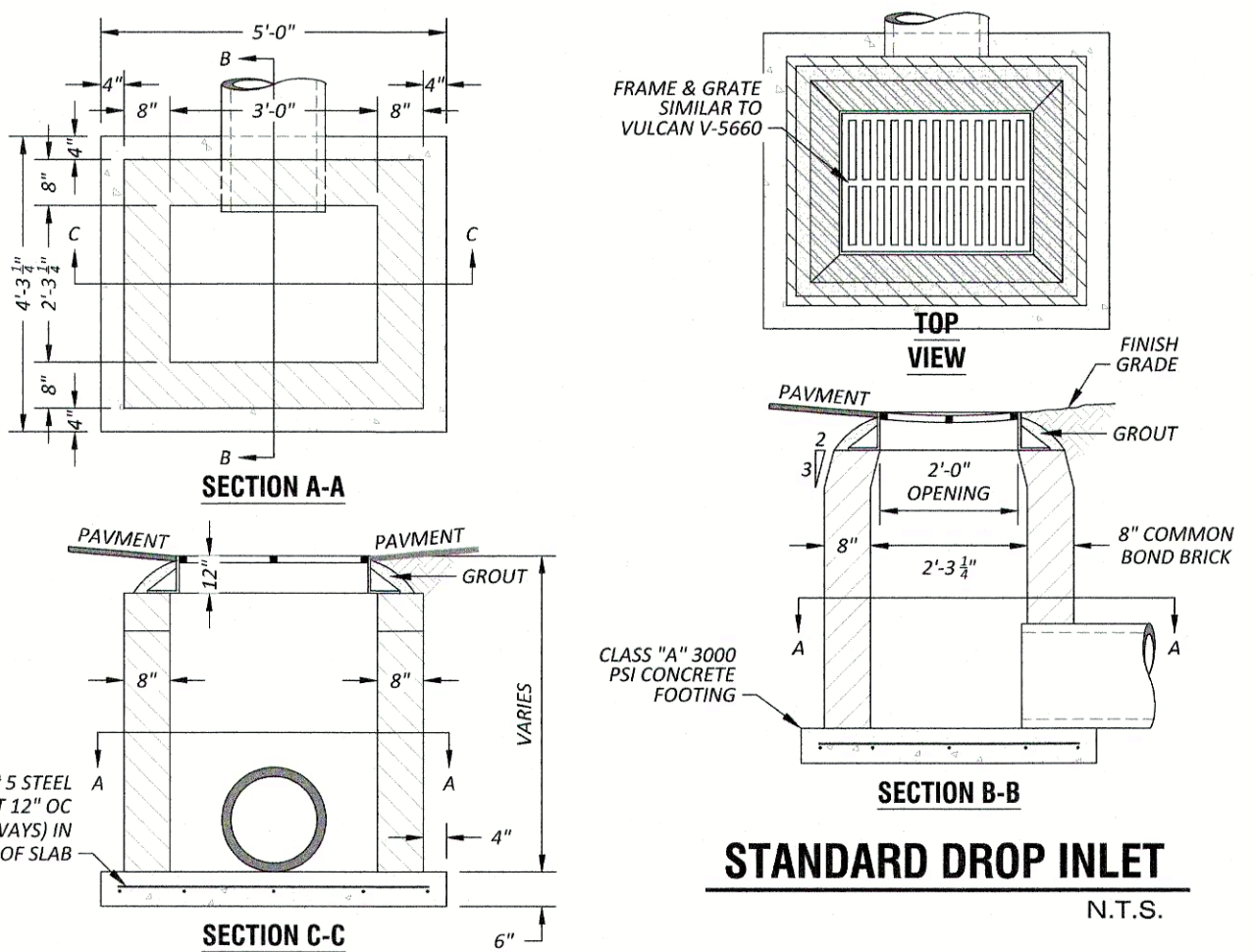


OUTLET CONTROL STRUCTURE NOTES

- STRUCTURE SHALL BE PRECAST CONCRETE
- PRECASTER SHALL DESIGN AND FURNISH ALL STEEL REINFORCING, WALL THICKNESS AND HARDWARE
- MANUFACTURE ENTIRE CONCRETE AS ONE SECTION WITH NO JOINTS IF PRACTICAL
- ANY JOINTS SHALL BE WATER TIGHT AND BE CONSTRUCTED FOR ANTI-FLOTATION. THEY SHALL HAVE (4) GALVANIZED STEEL PLATES 12" X 12" X 1/2", ONE PER SIDE. EACH PLATE SHALL HAVE (4) GALVANIZED STEEL BOLTS (1/2" DIA X 8" L MIN). FOR ANTI-FLOTATION.
- THROUGHOUT GRADING OPERATION, TEMPORARY SKIMMER SHALL BE IN PLACE AND DRAIN VALVE OPEN. INSTALL TEMPORARY PLUG IN DETENTION DRAWDOWN AND WQ DRAWDOWN.
- AT END OF PROJECT, AFTER SITE IS STABLE, REMOVED TEMPORARY PLUGS AND SKIMMER AND CLOSE VALVE.

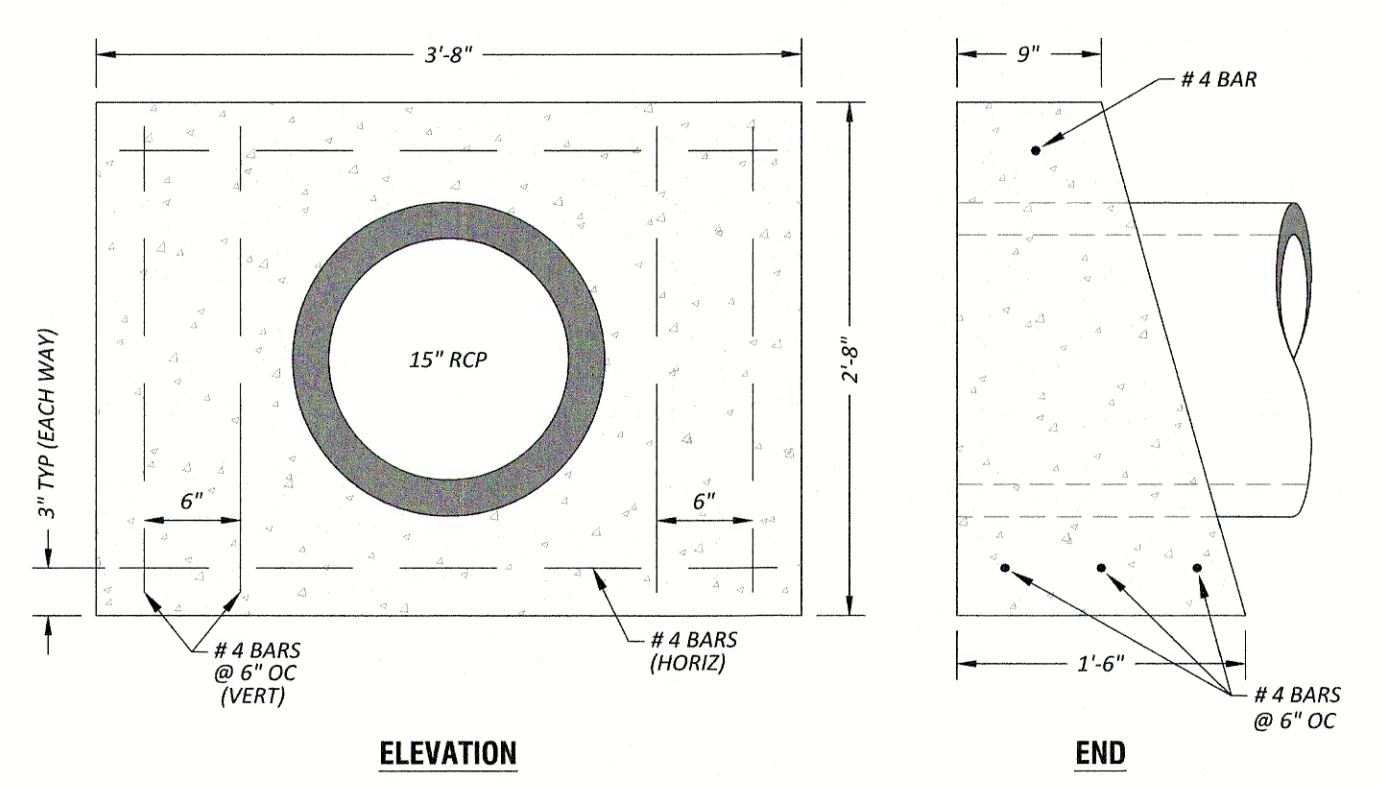
OUTLET CONTROL STRUCTURE

N.T.S.



STANDARD DROP INLET

N.T.S.



HEADWALL

N.T.S.
STRM-26

MAINTENANCE

- INSPECTION ACTIVITIES - (FREQUENCY)**
- WHERE MAINTENANCE REQUIRES DEWATERING, DO SO BY MEANS OF DEWATERING PUMP.
- AFTER CONSTRUCTION**
- INSPECT AFTER SEVERAL STORM EVENTS FOR BANK STABILITY, VEGETATION GROWTH, DRAINAGE SYSTEM FUNCTIONING, AND STRUCTURAL DAMAGE.
- SEMI-ANNUAL INSPECTION**
- INSPECT FOR INVASIVE VEGETATION, DIFFERENTIAL SETTLEMENT, CRACKING, EROSION, LEAKAGE, OR TREE GROWTH ON THE EMBANKMENT; THE CONDITION OF THE RIPRAP IN THE INLET, OUTLET, AND PILOT CHANNELS; SEDIMENT ACCUMULATION IN THE BASIN; CLOGGING OF OUTLET; AND THE WIGOR AND DENSITY OF THE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR. CORRECT OBSERVED PROBLEMS AS NECESSARY.
 - NOTE SIGNS OF HYDROCARBON BUILDUP SUCH AS FLOATING OIL ON WATER SURFACE. INSPECT FOR DAMAGE TO THE EMBANKMENT AND INLET/OUTLET STRUCTURES. REPAIR AS NECESSARY. MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY. EXAMINE INLET AND OUTLET DEVICES TO ENSURE THEY ARE FREE OF DEBRIS AND ARE OPERATIONAL.
- MAINTENANCE ACTIVITIES - (FREQUENCY)**
- ONE TIME**
- REPLACE WET POND VEGETATION TO MAINTAIN AT LEAST 50% OF SURFACE AREA COVERAGE IN WET POND PLANTS AFTER THE SECOND GROWING SEASON.
- AS NEEDED**
- REPAIR UNDERCUT AREAS, EROSION TO BANKS, AND BOTTOM AS REQUIRED. WHERE PERMITTED BY THE DEPARTMENT OF FISH AND GAME OR OTHER AGENCY REGULATIONS, STOCK CONSTRUCTED WET PONDS REGULARLY WITH MOSQUITO FISH (GAMBUSIA SPP.) TO ENHANCE NATURAL MOSQUITO AND MIDGE CONTROL.
- 3 TO 4 TIMES PER YEAR**
- CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES.
 - MOW SIDE SLOPES AND REMOVE GRASS CLIPPINGS. REMOVE LITTER AND DEBRIS FROM BANKS, BASIN BOTTOM, TRASH RACKS, OUTLET STRUCTURES, AND VALVES AS REQUIRED.
- ANNUAL (IF NEEDED)**
- SUPPLEMENT WET POND PLANTS IF A SIGNIFICANT PORTION HAVE NOT ESTABLISHED (AT LEAST 50% OF THE SURFACE AREA).
 - REMOVE NUISANCE PLANT SPECIES.
 - CLEAN FOREBAY TO AVOID ACCUMULATION IN MAIN WET POND AREA TO MINIMIZE WHEN THE MAIN WET POND AREA NEEDS TO BE CLEANED.
 - HARVEST PLANT SPECIES IF VEGETATION BECOMES TOO THICK CAUSING FLOW BACKUP AND FLOODING. MORE FREQUENT PLANT HARVESTING MAY BE REQUIRED BY LOCAL VECTOR CONTROL AGENCIES.
 - FERTILIZE NEW VEGETATION ONE TIME ONLY. THE OWNER SHALL NOT FERTILIZE VEGETATION AFTER THE INITIAL OCCURRENCE.
 - MONITOR SEDIMENT ACCUMULATIONS, AND REMOVE SEDIMENT WHEN THE ACCUMULATED SEDIMENT VOLUME EXCEEDS 10-20% OF THE BASIN VOLUME. PLANTS ARE "CHOKED" WITH SEDIMENT OR THE WET POND BECOMES EUTROPHIC. IT IS SUGGESTED THAT THE MAIN AREA BE CLEANED ONE HALF AT A TIME WITH AT LEAST ONE GROWING SEASON IN BETWEEN CLEANINGS. THIS WILL HELP TO PRESERVE THE VEGETATION AND ENABLE THE WET POND TO RECOVER MORE QUICKLY FROM THE CLEANING.

▲
-ADDED MISSING SHEET NUMBER

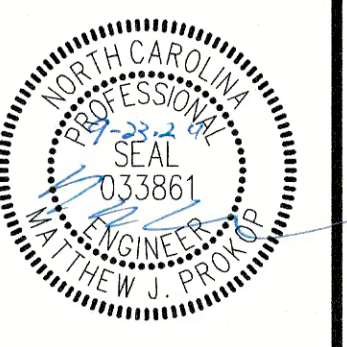
Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Administrator

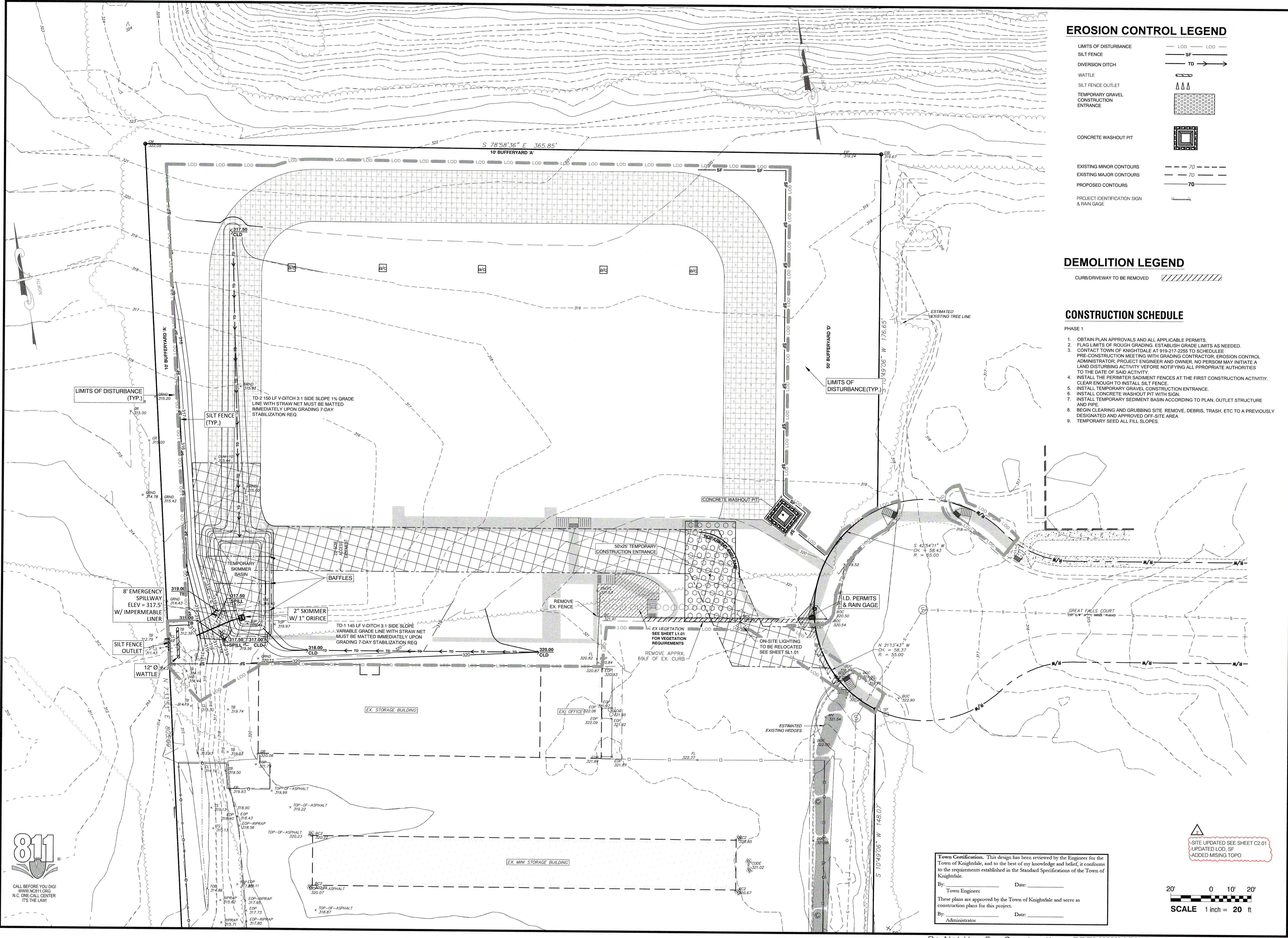
NC License: F-0384
Rivers
& ASSOCIATES, INC.
107 East Second Street
Greenville, NC 27858
(252) 752-4135
Engineers
Planners
Surveyors
Landscape Architects



REVISIONS:		DATE	BY
3	MASTER PLAN COMMENTS	09/23/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	
			NO.

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
STORMWATER DETAILS

DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: 1" = 20'
SHEET No. **C4.02**



EROSION CONTROL LEGEND

- LIMITS OF DISTURBANCE — LOD — LOD —
- SILT FENCE — SF —
- DIVERSION DITCH — TD —
- WATTLE —
- SILT FENCE OUTLET —
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE —
- CONCRETE WASHOUT PIT —
- EXISTING MINOR CONTOURS — 70 —
- EXISTING MAJOR CONTOURS — 70 —
- PROPOSED CONTOURS — 70 —
- PROJECT IDENTIFICATION SIGN & RAIN GAGE —

DEMOLITION LEGEND

- CURB/DRIVEWAY TO BE REMOVED —

CONSTRUCTION SCHEDULE

- PHASE 1
1. OBTAIN PLAN APPROVALS AND ALL APPLICABLE PERMITS.
 2. FLAG LIMITS OF ROUGH GRADING. ESTABLISH GRADE LIMITS AS NEEDED.
 3. CONTACT TOWN OF KNIGHTDALE AT 919-217-2255 TO SCHEDULE PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR, PROJECT ENGINEER AND OWNER. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING ALL APPROPRIATE AUTHORITIES TO THE DATE OF SAID ACTIVITY.
 4. INSTALL THE PERIMETER SEDIMENT FENCES AT THE FIRST CONSTRUCTION ACTIVITY. CLEAR ENOUGH TO INSTALL SILT FENCE.
 5. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
 6. INSTALL CONCRETE WASHOUT PIT WITH SIGN.
 7. INSTALL TEMPORARY SEDIMENT BASIN ACCORDING TO PLAN, OUTLET STRUCTURE AND PIPE.
 8. BEGIN CLEARING AND GRUBBING SITE. REMOVE, DEBRIS, TRASH, ETC TO A PREVIOUSLY DESIGNATED AND APPROVED OFF-SITE AREA.
 9. TEMPORARY SEED ALL FILL SLOPES.

NC License F-0339
Rivers & Associates, Inc.
 Engineers, Planners, Surveyors, Landscape Architects
 107 East Second Street
 Greenville, NC 27838
 (252) 752-4138



REVISIONS:			
NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	09/23/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/01/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL PLAN

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No. **C5.01**

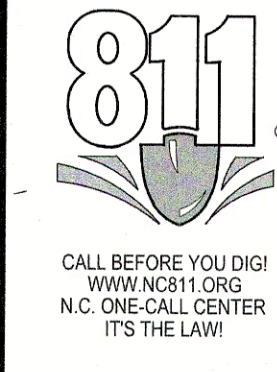
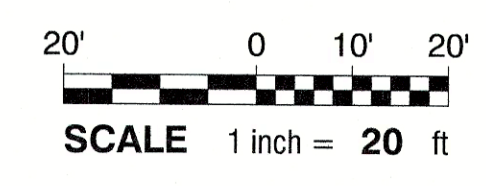
Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
 Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
 Administrator

△
 SITE UPDATED SEE SHEET C2.01
 *UPDATED LOD, SF
 *ADDED MISSING TOPO



GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCGO CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCGO Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications on this plan sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Stabilize within this many calendar days after causing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10 feet or less in length and are not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(d) Slopes 3:1 to 4:1	14	-10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers. Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Perennial grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds on or near paved traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

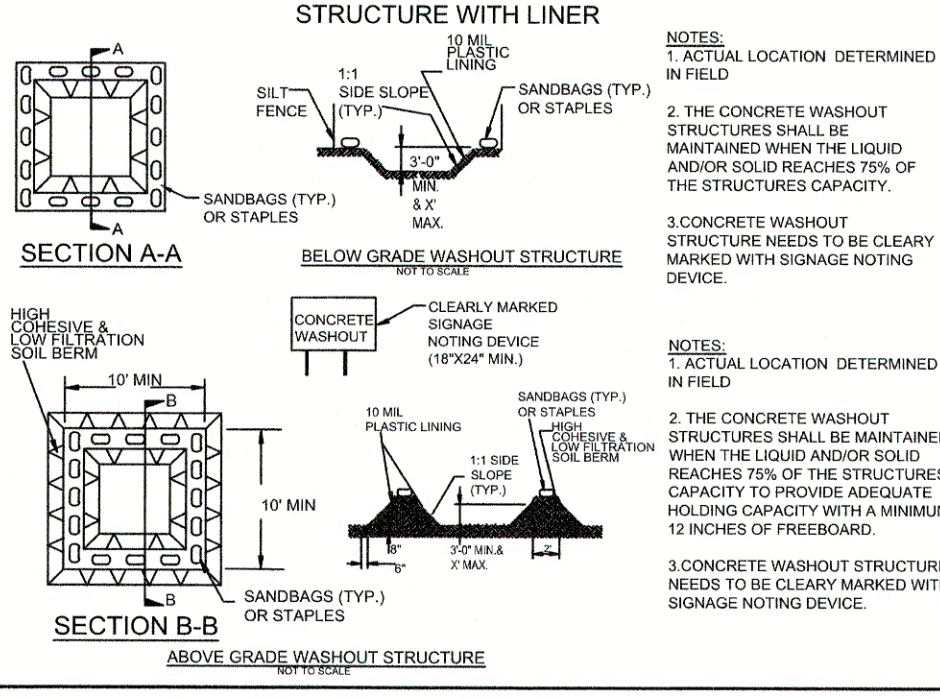
EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

ONSITE CONCRETE WASHOUT STRUCTURE WITH LINER



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and with lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spill or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean areas immediately.
- Do not stockpile these materials onsite.

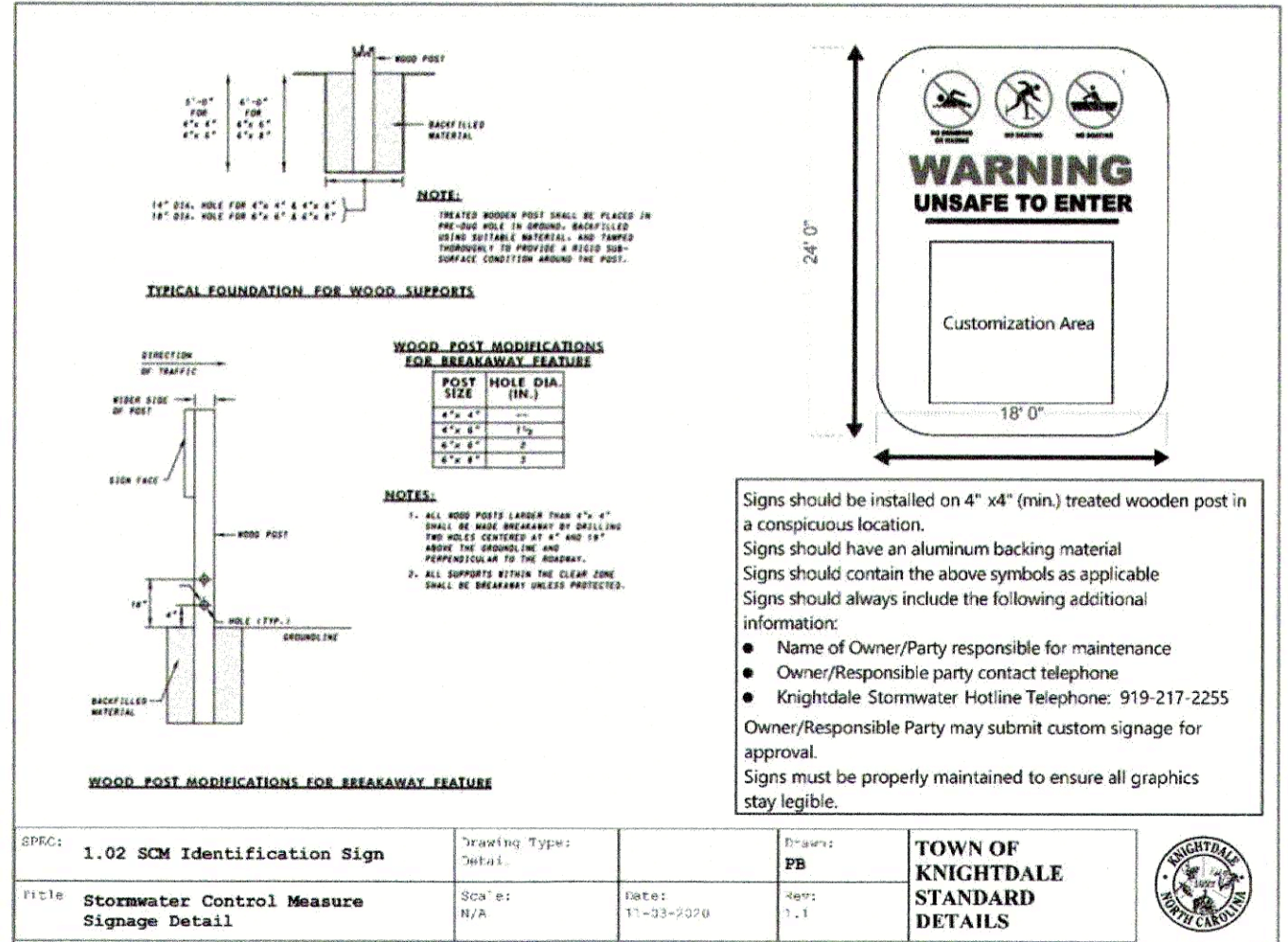
SITE AREA DESCRIPTION	NEW STABILIZATION TIMEFRAMES	
	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, SLOPES	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
SLOPES STEEPER THAN 3:1	7 DAYS	NONE EXCEPT FOR PERIMETER AND HQW ZONES
SLOPES 3:1 OR FLATTER	14 DAYS	NONE
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE

CONSTRUCTION SCHEDULE

- PHASE 1
- OBTAIN PLAN APPROVALS AND ALL APPROVALS AND ALL APPLICABLE PERMITS.
 - FLAG LIMITS OF ROUGH GRADING.
 - HOLD PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR (252-329-4888) PROJECT ENGINEER AND OWNER BEFORE WORK BEGINS.
 - INSTALL THE PERIMETER SEDIMENT FENCES AS THE FIRST CONSTRUCTION ACTIVITY.
 - INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
 - INSTALL CONCRETE WASHOUT PIT WITH SIGN.
 - INSTALL TEMPORARY SEDIMENT TRAP AND TEMPORARY DIVERSION SWALE PER PLAN.
 - BEGIN CLEARING AND GRUBBING SITE IN DESIGNATED AREAS AND STOCKPILE IN DESIGNATED AREA.
- PHASE 2
- INSTALL STORM DRAINAGE PIPING AND END OF DAY MEASURES.
 - INSTALL HARDWARE CLOTH AND INLET PROTECTION AROUND ALL INLET CATCH BASINS.
 - BEGIN IMPORTING FILL FOR THE CONSTRUCTION OF THE BUILDING PAD AND DRIVE AREAS.
 - FINAL GRADE THE BUILDING PAD, FINE GRADE AND POUR SIDEWALK AND LAY DOWN GRAVEL.
 - INSTALL DROP INLETS AND GRATES. REPLACE ROCK INLET PROTECTION WITH SEDIMENT BASINS.
 - PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES 14 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING FOR SLOPES 3:1 OR FLATTER INCLUDING ALL OTHER SLOPES 4:1 OR FLATTER. PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING FOR SLOPES 3:1 OR STEEPER.
 - CONSTRUCT PERMANENT SCM.
 - ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED BY THE STATE, OWNER, OR CITY ENGINEER IF DEEMED NECESSARY.
 - AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES, FINE GRADE DISTURBED AREAS, AND INSTALL PERMANENT VEGETATION ON THE DISTURBED AREAS.
 - MAINTAIN PERMANENT VEGETATION BY TOP DRESSING WITH 700 LBS PER ACRE OF FERTILIZER EVERY 6 MONTHS UNTIL COMPLETION OF THE PROJECT.
 - WITHIN 6' OF FINAL GRADE, RE-DISTRIBUTE 6' OF TOP SOIL.
 - FINE GRADE, PERMANENTLY SEED AND MULCH ALL-LANDSCAPED AREAS.
 - TEMPORARY EROSION CONTROL MEASURES TO REMAIN IN PLACE UNTIL +/- 80% STABILIZATION IS ACHIEVED.

EROSION CONTROL NOTES:

- ALL WORK WILL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES. NO LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL THE APPROPRIATE EROSION CONTROL MEASURE MAY PROCEED UNTIL MEASURES ARE INSPECTED AND APPROVED.
- FOLLOWING STRIPPING OF SITE, ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED. SILT FENCES SHALL BE PLACED ALONG PROPERTY LINES AS INDICATED ON PLANS TO PROTECT ADJACENT DEVELOPMENTS. ROCK INLET SEDIMENT TRAPS SHALL BE INSTALLED AROUND ALL DRAINAGE STRUCTURES TO COLLECT SURFACE RUNOFF AND CONTROL SILTATION AND RELEASE WATER AT A GRADUAL RATE. ALL DISTURBED AREAS WILL BE GRADED, SEEDED AND MULCHED.
- ALL SHOULDERS SHALL BE SEEDED TO STABILIZE THE SOIL. SEED BED PREPARATION SHALL BE CONDUCTED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (NCOTD). THE GROUND SURFACE SHALL BE CLEARED OF STUMPS, STONES, ROOTS, CABLES, WIRE, GRADE STAKES, AND OTHER MATERIALS THAT MIGHT HINDER PROPER GRADING, TILLAGE, SEEDING OR SUBSEQUENT MAINTENANCE OPERATIONS. GRADES ON THE AREA TO BE SEEDED SHALL BE MAINTAINED IN A TRUE AND EVEN CONDITION. MAINTENANCE SHALL INCLUDE ANY NECESSARY REPAIRS TO PREVIOUSLY GRADED AREAS. ALL GRADED AREAS SHALL BE THOROUGHLY TILLED TO A DEPTH OF AT LEAST FOUR (4) INCHES BY PLOWING, DISKING, HARROWING, OR OTHER APPROVED METHODS UNTIL THE CONDITION OF THE SOIL IS ACCEPTABLE. ON SITES WHERE SOIL CONDITIONS ARE SUCH THAT HIGH CLAY CONTENT AND EXCESSIVE COMPACTION CAUSE DIFFICULTY IN GETTING COMPLETION OF ANY PHASE OF GRADING, WHICHEVER PERIOD IS SHORTER, SLOPES SHALL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.



ITEM	DESCRIPTION	QUANTITY	UNIT	DATE
1.02	SCM Identification Sign	1	SIGN	11/12/2020
1111A	Stormwater Control Measure Signage Detail	1	SIGN	11/12/2020

SEEDING SCHEDULE

SEEDING PERIOD	SEEDING TYPE	APPLICATION RATE (LBS/ACRE)
AUGUST 15 - NOVEMBER 01	TALL FESCUE	300
NOVEMBER 01 - APRIL 15	TALL FESCUE AND ABRUZZI RYE	25
MARCH 01 - APRIL 15	TALL FESCUE	300
APRIL 15 - JUNE 30	HULLED COMMON BERMOUDAGRASS	25
JULY 01 - AUGUST 15	*BROWNTOP MILLET OR *SORGHUM-SUDAN HYBRIDS	30
MARCH 01 - JUNE 01	SERICEA LESPEDEZA (SCARIFIED) AND	50
MARCH 01 - APRIL 15	TALL FESCUE OR	120
MARCH 01 - JUNE 30	WEeping LOVEGRASS OR HULLED COMMON BERMOUDAGRASS	10
JUNE 01 - SEPTEMBER 01	*TALL FESCUE AND *BROWNTOP MILLET OR *SORGHUM-SUDAN HYBRIDS	25
SEPTEMBER 01 - MARCH 01	SERICEA LESPEDEZA (UNHULLED, UNSCARIFIED) AND TALL FESCUE OR	30
NOVEMBER 01 - MARCH 01	ABRUZZI RYE	120

REVISIONS

NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	09/23/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

SEEDING SCHEDULE

DATE	DESCRIPTION	STD. NO.
	TOWN OF KNIGHTDALE STANDARD DETAILS	2.01

GROUND COVER - WHEREVER LAND DISTURBING ACTIVITY IS UNDERTAKEN ON A TRACT COMPRISING MORE THAN ONE (1) ACRE, A GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE PLANTED OR PROVIDED WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS.

GRADED SLOPES AND FILLS - WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS, OR COMPLETION OF ANY PHASE OF GRADING, WHICHEVER PERIOD IS SHORTER, SLOPES SHALL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.

NCG-01 GROUND COVER & MATERIALS HANDLING

PART II, SECTION G, ITEM (4)

DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&S&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S&S plan authority has approved these items.
- The non-surface withdrawal has been reported as anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
- Dewatering operations are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be jeopardized, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event occurs equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those matters days (this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "Zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&S&S Measures	At least once per calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours.	1. Identification of the measures inspected 2. Date and Time of the inspection 3. Name of the person performing the inspection 4. Indication of whether the measures were operating properly 5. Description of maintenance needs for the measure 6. Description, Evidence, and date of corrective actions taken
(3) Stormwater discharge outfalls (SDOs)	At least once per calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours.	1. Identification of the discharge outfalls inspected 2. Date and Time of the inspection 3. Name of the person performing the inspection 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration 5. Indication of visible sediment leaving the site 6. Description, Evidence, and date corrective actions taken
(4) Perimeter of Site	At least once per calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours.	If visible Sedimentation is found outside site limits, then record the following: 1) Actions taken to clean up or stabilize sediment that has left the site limits. 2) Description, Evidence and date of corrective actions taken 3) An explanation as to the actions taken to control future releases
(5) Streams or wetlands on-site (where accessible)	At least once per calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours.	If the stream or wetland has increased visible sedimentation or has visible increased turbidity from the construction activity, then a record of the following shall be made: 1) Description, Evidence and date of corrective actions taken 2) Records of required reports to the appropriate Division Regional Office per Part III, Section C, Item(2)(a) of this permit
(6) Ground Stabilization Measures	After each phase of grading.	1. The phase of grading (installation of perimeter E&S&S measures, clearing and grubbing, installation of storm drainage facilities or completion of stabilization activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&S&S Plan Documentation:
The approved E&S&S plan as well as any approved deviation shall be kept on the site. The approved E&S&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S&S plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Document Requirements
(a) Each E&S&S measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S&S plan.	Initial and date each E&S&S measure on a copy of the approved E&S&S plan or complete, date and sign an inspection report that lists each E&S&S measure shown on the approved E&S&S plan. This documentation is required upon the initial installation of the E&S&S measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S&S plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S&S plan.	Initial and date a copy of the approved E&S&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S&S measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S&S measures.	Initial and date a copy of the approved E&S&S plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&S&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
 - Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- 3. Documentation to be Retained for Three Years**
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

- Permittees shall report the following occurrences:
- Visible sediment deposition in a stream or wetland.
 - Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
 - Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.65.
 - Anticipated bypasses and unanticipated bypasses.
 - Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframe (After Discovery) and Other Requirements
(a) Visible sediment	• Within 24 hours, an oral or electronic notification. • Within 7 Calendar Days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. • Division staff may waive the requirement for a written report on a case-by-case basis.
(b) Oil spills and release of hazardous substances per item (b)(c) above	• If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions. • Within 24 Hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	• Within 24 Hours, an oral or electronic notification • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(j)(7)]	• Within 24 Hours, an oral or electronic notification • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.

NCG01- SELF INSPECTION

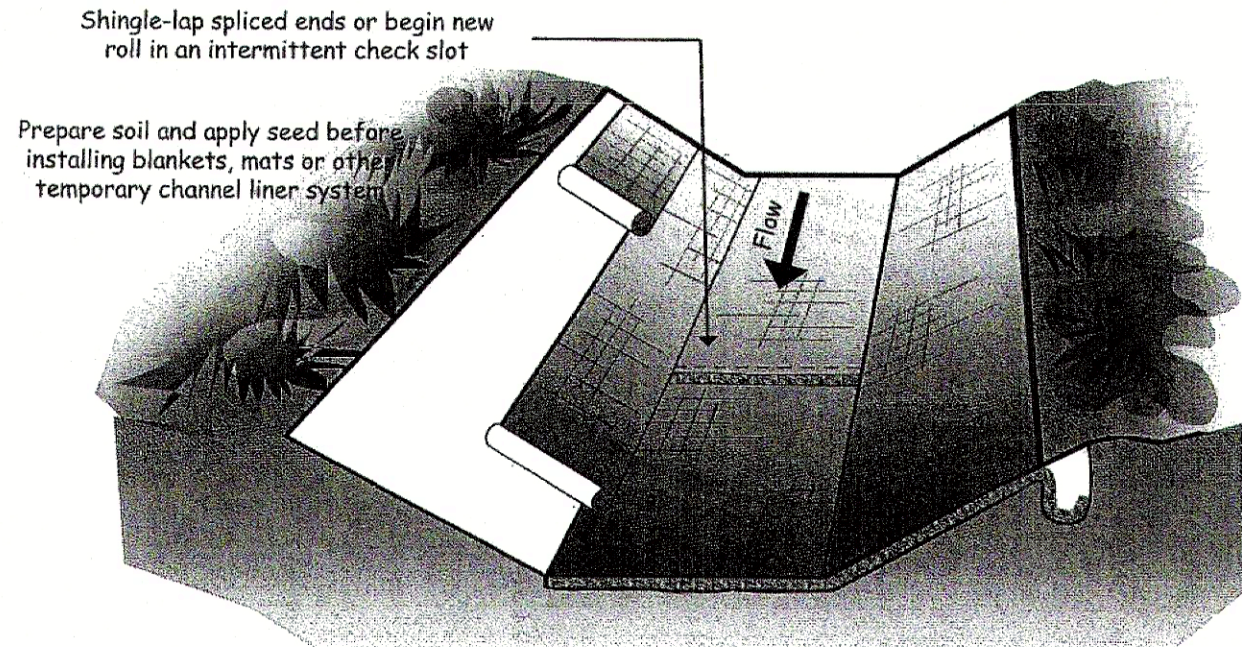
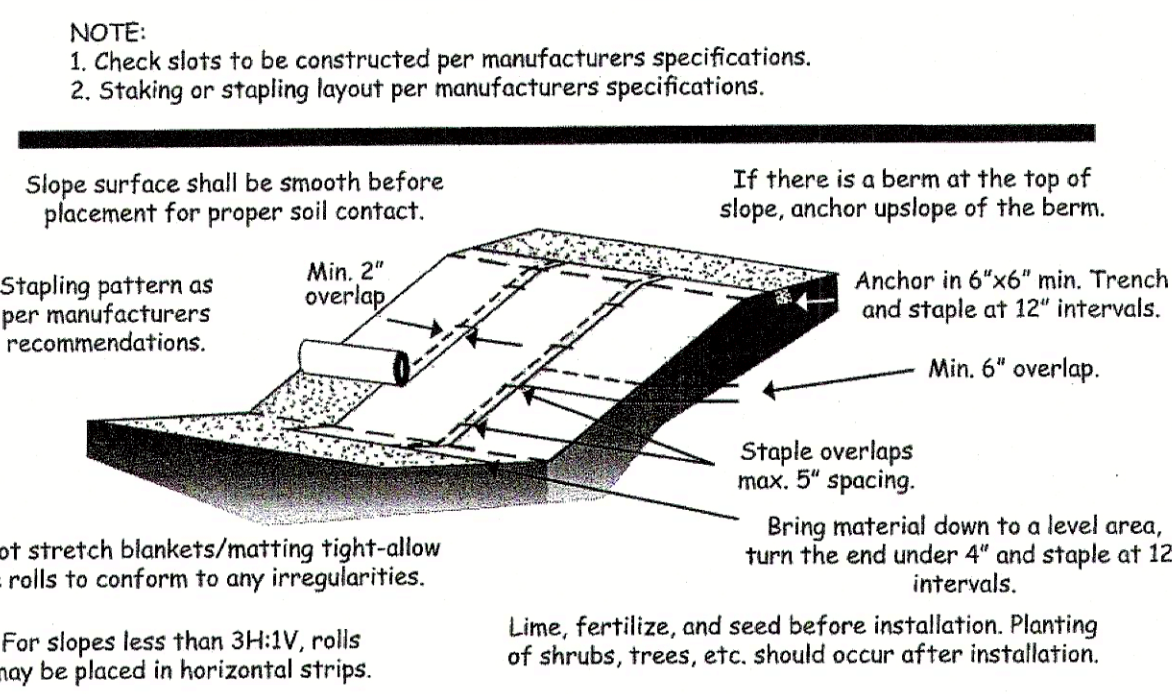
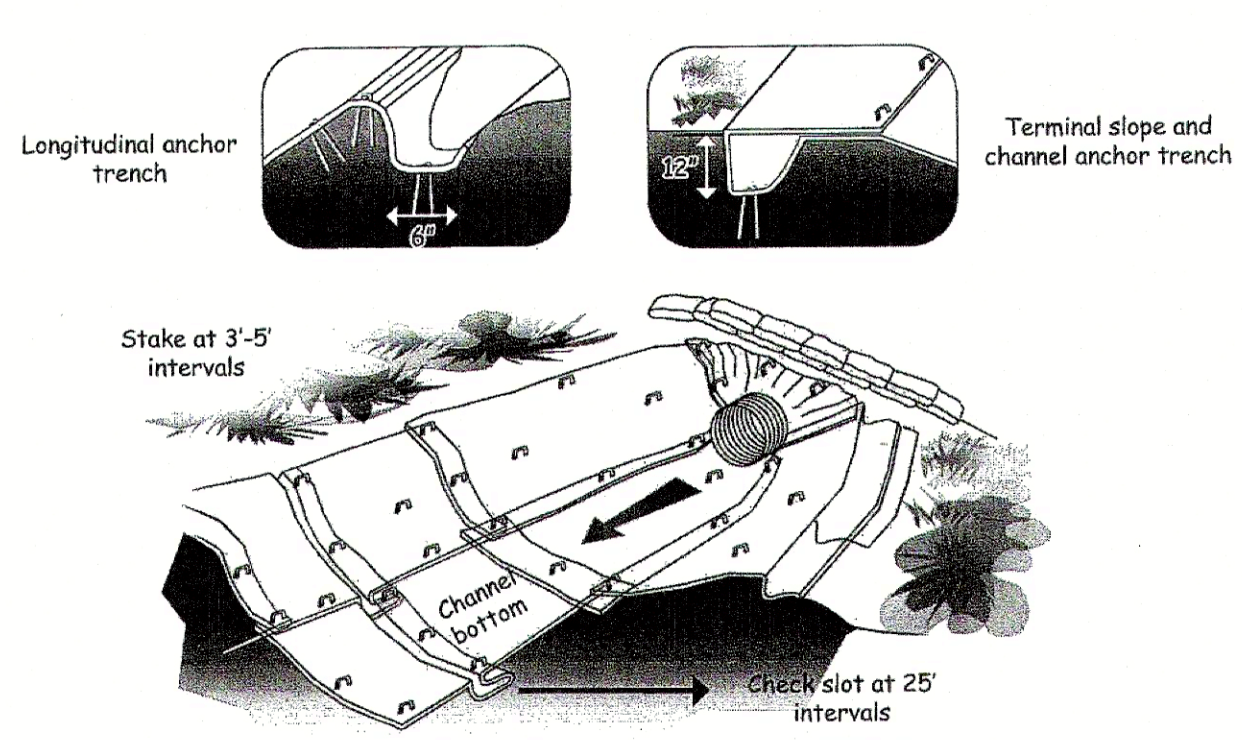
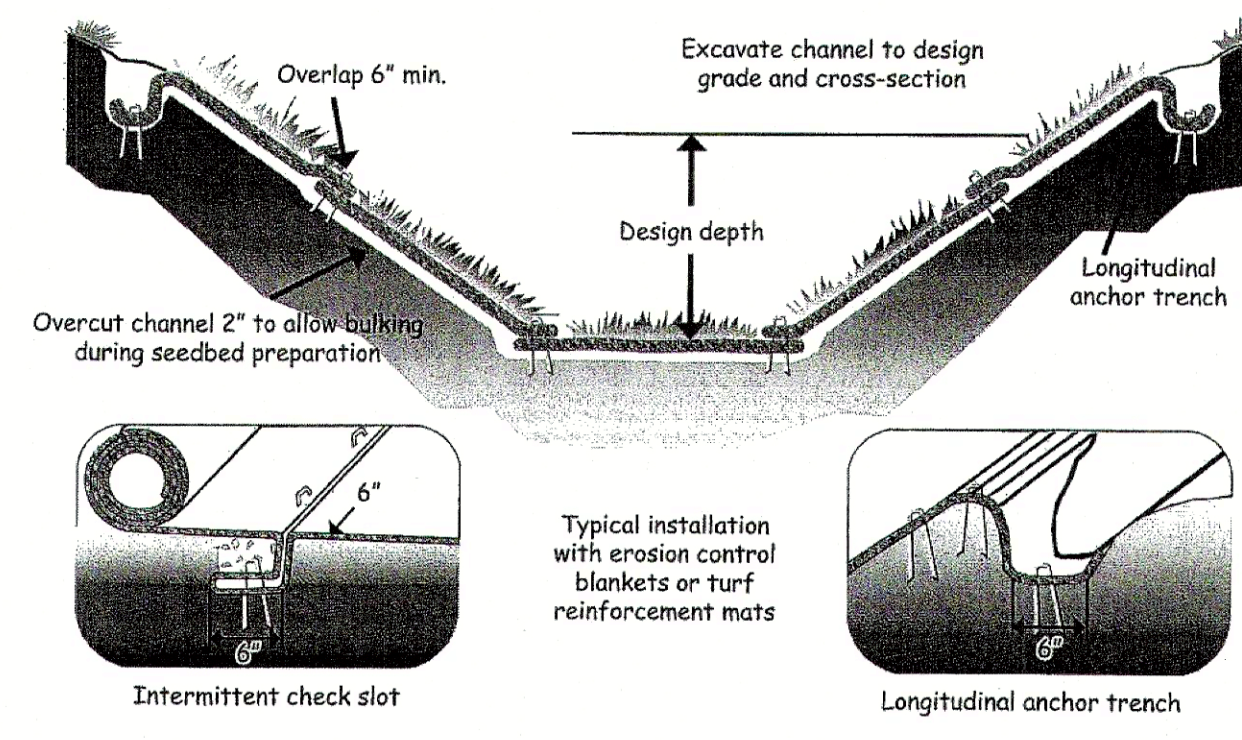


REVISIONS:

NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	09/23/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

RECP DETAIL

N.T.S.



NOTES:
 1. Design velocities exceeding 2 ft/sec require temporary blankets, mats or similar liners to protect seed and soil until vegetation becomes established.
 2. Grass-lined channels with design velocities exceeding 6 ft/sec should include turf reinforcement mats

LINER

CONSTRUCTION SPECIFICATIONS

EVEN IF PROPERLY DESIGNED, IF NOT PROPERLY INSTALLED, RECP'S WILL PROBABLY NOT FUNCTION AS DESIRED. PROPER INSTALLATION IS IMPERATIVE. EVEN IF PROPERLY INSTALLED, IF NOT PROPERLY TIMED AND NOURISHED, VEGETATION WILL PROBABLY NOT GROW AS DESIRED. PROPER SEED/VEGETATION SELECTION IS ALSO IMPERATIVE.

GRADE THE SURFACE OF INSTALLATION AREAS SO THAT THE GROUND IS SMOOTH AND LOOSE. WHEN SEEDING PRIOR TO INSTALLATION, FOLLOW THE STEPS FOR SEED BED PREPARATION, SOIL AMENDMENTS, AND SEEDING IN SURFACE STABILIZATION, 6.1. ALL GULLIES, RILLS, AND ANY OTHER DISTURBED AREAS MUST BE FINE GRADED PRIOR TO INSTALLATION. SPREAD SEED BEFORE RECP INSTALLATION. (IMPORTANT: REMOVE ALL LARGE ROCKS, DIRT CLUMPS, STUMPS, ROOTS, GRASS CLUMPS, TRASH, AND OTHER OBSTRUCTIONS FROM THE SOIL SURFACE TO ALLOW FOR DIRECT CONTACT BETWEEN THE SOIL SURFACE AND THE RECP).

TERMINAL ANCHOR TRENCHES ARE REQUIRED AT RECP ENDS AND INTERMITTENT TRENCHES MUST BE CONSTRUCTED ACROSS CHANNELS AT 25-FOOT INTERVALS. TERMINAL ANCHOR TRENCHES SHOULD BE A MINIMUM OF 12 INCHES IN DEPTH AND 6 INCHES IN WIDTH, WHILE INTERMITTENT TRENCHES NEED BE ONLY 6 INCHES DEEP AND 6 INCHES WIDE.

INSTALLATION FOR SLOPES - PLACE THE RECP 2-3 FEET OVER THE TOP OF THE SLOPE AND INTO AN EXCAVATED END TRENCH MEASURING APPROXIMATELY 12 INCHES DEEP BY 6 INCHES WIDE. PIN THE RECP AT 1 FOOT INTERVALS ALONG THE BOTTOM OF THE TRENCH, BACKFILL, AND COMPACT. UNROLL THE RECP DOWN (OR ALONG) THE SLOPE MAINTAINING DIRECT CONTACT BETWEEN THE SOIL AND THE RECP. OVERLAP ADJACENT ROLLS A MINIMUM OF 3 INCHES. PIN THE RECP TO THE GROUND USING STAPLES OR PINS IN A 3 FOOT CENTER-TO-CENTER PATTERN. LESS FREQUENT STAPLING/PINNING IS ACCEPTABLE ON MODERATE SLOPES.

INSTALLATION IN CHANNELS - EXCAVATE TERMINAL TRENCHES (12 INCHES DEEP AND 6 INCHES WIDE) ACROSS THE CHANNEL, AT THE UPPER AND LOWER END OF THE LINED CHANNEL SECTIONS. AT 25 FOOT INTERVALS ALONG THE CHANNEL, ANCHOR THE RECP ACROSS THE CHANNEL EITHER IN 6 INCH BY 6 INCH TRENCHES OR BY INSTALLING TWO CLOSELY SPACED ROWS OF ANCHORS. EXCAVATE LONGITUDINAL TRENCHES 6 INCHES DEEP AND WIDE ALONG CHANNEL EDGES (ABOVE WATER LINE) IN WHICH TO BURY THE OUTSIDE RECP EDGES. PLACE THE FIRST RECP AT THE DOWNSTREAM END OF THE CHANNEL. PLACE THE END OF THE FIRST RECP IN THE TERMINAL TRENCH AND PIN IT AT 1 FOOT INTERVALS ALONG THE BOTTOM OF THE TRENCH.

NOTE: THE RECP SHOULD BE PLACED UPSIDE DOWN IN THE TRENCH WITH THE ROLL IN THE DOWNSTREAM SIDE OF THE BENCH.

ONCE PINNED AND BACKFILLED, THE RECP IS DEPLOYED BY WRAPPING OVER THE TOP OF THE TRENCH AND UNROLLING UPSTREAM. IF THE CHANNEL IS WIDER THAN THE PROVIDED ROLLS, PLACE ENDS OF ADJACENT ROLLS IN THE TERMINAL TRENCH, OVERLAPPING THE ADJACENT ROLLS A MINIMUM OF 3 INCHES. PIN AT 1 FOOT INTERVALS, BACKFILL, AND COMPACT. UNROLL THE RECP IN THE UPSTREAM DIRECTION UNTIL REACHING THE FIRST INTERMITTENT TRENCH. FOLD THE RECP BACK OVER ITSELF, POSITIONING THE ROLL ON THE DOWNSTREAM SIDE OF THE TRENCH, AND ALLOWING THE MAT TO CONFORM TO THE TRENCH.

THEN PIN THE RECP (TWO LAYERS) TO THE BOTTOM OF THE TRENCH, BACKFILL, AND COMPACT. CONTINUE UP THE CHANNEL (WRAPPING OVER THE TOP OF THE INTERMITTENT TRENCH) REPEATING THIS STEP AT OTHER INTERMITTENT TRENCHES, UNTIL REACHING THE UPPER TERMINAL TRENCH.

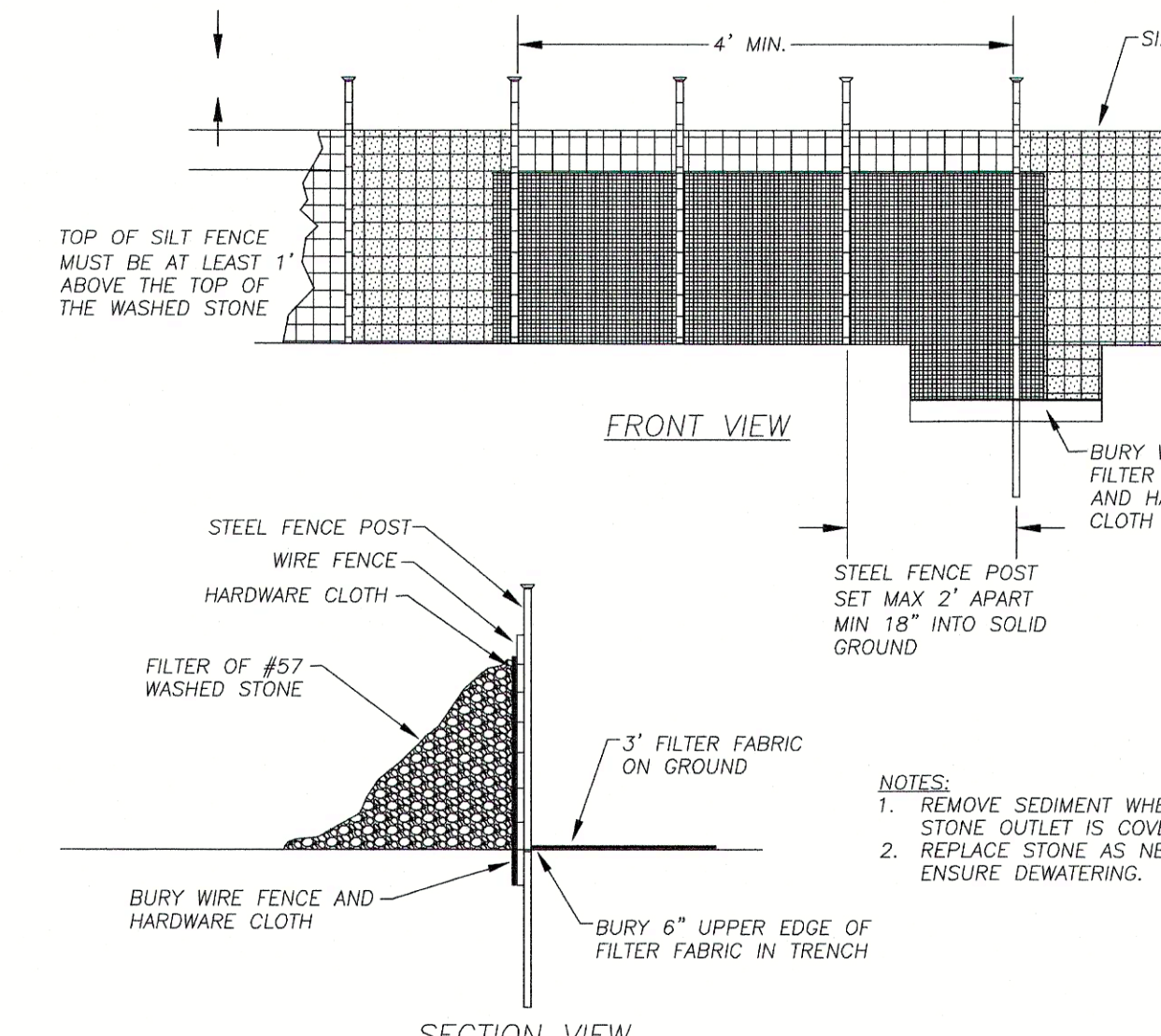
AT THE UPPER TERMINAL TRENCH, ALLOW THE RECP TO CONFORM TO THE TRENCH, SECURE WITH PINS OR STAPLES, BACKFILL, COMPACT AND THEN BRING THE MAT BACK OVER THE TOP OF THE TRENCH AND ONTO THE EXISTING MAT (2 TO 3 FEET OVERLAP IN THE DOWNSTREAM DIRECTION), AND PIN AT 1 FOOT INTERVALS ACROSS THE RECP. WHEN STARTING INSTALLATION OF A NEW ROLL, BEGIN IN A TRENCH OR SHINGLE-LAP ENDS OF ROLLS A MINIMUM OF 1 FOOT WITH UPSTREAM RECP ON TOP TO PREVENT UPLIFTING. PLACE THE OUTSIDE EDGES OF THE RECP(S) IN LONGITUDINAL TRENCHES, PIN, BACKFILL, AND COMPACT.

ANCHORING DEVICES - 11 GAUGE, AT LEAST 6 INCHES LENGTH BY 1 INCH WIDTH STAPLES OR 12 INCH MINIMUM LENGTH WOODEN STAKES ARE RECOMMENDED FOR ANCHORING THE RECP TO THE GROUND.

DRIVE STAPLES OR PINS SO THAT THE TOP OF THE STAPLE OR PIN IS FLUSH WITH THE GROUND SURFACE. ANCHOR EACH RECP EVERY 3 FEET ALONG ITS CENTER. LONGITUDINAL OVERLAPS MUST BE SUFFICIENT TO ACCOMMODATE A ROW OF ANCHORS AND UNIFORM ALONG THE ENTIRE LENGTH OF OVERLAP AND ANCHORED EVERY 3 FEET ALONG THE OVERLAP LENGTH. ROLL ENDS MAY BE SPLICED BY OVERLAPPING 1 FOOT (IN THE DIRECTION OF WATER FLOW), WITH THE UPSTREAM/UNIFORM MAT PLACED ON TOP OF THE DOWNSTREAM/DOWNSLOPE RECP. THIS OVERLAP SHOULD BE ANCHORED AT 1 FOOT SPACING ACROSS THE RECP. WHEN INSTALLING MULTIPLE WIDTH MATS HEAT SEALED IN THE FACTORY, ALL FACTORY SEAMS AND FIELD OVERLAPS SHOULD BE SIMILARLY ANCHORED.

MAINTENANCE

1. INSPECT ROLLED EROSION CONTROL PRODUCTS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAIN FALL EVENT REPAIR IMMEDIATELY.
2. GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED, AND EROSION MUST NOT OCCUR BENEATH THE RECP.
3. ANY AREAS OF THE RECP THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED.
4. IF EROSION OCCURS DUE TO POORLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA PROTECTED.
5. MONITOR AND REPAIR THE RECP AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED.



STANDARD SILT FENCE OUTLET
N.T.S.

SILT FENCE

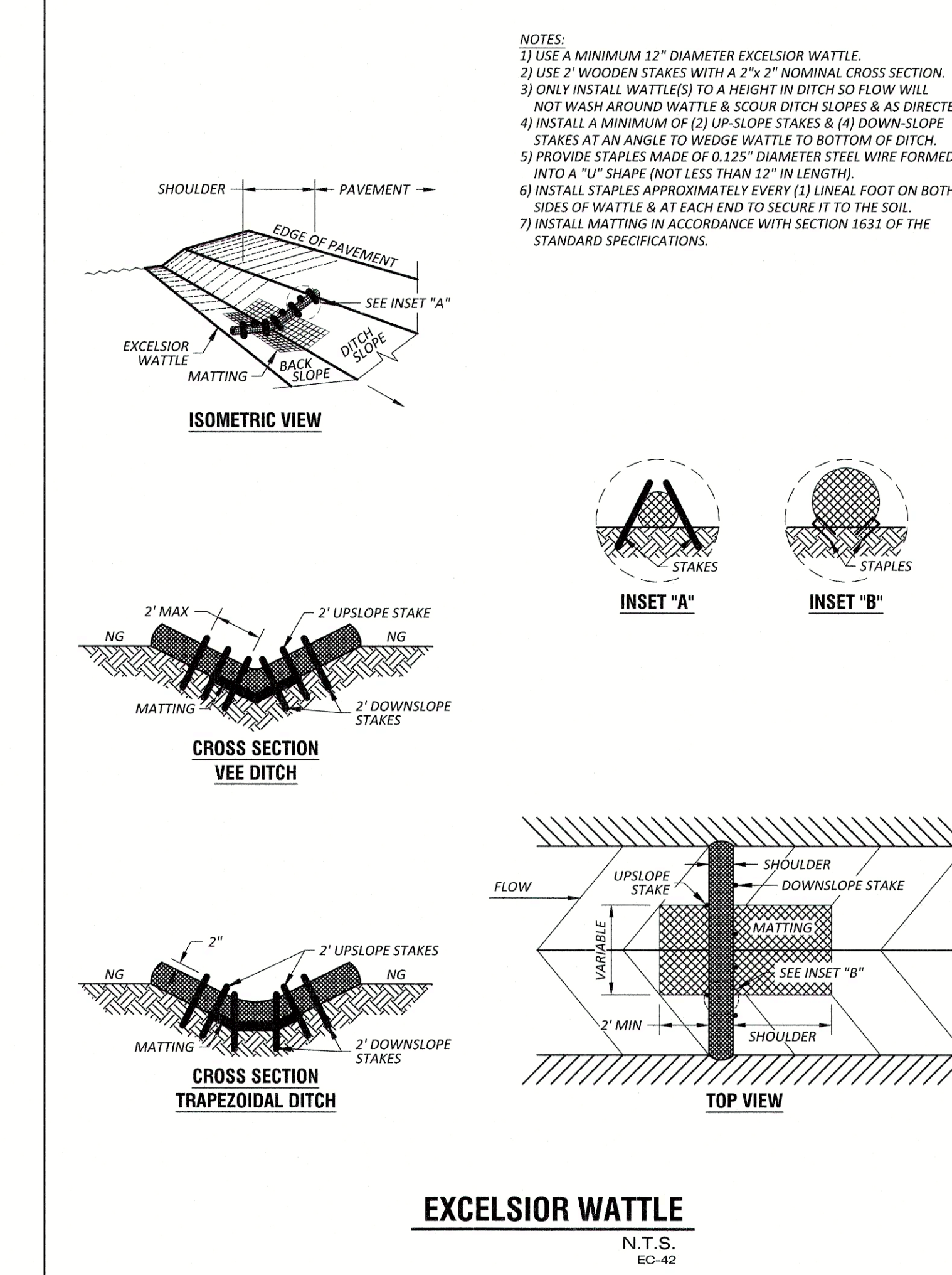
MAINTENANCE

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL, MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

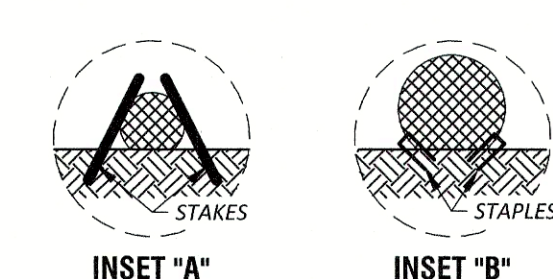
SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

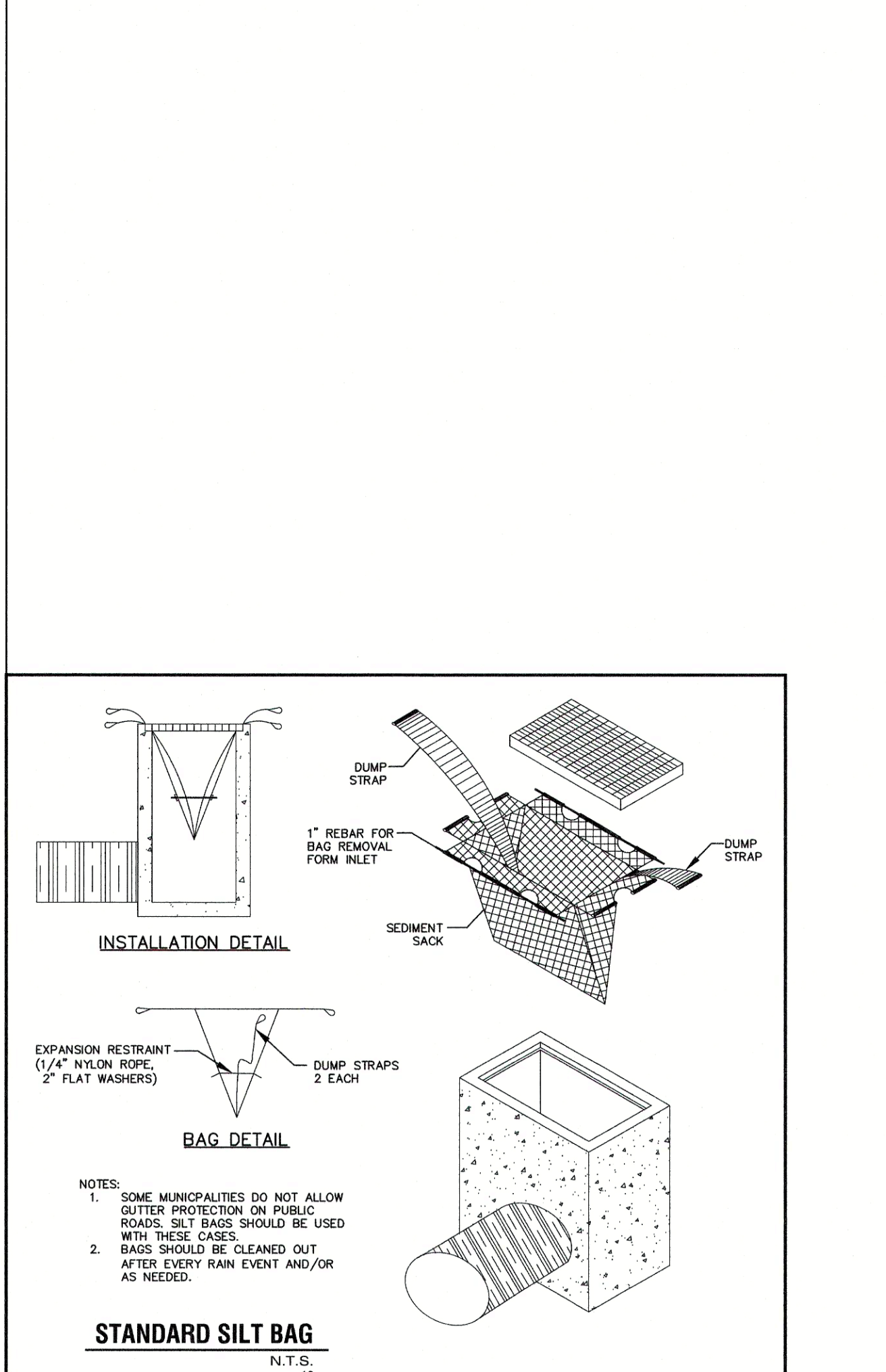
REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



NOTES:
 1) USE A MINIMUM 12" DIAMETER EXCELSIOR WATTLE.
 2) USE 2" WOODEN STAKES WITH A 2" x 2" NOMINAL CROSS SECTION.
 3) ONLY INSTALL WATTLE(S) TO A HEIGHT IN DITCH SO FLOW WILL NOT WASH AROUND WATTLE & SCOUR DITCH SLOPES & AS DIRECTED.
 4) INSTALL A MINIMUM OF (2) UPSLOPE STAKES & (4) DOWNSLOPE STAKES AT AN ANGLE TO WEDGE WATTLE TO BOTTOM OF DITCH.
 5) PROVIDE STAPLES MADE OF 0.125" DIAMETER STEEL WIRE FORMED INTO A "U" SHAPE (NOT LESS THAN 12" IN LENGTH).
 6) INSTALL STAPLES APPROXIMATELY EVERY (1) LINEAL FOOT ON BOTH SIDES OF WATTLE & AT EACH END TO SECURE IT TO THE SOIL.
 7) INSTALL MATTING IN ACCORDANCE WITH SECTION 1631 OF THE STANDARD SPECIFICATIONS.

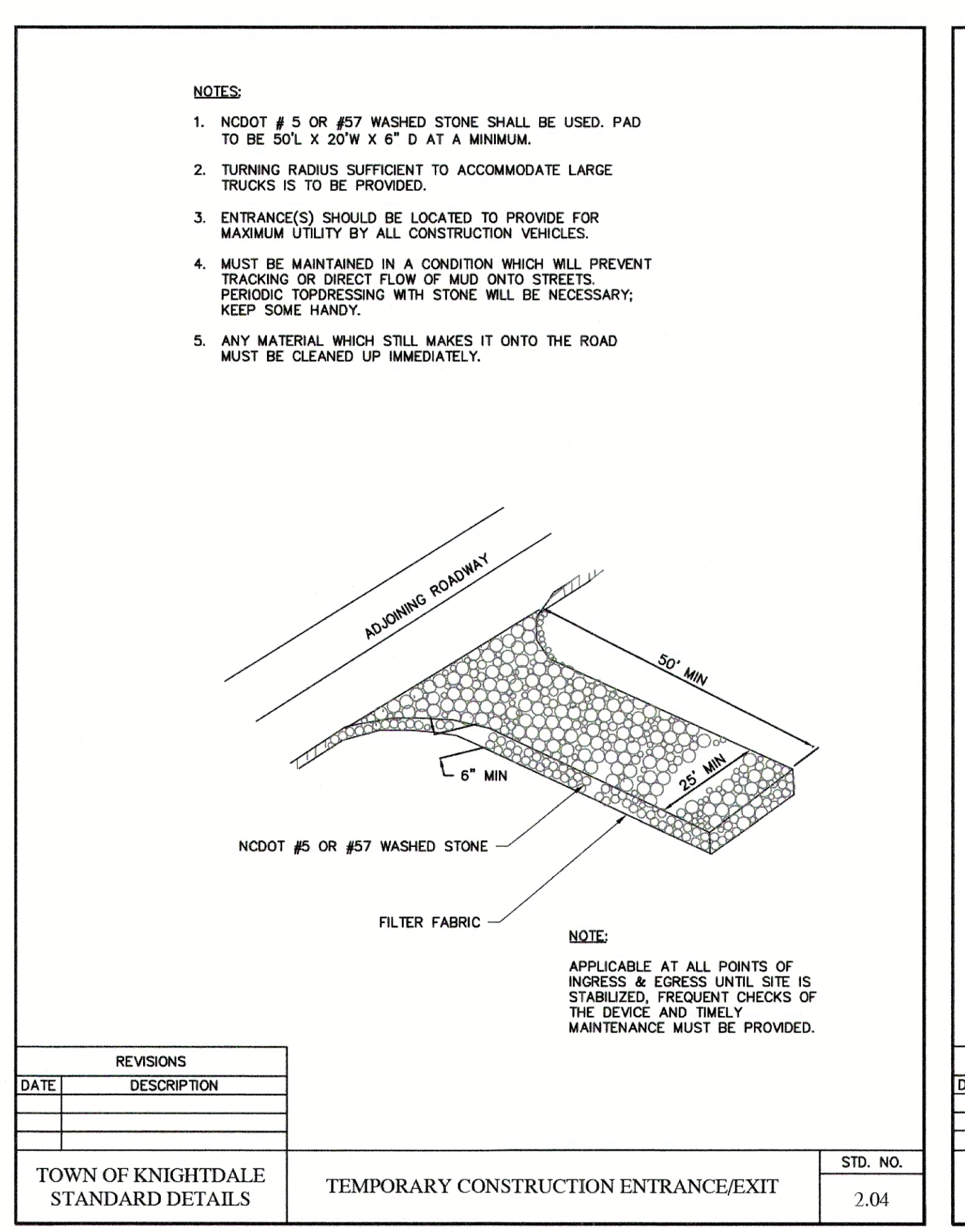


EXCELSIOR WATTLE
N.T.S. EC-42

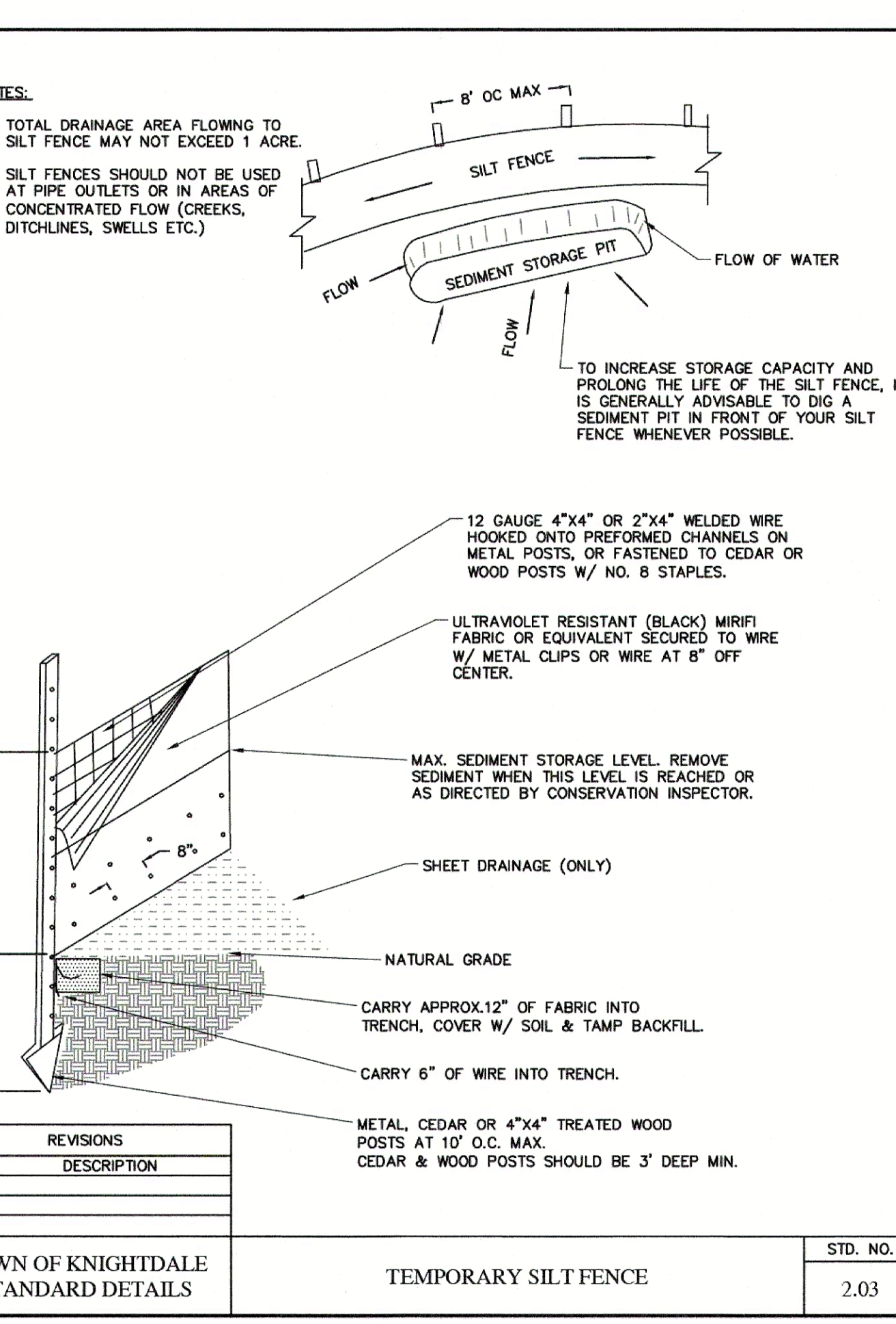


NOTES:
 1. SOME MUNICIPALITIES DO NOT ALLOW GUTTER PROTECTION ON PUBLIC ROADS. SILT BAGS SHOULD BE USED WITH THESE CASES.
 2. BAGS SHOULD BE CLEANED OUT AFTER EVERY RAIN EVENT AND/OR AS NEEDED.

STANDARD SILT BAG
N.T.S.



REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.04



REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.03

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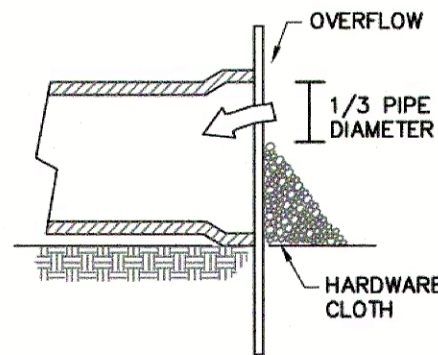
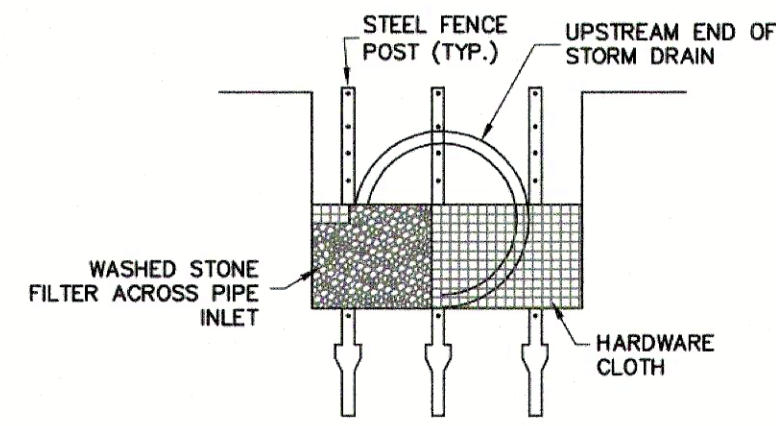
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3	MASTER PLAN COMMENTS	09/23/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

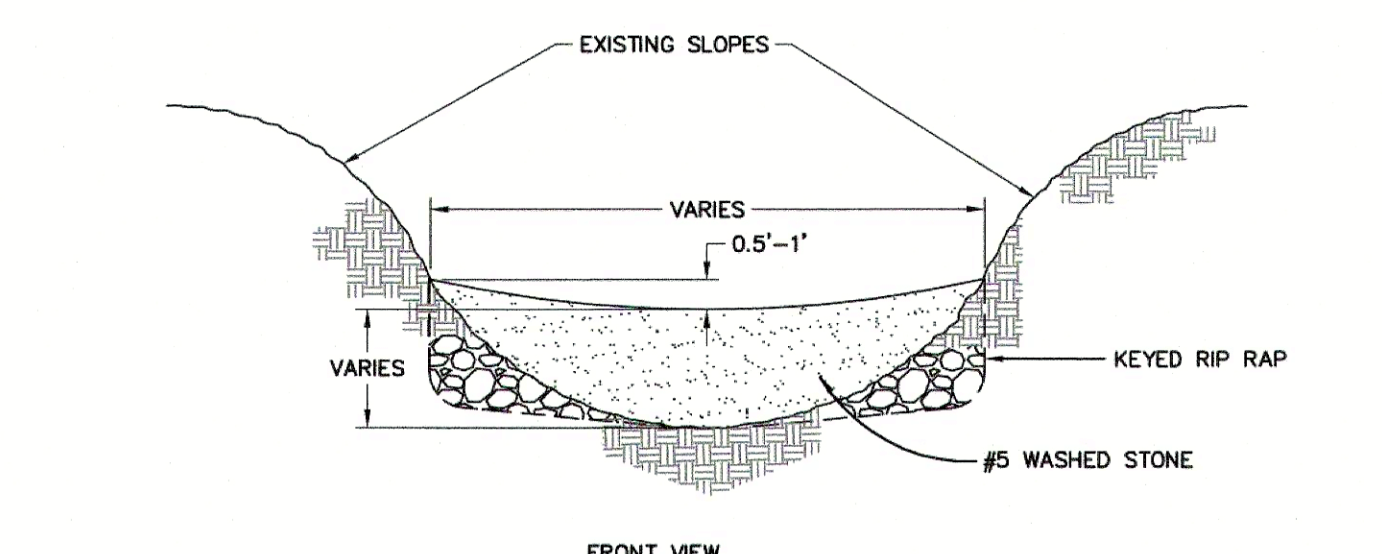
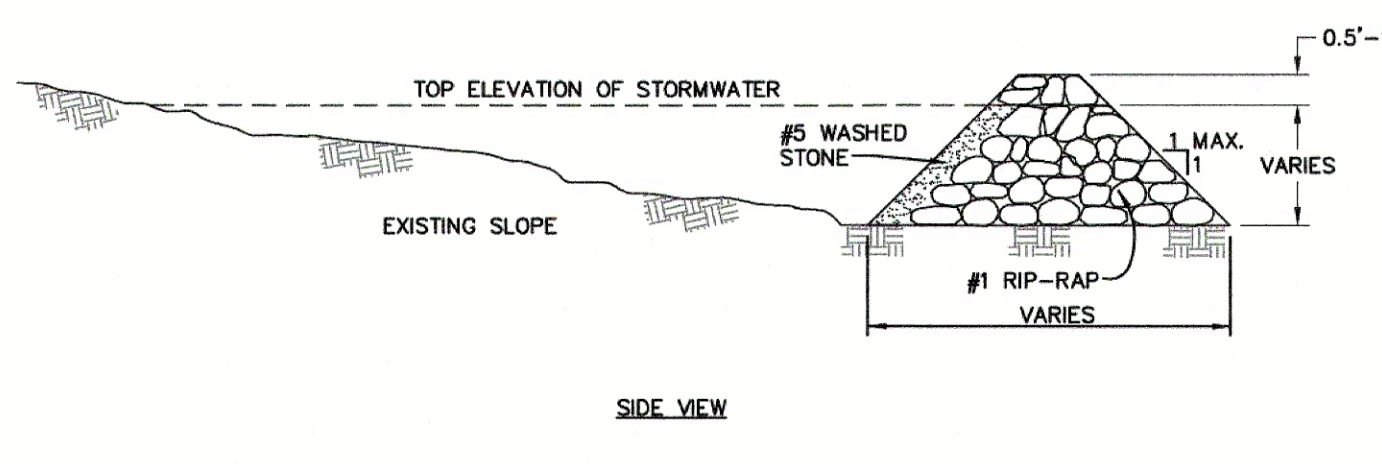
LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWPSP. - WAKE CO. - NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL DETAILS

DATE: **MAY 22, 2024**
 DESIGNED BY: **MJP**
 DRAWN BY: **EDN**
 CHECKED BY: **JSJ**
 PROJECT No. **2023008**
 DRAWING No. **W-4073-MP**
 SCALE: **1" = 20'**
 SHEET No. **C5.21**

NOTE:
ALL PARTIALLY COMPLETED STORM DRAINS SHALL BE PROTECTED AT THE END OF EACH DAY IN ACCORDANCE WITH THESE DRAWINGS.



REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.09

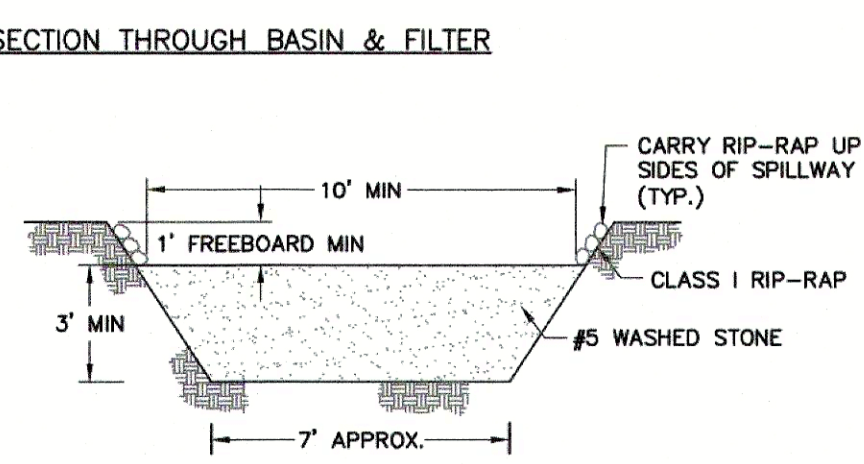
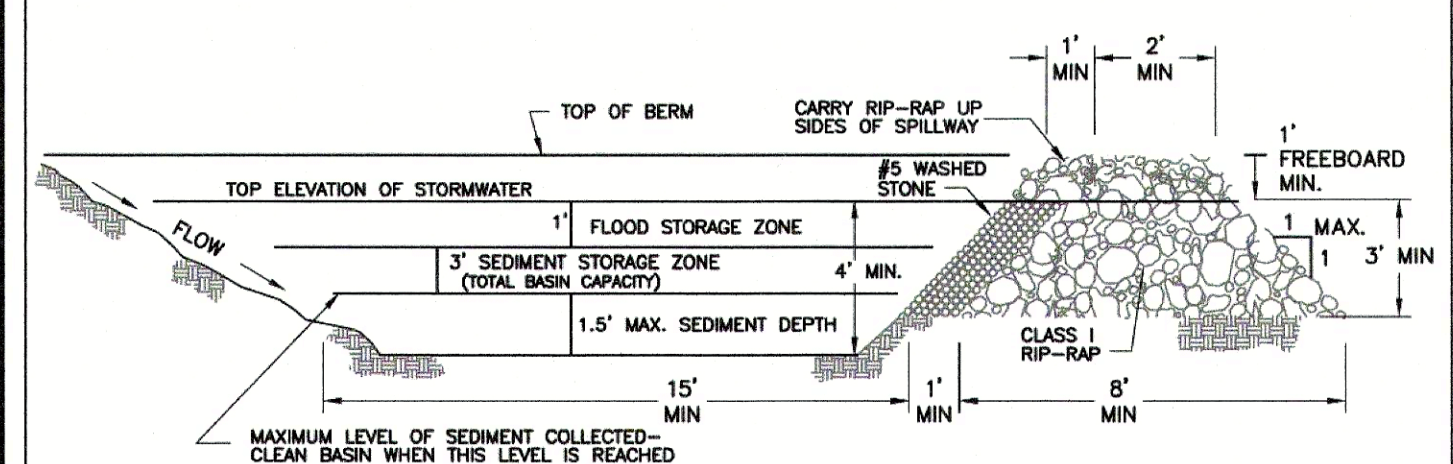


DESIGN OF SPILLWAYS

DRAINAGE AREA (ACRES)	MINIMUM WEIR LENGTH (FT)
1	4.0
2	6.0
3	8.0
4	10.0
5	12.0

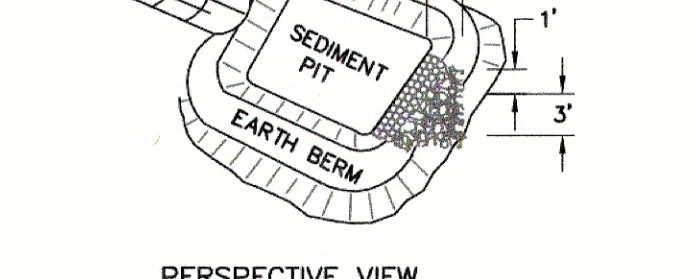
NOTES:
1. HEIGHT & WIDTH DETERMINED BY EXISTING TOPOGRAPHY AND SEDIMENT STORAGE REQUIRED.
2. KEY RIP RAP INTO THE DAM FOR STABILIZATION.

REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.05



SECTION THROUGH BASIN & FILTER

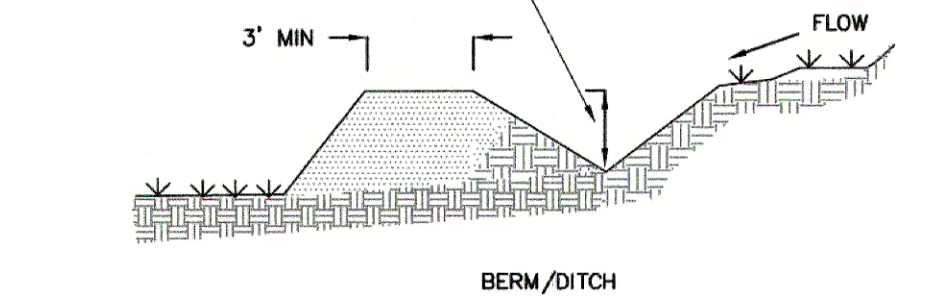
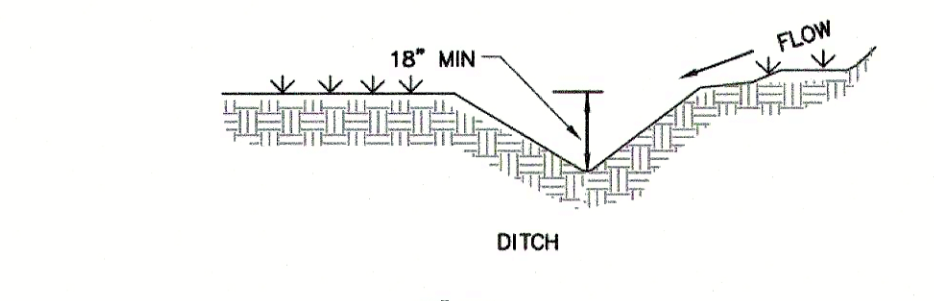
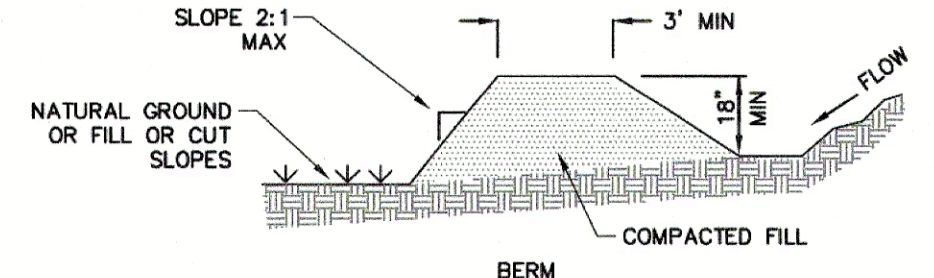
SECTION THROUGH BERM & FILTER



PERSPECTIVE VIEW

REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.07

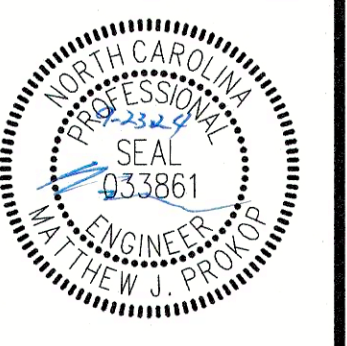
- NOTES:
1. MACHINE COMPACTION OF ALL FILL IS REQUIRED. DIVERSIONS SUFFICIENT TO DIRECT ALL SEDIMENT-LADEN STORMWATER INTO A SEDIMENT CONTROL DEVICE MUST BE INSTALLED PRIOR TO CLEARING AND GRUBBING OF THE AREA (OR IN CONJUNCTION WITH THIS OPERATION IF SEDIMENT CONTROLS AND DIVERSIONS ARE INSTALLED AS EACH CRITICAL POINT IS REACHED).
 2. DIVERSIONS SHOULD BE LOCATED TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS.
 3. DIVERSIONS SHOULD BE SEEDED AND MULCHED IF THEY ARE TO REMAIN IN PLACE OVER 30 DAYS.
 4. CHECK DEVICE AFTER EACH RAIN, BUT ONCE A WEEK REGARDLESS. REPAIR AS NECESSARY.



NOTE:
POSITIVE GRADE MUST BE PROVIDED TO ASSURE DRAINAGE. IF SLOPE EXCEEDS 2%, SEED AND MULCH DIVERSION. TRY NOT TO EXCEED 2% (HIGH VELOCITIES RESULT). MAXIMUM DRAINAGE AREA = 5 ACRES WITHOUT SUPPORTING CALC. DIVERSIONS AT THE TOP OF SLOPES MUST DUMP INTO AN APPROVED SLOPE DRAIN. BERM/DITCH IS MOST COMMONLY USED.

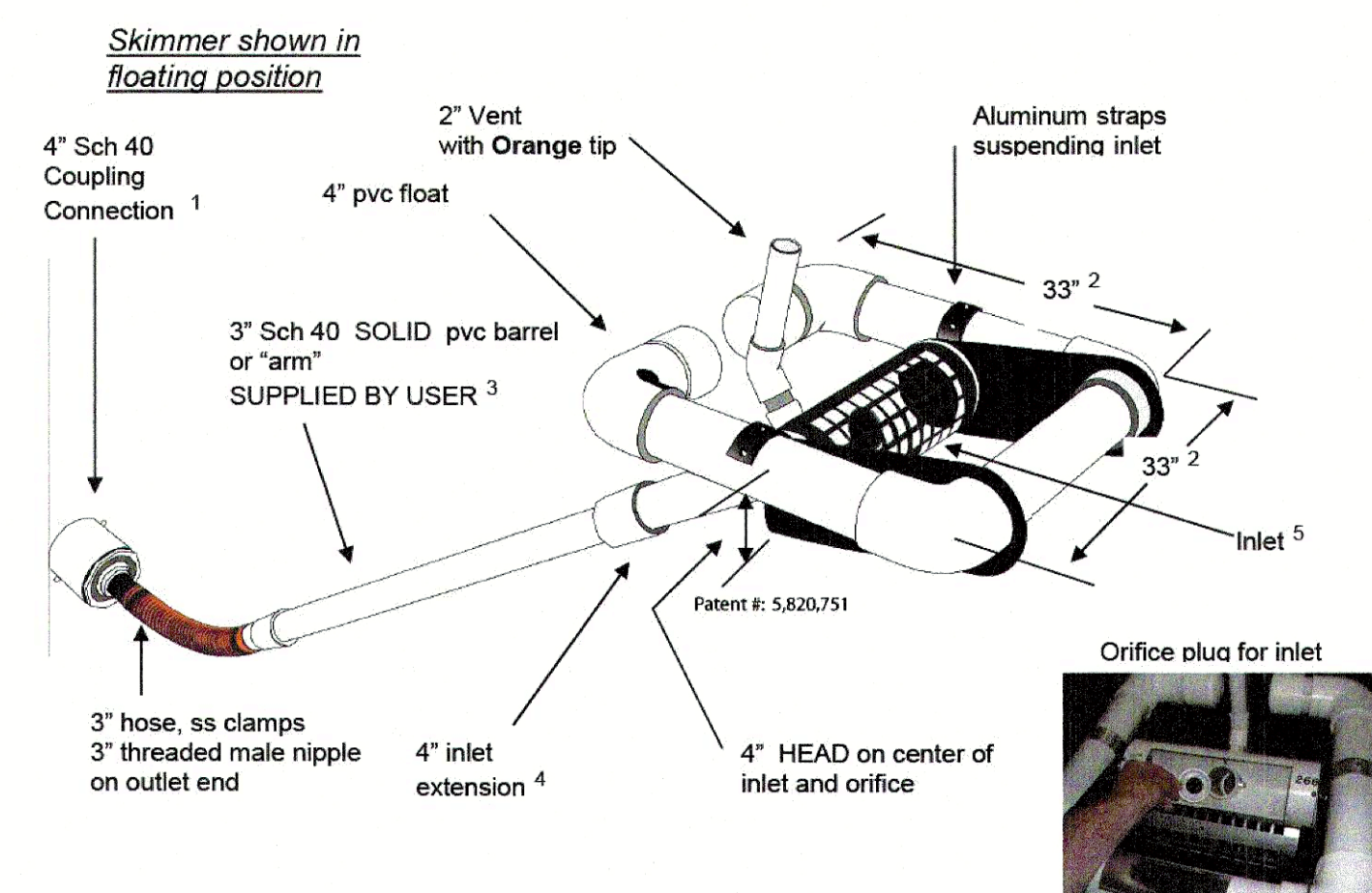
REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.02

NC License: F-0384
Rivers
RIVERS & ASSOCIATES, INC.
107 East Second Street
Greenville, NC 27658
(252) 752-4155
Engineers
Planners
Surveyors
Landscape Architects



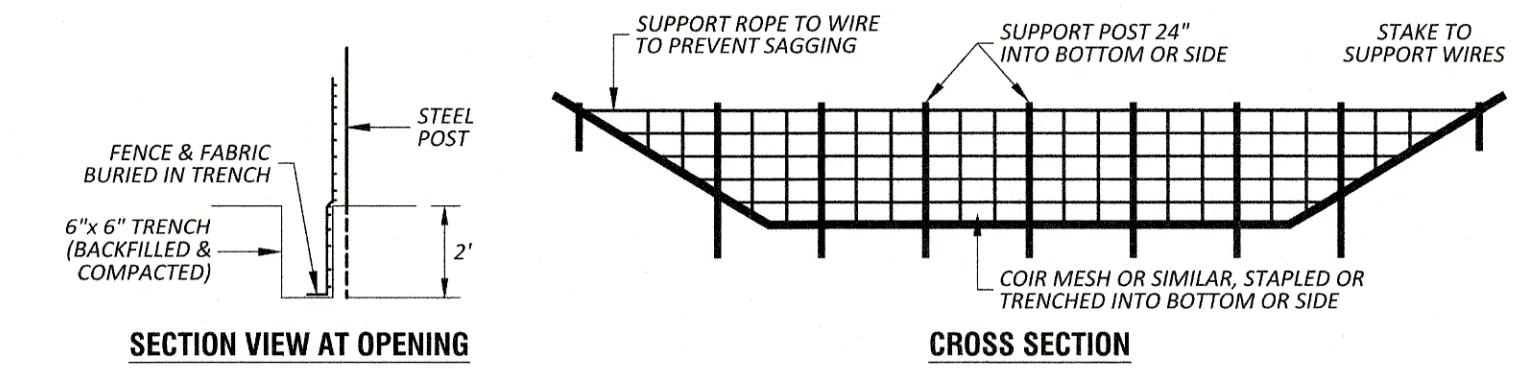
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
3	09/23/24	MASTER PLAN COMMENTS	
2	09/03/24	TOWN COUNCIL WORKSHOP	
1	05/21/24	MASTER PLAN - FIRST SUBMITTAL	

4" Faircloth Skimmer® Surface Drain Cut Sheet
J. W. Faircloth & Son, Inc.
www.FairclothSkimmer.com



1. Coupling can be removed and hose attached to outlet using the threaded 3" nipple. Typical methods used: on a metal structure a steel stubout welded on the side at the bottom with a 3" threaded coupling or reducers; on a concrete structure with a hole or orifice at the bottom, use a steel plate with a hole cut in it and coupling welded to it that will fit over the hole in the concrete and bolted to the structure with sealant. It is possible to grout a 4" PVC pipe in a hole in the concrete to connect the skimmer but this is less secure than other methods.
2. Dimensions are approximate, not intended as plans for construction.
3. Barrel (solid, not foam core pipe) should be 1.4 times the depth of water with a minimum length of 8' so the inlet can be pulled to the side for maintenance. If more than 10' long weight may have to be added to inlet to counter the increased buoyancy.
4. Inlet tapers down from 4" maximum inlet to a 3" barrel and hose. Barrel is smaller to reduce buoyancy and tendency to lift inlet but is sufficient for flow through inlet because of slope. The inlet orifice can be reduced using the plug and cutter provided to control the outflow rate.
5. Inlet is 8" pipe between the straps with slots cut in the inlet and aluminum screen door (smaller than shown in illustration) for access to the 4" inlet and orifice inside.
6. Capacity 20,109 cubic feet per day maximum with 4" inlet and 4" head. Inlet can be reduced by installing a smaller orifice using the plug and cutter provided to adjust flow rate for the particular basin volume and drawdown time required.
7. Shipped assembled. User glues inlet extension and barrel, installs vent, cuts orifice in plug and attaches to outlet pipe or structure. Includes flexible hose, rope, orifice cutter, etc.

4inchCut TM 11-07 January 15, 2019



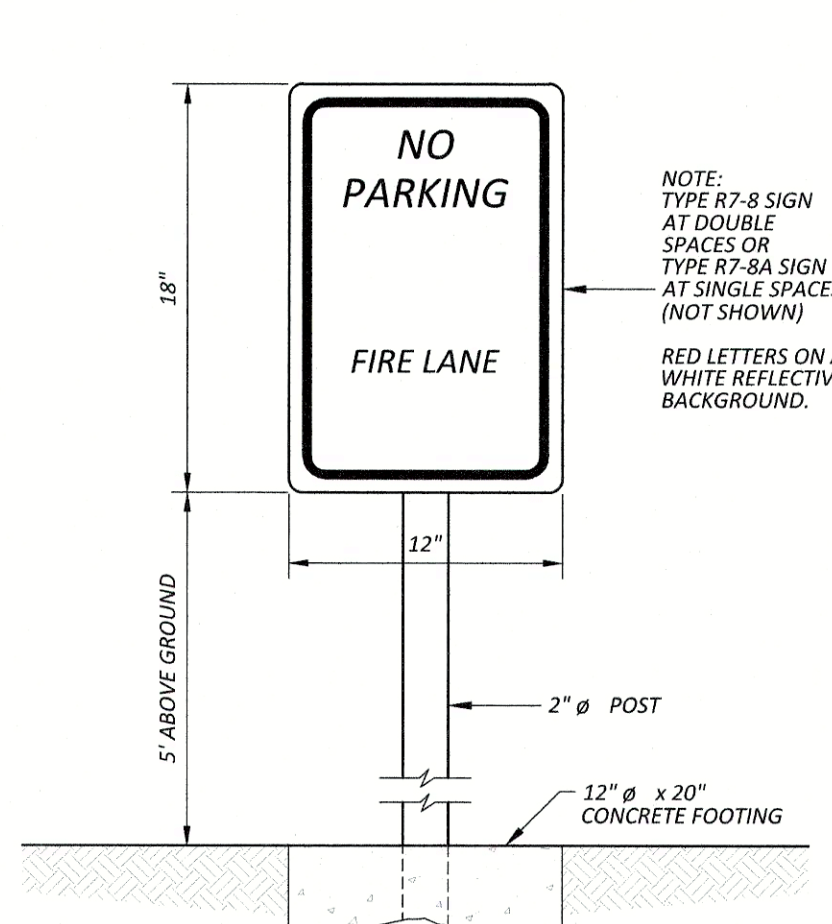
- NOTES:
- 1) BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM & SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
 - 2) MOST OF THE SEDIMENT WILL ACCUMULATE IN THE FIRST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
 - 3) PROVIDE 3 BAFFLES (USE 2 IF LESS THAN 20' IN LENGTH). PROVIDE 5 BAFFLES FOR DRAINAGE AREAS GREATER THAN 10 ACRES.
 - 4) BAFFLE SHALL BE 700 G/M2 COIR EROSION BLANKET.
 - 5) TOPS OF BAFFLES SHALL BE 2" LOWER THAN THE TOP OF THE BERMS.
 - 6) INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL.

STANDARD BAFFLES
N.T.S.

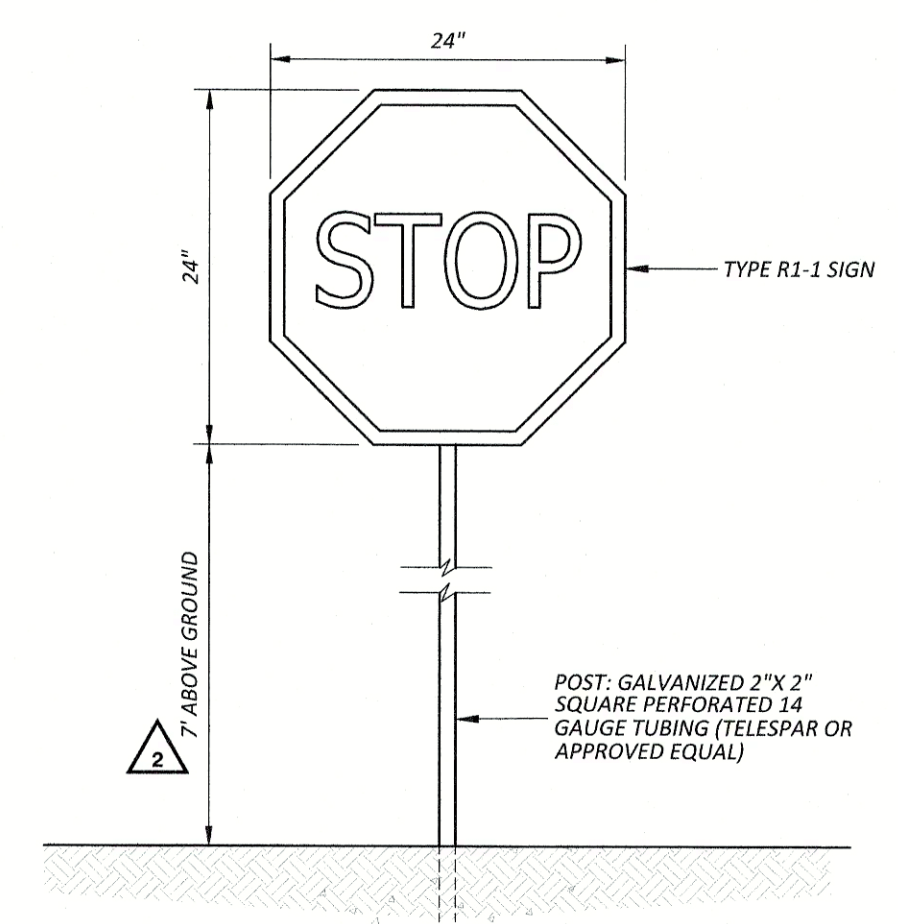
Town Certification: This design has been reviewed by the Engineers for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL DETAILS

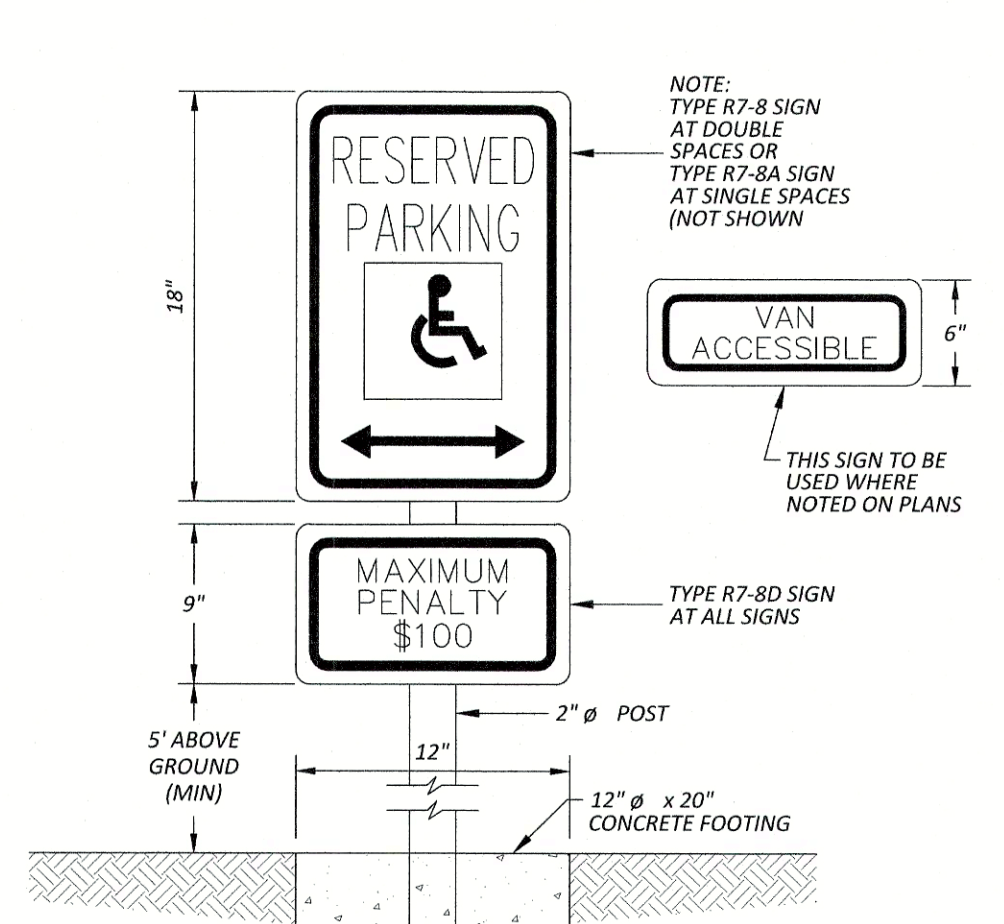
DATE:	MAY 22, 2024
DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT NO.:	2023008
DRAWING NO.:	W-4073-MP
SCALE:	1" = 20'
SHEET NO.:	C5.22



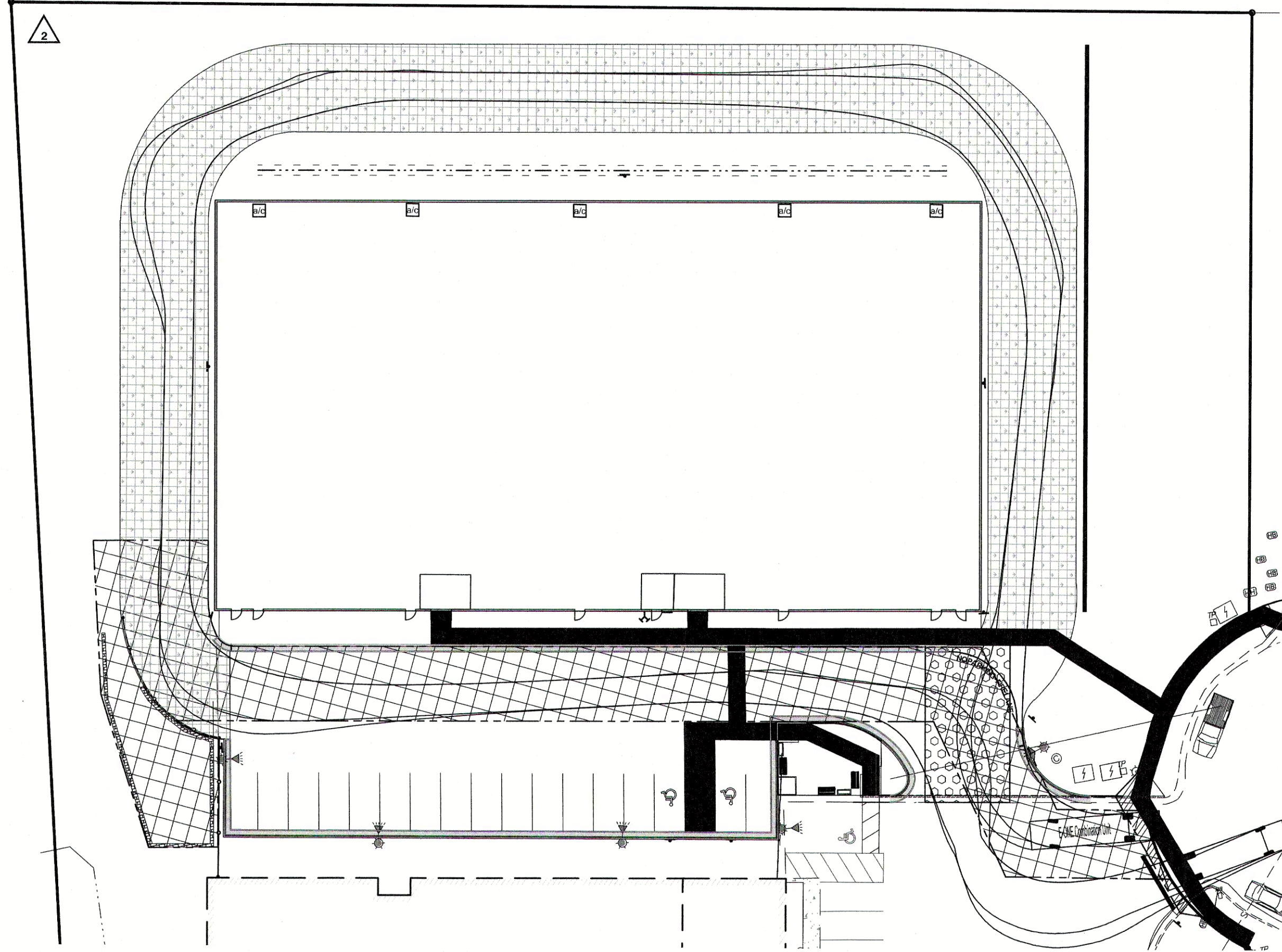
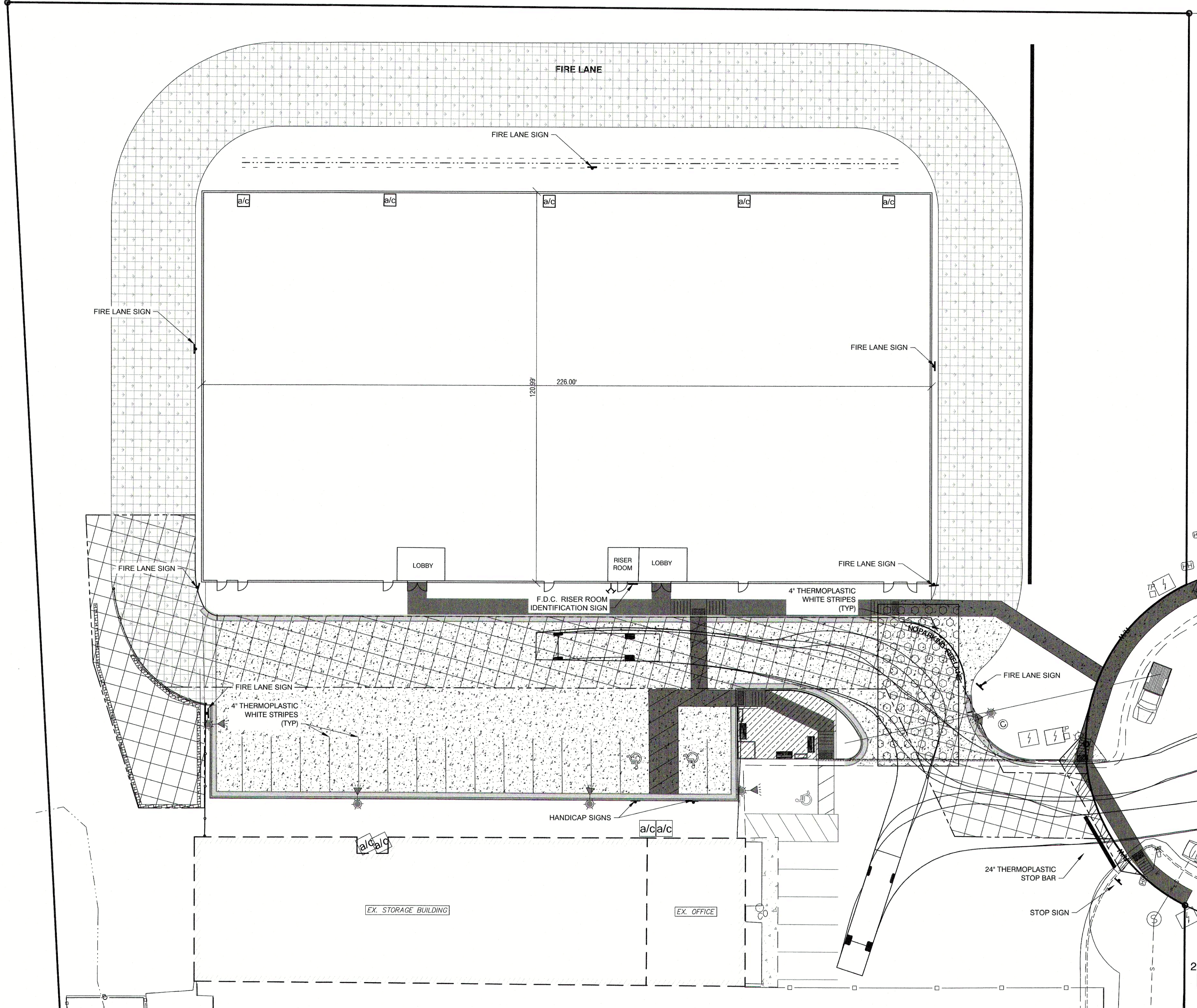
FIRE LANE SIGN
N.T.S.
PVMT-40A MOD



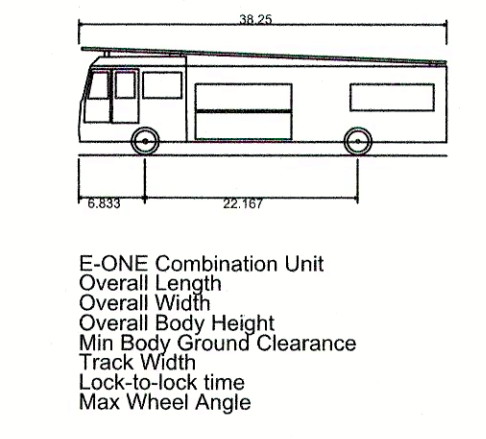
STOP SIGN
N.T.S.



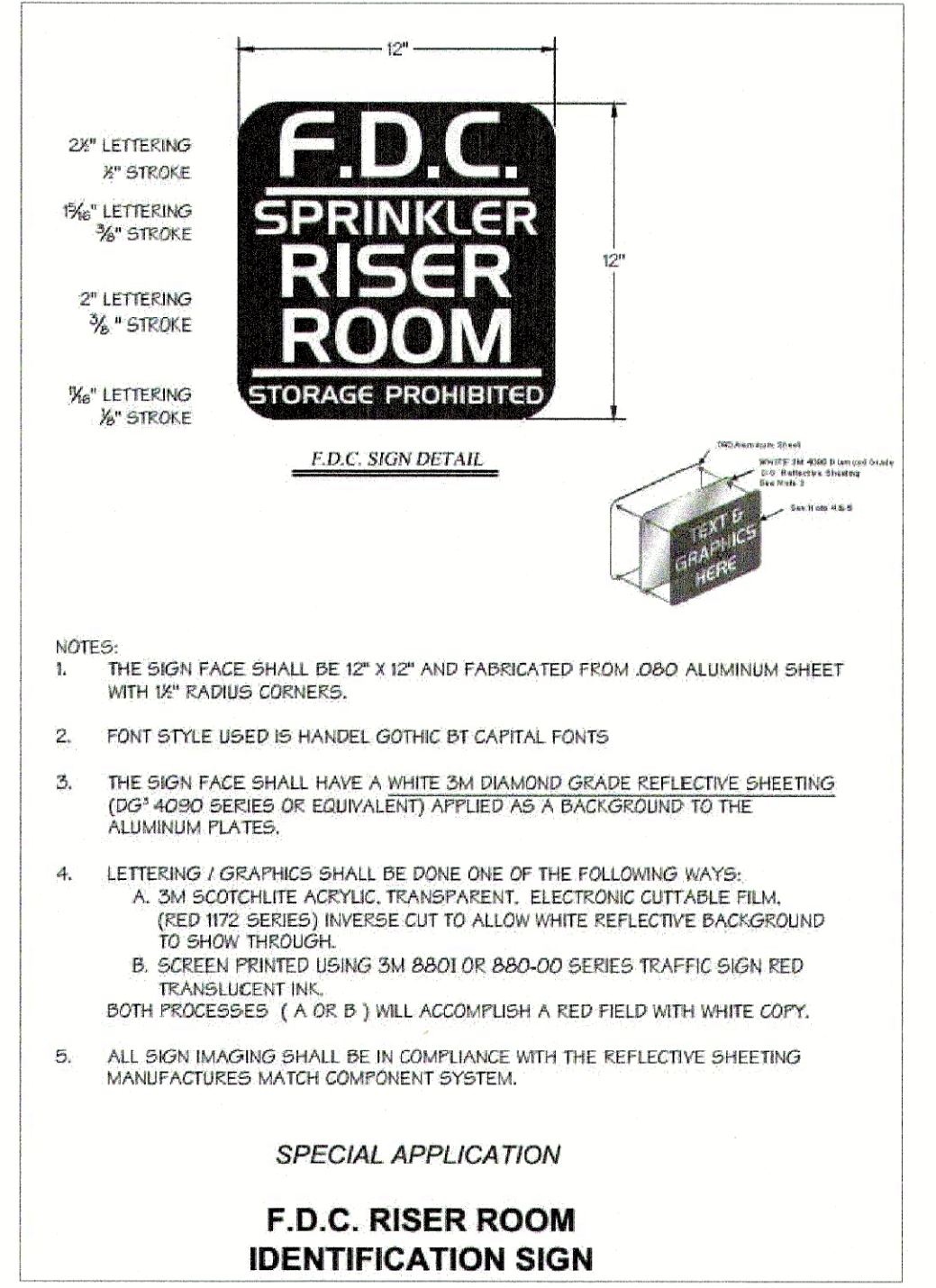
HANDICAPPED SIGN
N.T.S.
PVMT-06A MOD



30' 0 15' 30'
SCALE 1 inch = 30 ft

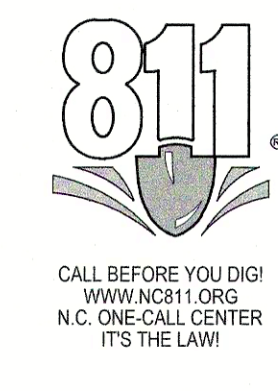


VEHICLE DETAIL



F.D.C. RISER ROOM IDENTIFICATION SIGN

20' 0 10' 20'
SCALE 1 inch = 20 ft



Town Certification. This design has been reviewed by the Engineers for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
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By: _____ Date: _____
Administrator



REVISIONS:

NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	08/23/24	
2	TOWN COUNCIL WORKSHOP	06/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
PAVEMENT MARKING, SIGNAGE
& TRAFFIC CONTROL PLAN

DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT No: 2023008
DRAWING No: W-4073-MP
SCALE: 1" = 20'
SHEET No: **C6.41**

P:\LANDDEV\LAMPE AMPLE_STORAGE\KNTDALE-2023008\CADD_DWG\SHEETS\MASTER PLAN - 4073 SIGNS-MARKINGS DWG - LAYOUT - 8/21/2024 5:42:14 PM - MATT PROFFITT



REVISIONS:

NO.	DESCRIPTION	DATE	BY
3	MASTER PLAN COMMENTS	08/23/24	
2	TOWN COUNCIL WORKSHOP	09/03/24	
1	MASTER PLAN - FIRST SUBMITTAL	05/27/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
LANDSCAPING PLAN

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No. **L1.01**

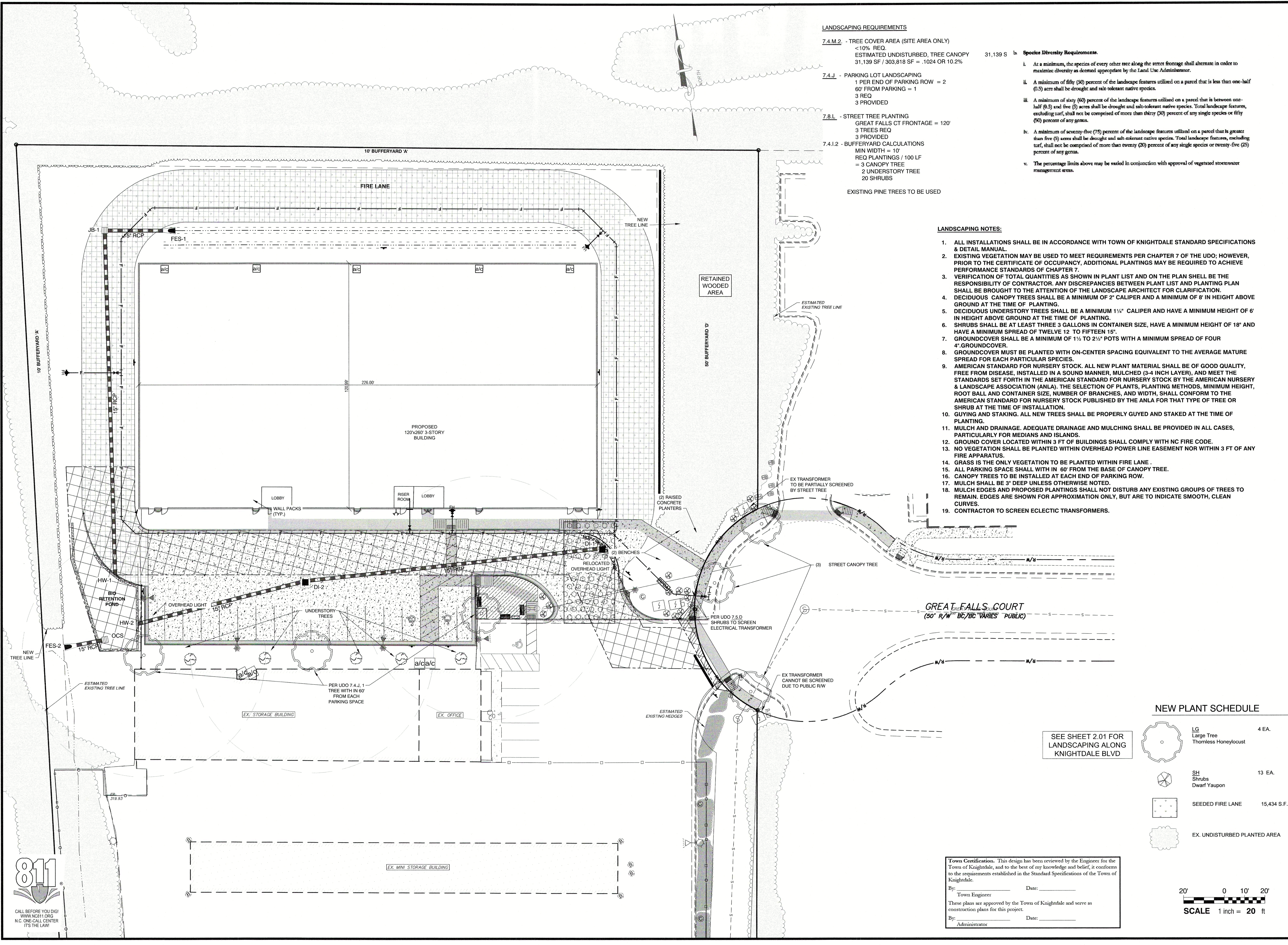
LANDSCAPING REQUIREMENTS

- 7.4.M.2 - TREE COVER AREA (SITE AREA ONLY)**
 <10% REQ
 ESTIMATED UNDISTURBED, TREE CANOPY 31,139 S.F. 31,139 S.F. = 1024 OR 10.2%
- 7.4.J - PARKING LOT LANDSCAPING**
 1 PER END OF PARKING ROW = 2
 60' FROM PARKING = 1
 3 REQ
 3 PROVIDED
- 7.8.L - STREET TREE PLANTING**
 GREAT FALLS CT FRONTAGE = 120'
 3 TREES REQ
 3 PROVIDED
- 7.4.1.2 - BUFFERYARD CALCULATIONS**
 MIN WIDTH = 10'
 REQ PLANTINGS / 100 LF = 3 CANOPY TREE
 2 UNDERSTORY TREE
 20 SHRUBS
- EXISTING PINE TREES TO BE USED

- Species Diversity Requirements.**
- At a minimum, the species of every other tree along the street frontage shall alternate in order to maximize diversity as deemed appropriate by the Land Use Administrator.
 - A minimum of fifty (50) percent of the landscape features utilized on a parcel that is less than one-half (0.5) acre shall be drought and salt-tolerant native species.
 - A minimum of sixty (60) percent of the landscape features utilized on a parcel that is between one-half (0.5) and five (5) acres shall be drought and salt-tolerant native species. Total landscape features, excluding turf, shall not be comprised of more than thirty (30) percent of any single species or fifty (50) percent of any genus.
 - A minimum of seventy-five (75) percent of the landscape features utilized on a parcel that is greater than five (5) acres shall be drought and salt-tolerant native species. Total landscape features, excluding turf, shall not be comprised of more than twenty (20) percent of any single species or twenty-five (25) percent of any genus.
 - The percentage limits above may be waived in conjunction with approval of vegetated stormwater management areas.

LANDSCAPING NOTES:

- ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARD SPECIFICATIONS & DETAIL MANUAL.
- EXISTING VEGETATION MAY BE USED TO MEET REQUIREMENTS PER CHAPTER 7 OF THE UDO; HOWEVER, PRIOR TO THE CERTIFICATE OF OCCUPANCY, ADDITIONAL PLANTINGS MAY BE REQUIRED TO ACHIEVE PERFORMANCE STANDARDS OF CHAPTER 7.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN PLANT LIST AND ON THE PLAN SHALL BE THE RESPONSIBILITY OF CONTRACTOR. ANY DISCREPANCIES BETWEEN PLANT LIST AND PLANTING PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- DECIDUOUS CANOPY TREES SHALL BE A MINIMUM OF 2" CALIPER AND A MINIMUM OF 8' IN HEIGHT ABOVE GROUND AT THE TIME OF PLANTING.
- DECIDUOUS UNDERSTORY TREES SHALL BE A MINIMUM 1 1/4" CALIPER AND HAVE A MINIMUM HEIGHT OF 6' IN HEIGHT ABOVE GROUND AT THE TIME OF PLANTING.
- SHRUBS SHALL BE AT LEAST THREE 3 GALLONS IN CONTAINER SIZE, HAVE A MINIMUM HEIGHT OF 18" AND HAVE A MINIMUM SPREAD OF TWELVE 12 TO FIFTEEN 15".
- GROUND COVER SHALL BE A MINIMUM OF 1 1/2" TO 2 1/2" POTS WITH A MINIMUM SPREAD OF FOUR 4" GROUND COVER.
- GROUND COVER MUST BE PLANTED WITH ON-CENTER SPACING EQUIVALENT TO THE AVERAGE MATURE SPREAD FOR EACH PARTICULAR SPECIES.
- AMERICAN STANDARD FOR NURSERY STOCK. ALL NEW PLANT MATERIAL SHALL BE OF GOOD QUALITY, FREE FROM DISEASE, INSTALLED IN A SOUND MANNER, MULCHED (3-4 INCH LAYER), AND MEET THE STANDARDS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE SELECTION OF PLANTS, PLANTING METHODS, MINIMUM HEIGHT, ROOT BALL AND CONTAINER SIZE, NUMBER OF BRANCHES, AND WIDTH, SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE ANLA FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
- GUYING AND STAKING. ALL NEW TREES SHALL BE PROPERLY GUYED AND STAKED AT THE TIME OF PLANTING.
- MULCH AND DRAINAGE. ADEQUATE DRAINAGE AND MULCHING SHALL BE PROVIDED IN ALL CASES, PARTICULARLY FOR MEDIANS AND ISLANDS.
- GROUND COVER LOCATED WITHIN 3 FT OF BUILDINGS SHALL COMPLY WITH NC FIRE CODE.
- NO VEGETATION SHALL BE PLANTED WITHIN OVERHEAD POWER LINE EASEMENT NOR WITHIN 3 FT OF ANY FIRE APPARATUS.
- GRASS IS THE ONLY VEGETATION TO BE PLANTED WITHIN FIRE LANE.
- ALL PARKING SPACE SHALL WITH IN 60' FROM THE BASE OF CANOPY TREE.
- CANOPY TREES TO BE INSTALLED AT EACH END OF PARKING ROW.
- MULCH SHALL BE 3" DEEP UNLESS OTHERWISE NOTED.
- MULCH EDGES AND PROPOSED PLANTINGS SHALL NOT DISTURB ANY EXISTING GROUPS OF TREES TO REMAIN. EDGES ARE SHOWN FOR APPROXIMATION ONLY, BUT ARE TO INDICATE SMOOTH, CLEAN CURVES.
- CONTRACTOR TO SCREEN ECLECTIC TRANSFORMERS.



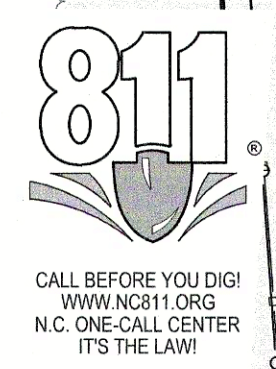
NEW PLANT SCHEDULE

	LG Large Tree Thornless Honeylocust	4 EA.
	SH Shrubs Dwarf Yaupon	13 EA.
	SEEDED FIRE LANE	15,434 S.F.
	EX. UNDISTURBED PLANTED AREA	

SEE SHEET 2.01 FOR LANDSCAPING ALONG KNIGHTDALE BLVD

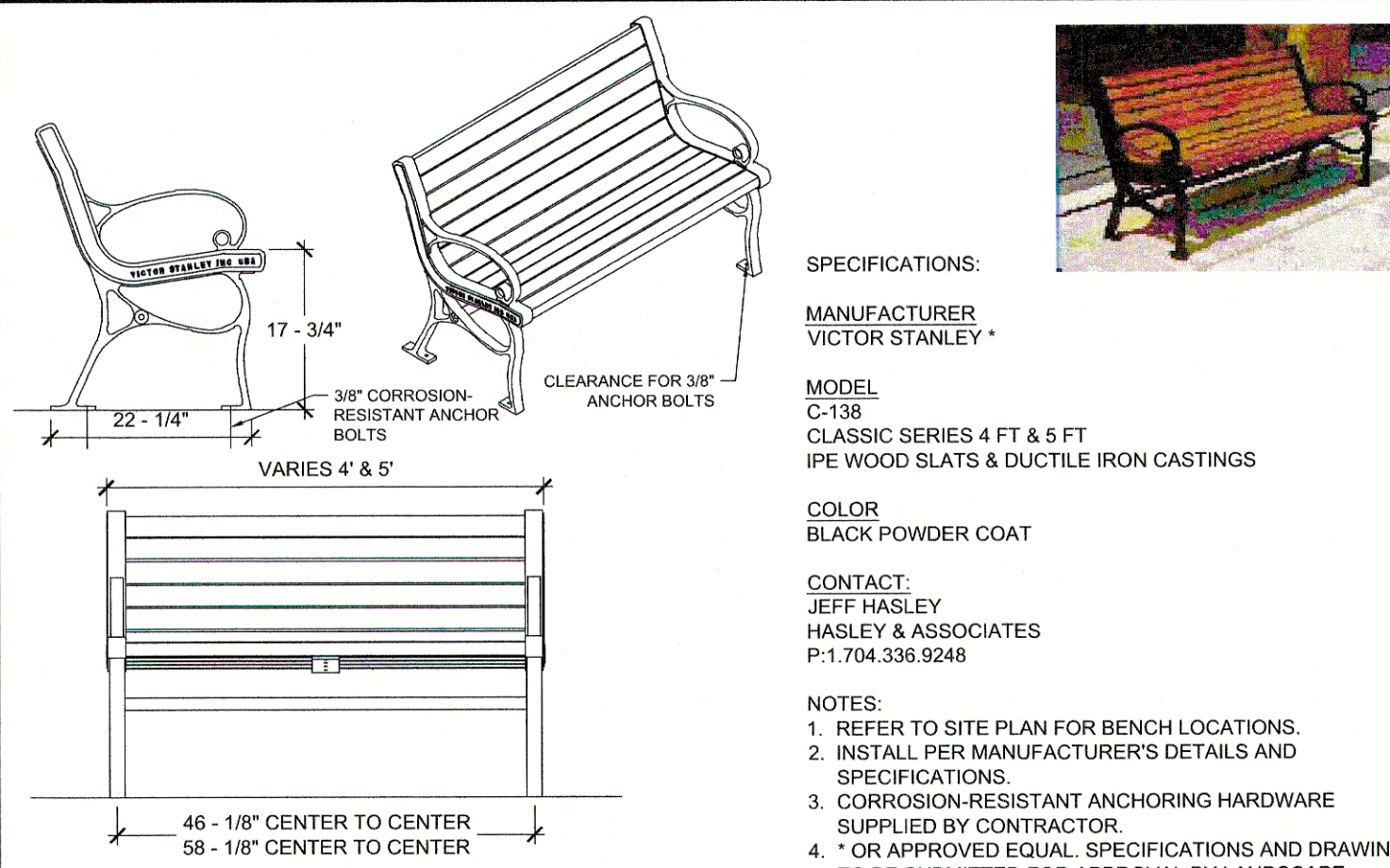


Town Certification: This design has been reviewed by the Engineers for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
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 By: _____ Date: _____
 Administrator



P:\LANDSCAPE\AMPLE_STORAGE_EXPANSION\LANDSCAPE_MASTER_PLAN\W-4073_LANDSCAPE_DWG_LAYOUT - 05/22/2024 11:27:09 AM - MATTHEW FRANKO

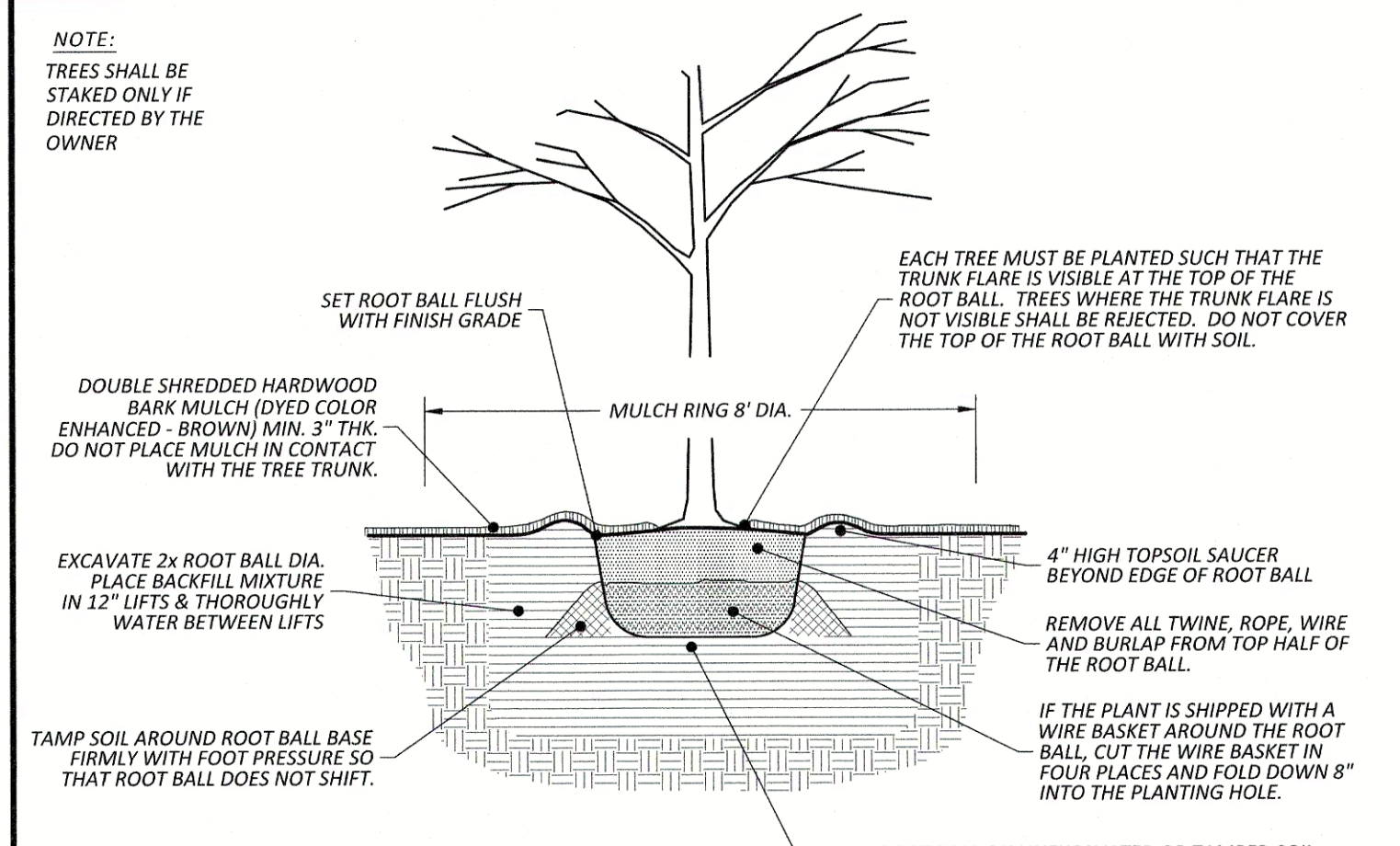
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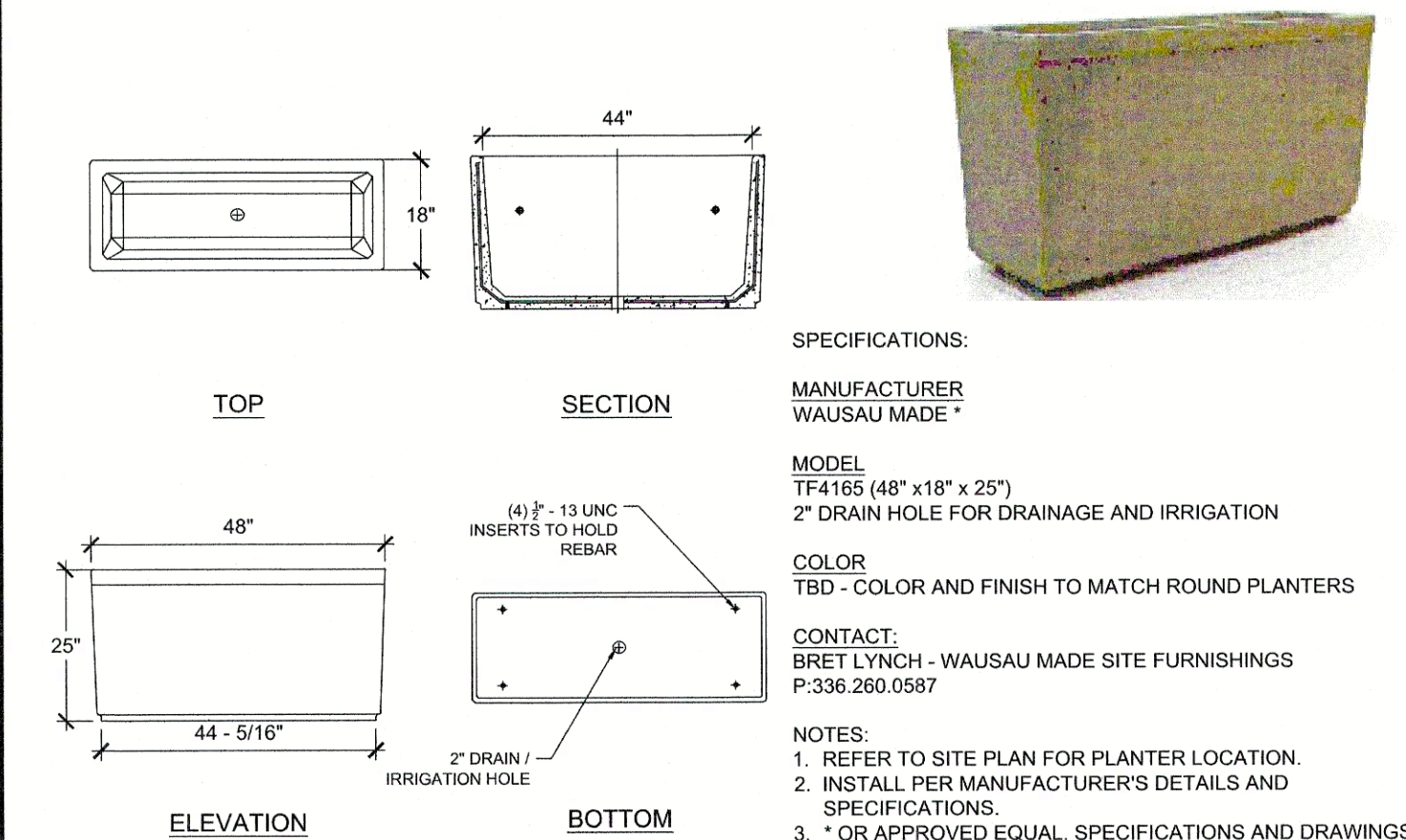
SPECIFICATIONS:
MANUFACTURER: VICTOR STANLEY
MODEL: C-138
 CLASSIC SERIES 4 FT & 5 FT IPE WOOD SLATS & DUCTILE IRON CASTINGS
COLOR: BLACK POWDER COAT
CONTACT: JEFF HASLEY
 HASLEY & ASSOCIATES
 P.1.704.336.9246

NOTES:
 1. REFER TO SITE PLAN FOR BENCH LOCATIONS.
 2. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 3. CORROSION-RESISTANT ANCHORING HARDWARE SUPPLIED BY CONTRACTOR.
 4. * OR APPROVED EQUAL. SPECIFICATIONS AND DRAWINGS TO BE SUBMITTED FOR APPROVAL BY LANDSCAPE ARCHITECT.

BENCH
 ELEVATION, PERSPECTIVE DIAGRAM, IMAGE N.T.S.



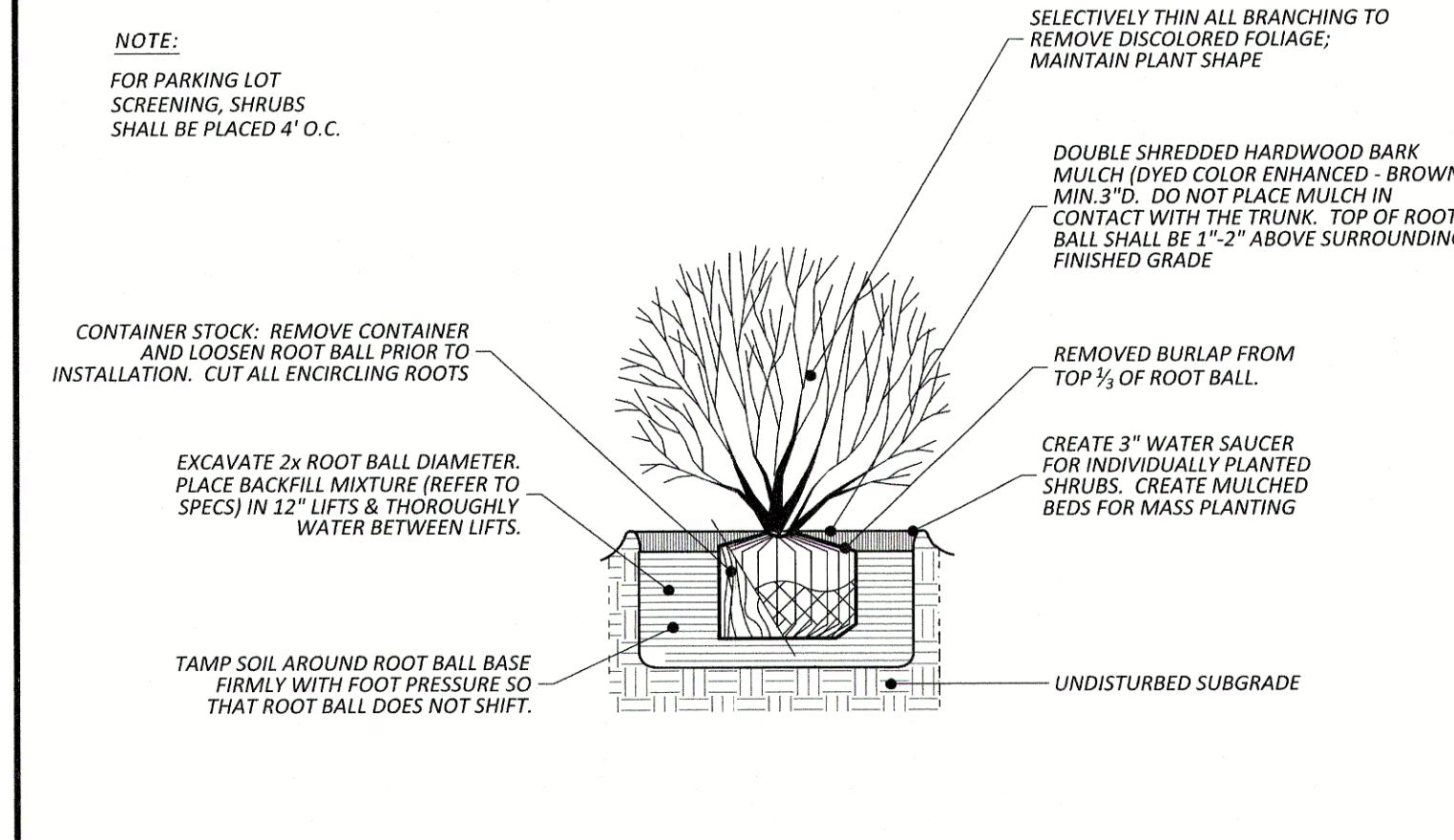
TREE PLANTING - LARGE & SMALL
 N.T.S.
 LSCP-14



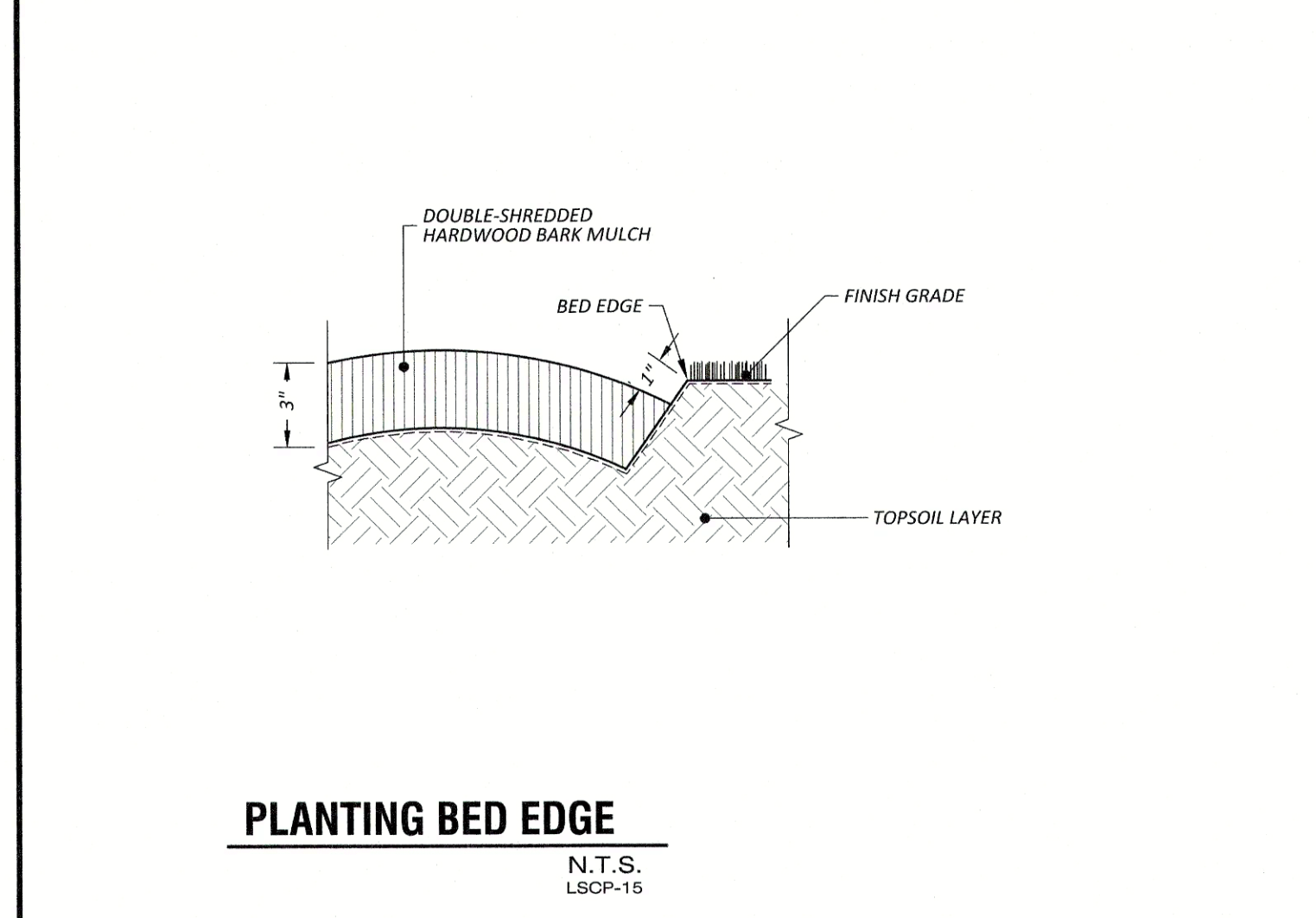
SPECIFICATIONS:
MANUFACTURER: WAUSAU MADE
MODEL: TF4165 (48" x 18" x 25")
 2" DRAIN HOLE FOR DRAINAGE AND IRRIGATION
COLOR: TBD - COLOR AND FINISH TO MATCH ROUND PLANTERS
CONTACT: BRET LYNCH - WAUSAU MADE SITE FURNISHINGS
 P.336.260.0587

NOTES:
 1. REFER TO SITE PLAN FOR PLANTER LOCATION.
 2. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 3. * OR APPROVED EQUAL. SPECIFICATIONS AND DRAWINGS TO BE SUBMITTED FOR APPROVAL BY LANDSCAPE ARCHITECT.

CONCRETE PLANTER (RECTANGULAR)
 PLAN, ELEVATION, SECTION, IMAGE N.T.S.

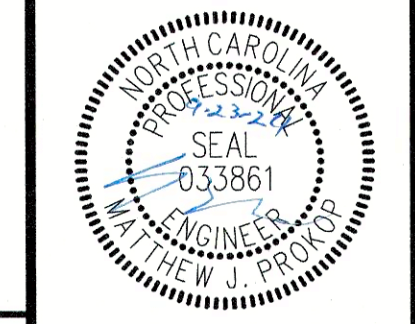


SHRUB PLANTING
 N.T.S.
 LSCP-02A



PLANTING BED EDGE
 N.T.S.
 LSCP-15A

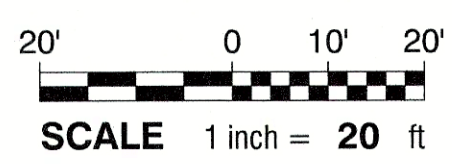
NC License F-034
Rivers
 & ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS
 107 East Second Street
 Greenville, NC 27836
 (252) 752-4135



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
3	08/23/24	MASTER PLAN COMMENTS	
2	09/03/24	TOWN COUNCIL WORKSHOP	
1	05/21/24	MASTER PLAN - FIRST SUBMITTAL	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
LANDSCAPING DETAILS

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
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DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No.
L2.01

LIGHT FIXTURE SCHEDULE											
MARK	DESCRIPTION	LOUVER/LENS	LAMPS			VOLTAGE	INPUT WATTAGE	MOUNTING	REMARKS	MFG	MODEL
			TYPE	LUMENS	CT						
V	COLOR SELECTABLE WALL PACK	ACRYLIC	LED	1454	4000K	120-277	10.9	WALL - 15' AFF	1-3	TAM-LITE	ARC1 LED P1 40K MVOLT PE DBBXD
X	COMPACT AREA POLE LIGHT	ACRYLIC	LED	3509	4000K	120-277	27.2	POLE - 25' AFF	1-4	NATURELED	7616 LED-FXSAL29/40K/DB/3S WITH GLARE SHIELD RAB P54-1125DZ STEEL POLE

1. CONFIRM FINISH WITH ARCHITECT AND OWNER BEFORE ORDERING.
2. FIXTURE TO BE OUTDOOR RATED.
3. CONTROLLED VIA PHOTOCELL.
4. MOUNTING: E46/SB/SF/WM/PM/TOKE MOUNT

GENERAL ELECTRICAL NOTES:

ADMINISTRATIVE:

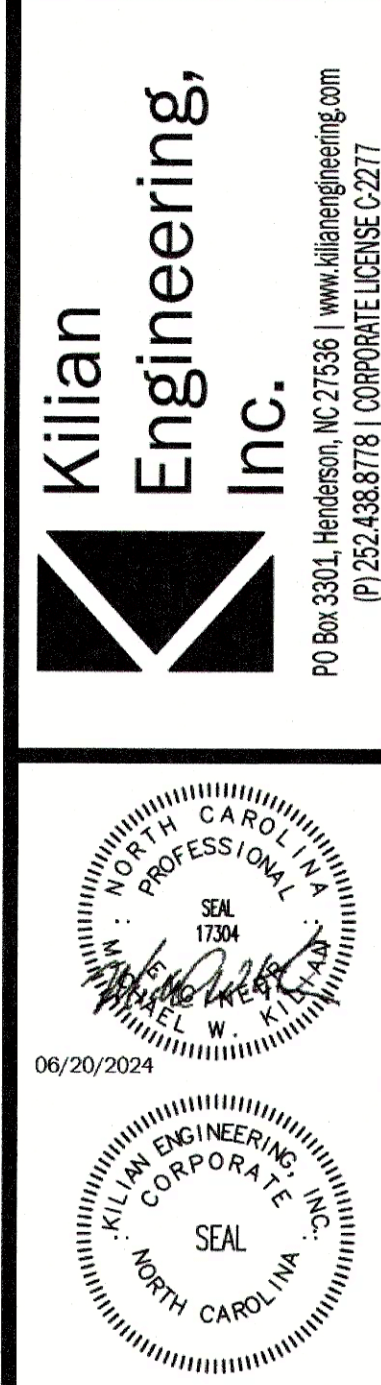
1. THE FOLLOWING ABBREVIATIONS SHALL APPLY TO NOTES AND PLANS:
 PC - PLUMBING CONTRACTOR, EC - ELECTRICAL CONTRACTOR,
 MC - MECHANICAL CONTRACTOR, GC - GENERAL CONTRACTOR,
 FASC - FIRE ALARM SYSTEM CONTRACTOR, AHJ - AUTHORITY HAVING JURISDICTION.
 "PROVIDE" MEANS TO FURNISH AND INSTALL. THE ELECTRICAL CONTRACTOR SHALL ALSO INSTALL MATERIALS AND EQUIPMENT FURNISHED BY OTHERS AND THE GENERAL CONTRACTOR AS REQUIRED.
 EC SHALL PROVIDE LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY AND REASONABLY INCIDENTAL TO INSURE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. MINOR ITEMS, ACCESSORIES, AND DEVICES REASONABLY INFERRABLE AS NECESSARY FOR THE COMPLETION AND PROPER OPERATION OF ANY ELECTRICAL SYSTEM SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
 WORKMANSHIP SHALL BE IN ACCORDANCE WITH NECA 1 STANDARD PRACTICE FOR GOOD WORKMANSHIP IN ELECTRICAL CONTRACTING.
 ALL MATERIALS AND EQUIPMENT SHALL BE DELIVERED TO THE SITE AND UNLOADED BY THE ELECTRICAL CONTRACTOR AT AN APPROVED LOCATION. THE ELECTRICAL CONTRACTOR SHALL PROTECT ALL MATERIALS AND EQUIPMENT FROM BREAKE, THEFT, AND THE ELEMENTS. ALL MATERIALS AND EQUIPMENT SHALL REMAIN THE PROPERTY OF THE ELECTRICAL CONTRACTOR UNTIL THE PROJECT HAS BEEN COMPLETED AND TURNED OVER TO THE OWNER.
 THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS NECESSARY FOR THE COMPLETION OF THE WORK UNDER THIS CONTRACT.
 DO NOT SCALE THESE DRAWINGS-REFER TO ARCHITECTURAL SHEETS FOR DIMENSIONS.
 TRADE NAMES AND MANUFACTURERS ARE SPECIFIED TO ESTABLISH A QUALITY STANDARD. SUBSTITUTIONS SHALL BE PERMITTED IF APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. LISTED MODEL NUMBERS SHALL BE VERIFIED WITH THE MANUFACTURER FOR PROPER APPLICATION OF EQUIPMENT.
 THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS. THE ELECTRICAL CONTRACTOR SHALL CONTACT THE ENGINEER TO RESOLVE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE PLANS. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES PRIOR TO THE START OF CONSTRUCTION.
 GROUNDING AND BONDING SHALL BE PER NEC ARTICLE 250. THE RENEWABLE SYSTEM SHALL NOT BE RELED UPON FOR GROUNDING CONTINUITY. A GREEN EQUIPMENT GROUNDING CONDUCTOR, SIZED PER NEC TABLE 250-122, SHALL BE RUN IN ALL POWER RACEWAYS. FOR NON-ISOLATED GROUND CIRCUITS PROVIDE ONE EQUIPMENT GROUNDING CONDUCTOR PER CONDUIT RUN. FOR ISOLATED GROUND CIRCUITS, PROVIDE ONE NEUTRAL AND ONE ISOLATED GROUND WIRE FOR EACH CIRCUIT; IN ADDITION, PROVIDE ONE EQUIPMENT GROUNDING CONDUCTOR PER CONDUIT RUN. MAIN BONDING JUMPERS AND SYSTEM BONDING JUMPERS SHALL BE INSTALLED IN ACCORDANCE WITH 250.28 OF THE NEC. FOR BUILDINGS OR STRUCTURES SUPPLIED BY FEEDERS OR BRANCH CIRCUITS, GROUNDING AND BONDING SHALL BE IN ACCORDANCE WITH 250.32. SEPARATELY DERIVED AC SYSTEMS SHALL BE GROUNDING IN ACCORDANCE WITH 250.30. RESISTANCE TO GROUND SHALL NOT EXCEED 25 OHMS. ADDITIONAL GROUNDING ELECTRODES SHALL BE INSTALLED PER 250.54 AS NECESSARY.
 THE ELECTRICAL CONTRACTOR SHALL ALSO COORDINATE WITH THE GENERAL CONTRACTOR REGARDING THE BONDING OF THE FOOTING REBAR, SO THAT IT WILL BE IN PLACE AND READY AT TIME OF FOOTING INSPECTION.
 ALL MATERIALS AND EQUIPMENT SHALL COMPLY WITH THE UNDERWRITERS' LABORATORIES, INC. STANDARDS OR HAVE UL APPROVAL OR BEAR UL RE-EXAMINATION LISTING WHERE SUCH APPROVAL HAS BEEN ESTABLISHED FOR THE TYPE OF DEVICE IN QUESTION.
 CONDUCTORS, FUSES, CIRCUIT BREAKERS, AND DISCONNECT SWITCHES SHOWN ON THESE PLANS HAVE BEEN SIZED FOR THE SPECIFIED EQUIPMENT. BEFORE ORDERING ELECTRICAL EQUIPMENT, THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON THE SITE AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES SHOULD CONDUCTOR, CIRCUIT BREAKER, OR FUSE SIZES REQUIRE CHANGE.
 THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO ENSURE THE FOLLOWING MATERIALS ARE RECYCLED DURING THE CONSTRUCTION PHASE OF THE PROJECT: LIGHT FIXTURES, INCLUDING PROPER DISPOSAL OF BALLASTS, FLUORESCENT LIGHT BULBS, AND TRANSFORMERS, WIRING AND ELECTRICAL EQUIPMENT, AND INSULATION. WASTE MATERIALS CONTAINING LEAD, ASBESTOS, PCBs (FLUORESCENT LAMP BALLASTS), OR OTHER HARMFUL SUBSTANCES SHALL BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL AND STATE LAWS AND REQUIREMENTS CONCERNING HAZARDOUS WASTE.
 ALL WORK SHALL CONFORM TO 2017 NATIONAL ELECTRIC CODE, 2018 STATE BUILDING CODE, AND ALL APPLICABLE LOCAL CODES.

MATERIALS:

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY DISCONNECTS, SWITCHES, RECEPTACLES, TERMINALS, ETC., UNDER THE ELECTRICAL BID AND SHALL INCLUDE ALL NECESSARY CIRCUITS AND CONNECTIONS TO THE EQUIPMENT PROVIDED BY ALL SUPPLIERS, UNLESS NOTED OTHERWISE BY OTHER DISCIPLINES.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SERVICE ENTRANCE EQUIPMENT, SUB PANELS, AND OTHER ELECTRICAL DISTRIBUTION EQUIPMENT AS NECESSARY FOR A COMPLETE INSTALLATION. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH UTILITY REGARDING SERVICE AND METERING DETAILS. PRIOR TO ORDERING EQUIPMENT, THE ELECTRICAL CONTRACTOR SHALL OBTAIN THE AVAILABLE FAULT CURRENT OR TRANSFORMER SIZE AND IMPEDANCE FROM THE UTILITY AND CONTACT THE ENGINEER IF THE VALUE EXCEEDS THE EQUIPMENT SPECIFIED. PANEL BOARDS AND SWITCH BOARDS SHALL BE SQUARE D, OULDER-HAMMER, SIEMENS, OR GE. BUSSES SHALL BE COPPER UNLESS OTHERWISE APPROVED BY THE ENGINEER. RECESSED PANEL BOARDS SHALL BE INSTALLED FLUSH WITH THE WALL FINISH. METER BASES SHALL COMPLY WITH THE UTILITY'S SPECIFICATIONS AND SHALL BE MOUNTED AT A HEIGHT APPROVED BY THE UTILITY. ALL EQUIPMENT IDENTIFIED FOR SERVICE ENTRANCE USE SHALL BE SO LABELED AND UL LISTED FOR SUCH USE. ELECTRICAL CONTRACTOR SHALL INSTALL ALL ELECTRICAL EQUIPMENT WITH CLEARANCES PER NEC 110.24.
3. ENCLOSED SAFETY SWITCHES SHALL BE HEAVY DUTY TYPE BY SQUARE D, EATON, OR GE. ENCLOSED SWITCHES SHALL HAVE A HANDLE LOCKABLE IN THE OFF POSITION AND SHALL HAVE A HANDLE INTERLOCKED TO PREVENT OPENING THE FRONT COVER WHILE IN THE ON POSITION. ENCLOSED SWITCHES OF THE FUSEBLE TYPE SHALL BE FUSED IN ACCORDANCE WITH NAMEPLATE DATA WITH DUAL ELEMENT TYPE FUSES BY BUSSMAN, LITTELFUSE, OR Mersen.
4. CIRCUIT BREAKERS SHALL BE MOLDED-CASE, THERMAL MAGNETIC TYPE WITH QUICK-WAKE, QUICK-BREAK MECHANISM. COMMON TRIP ON MULTI-POLE BREAKERS, AND UL LISTED FOR BOTH COPPER AND ALUMINUM CONDUCTORS. CIRCUIT BREAKERS IN PANELS SHALL BE SERIES RATED WITH THE MAIN BREAKER, FULLY RATED FOR THE SYSTEM, OR SERIES RATED WITH THE BREAKER FEEDING THE PANEL FROM THE FACTORY.
5. ALL WIRE, CONNECTORS, TERMINALS, AND LUGS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. WHERE CONDUCTORS ARE RUN IN PARALLEL, LUGS SHALL BE LISTED FOR PARALLEL CONDUCTORS. PUSH WIRE CONNECTORS ARE NOT ALLOWED FOR BUILDING WIRE. PUSH CONNECTORS ARE ONLY ALLOWED, WHEN APPROVED, AS PART OF MANUFACTURED LISTED PRODUCTS. ALL WIRE SHALL BE INSTALLED IN CONDUIT UNLESS SPECIFICALLY NOTED OTHERWISE.
6. THE INSULATION TYPE FOR INTERIOR WIRING SHALL BE DUAL RATED THHN/THWN OR XHHW. ALL WIRING INSTALLED BELOW GRADE OR IN MOST OR WET LOCATIONS SHALL HAVE TYPE THHN OR XHHW INSULATION. INSULATION VOLTAGE RATING SHALL BE 80% VOLTS AND A MINIMUM TEMPERATURE RATING OF 75°C. CONDUCTORS SHALL BE SOLID OR STRANDED COPPER FOR #10 AWG AND #12 AWG, AND STRANDED COPPER FOR #8 AWG AND LARGER SIZES. ALL WIRING AND CABLE SHALL BE UL LISTED. ALL TERMINATIONS AND DEVICES SHALL BE RATED FOR USE WITH 75°C CONDUCTORS. FINAL CONNECTIONS TO ALL MOTORS AND EQUIPMENT SUBJECT TO VIBRATION OR MOVEMENT SHALL BE MADE WITH STRANDED COPPER CONDUCTORS. CONDUCTORS SHALL BE BY CERRO WIRE, INC., INDUSTRIAL WIRE & CABLE, INC., ENCORE WIRE CORPORATION, OR SOUTHWIRE COMPANY.
7. JOINTS IN SOLID CONDUCTORS SHALL BE SPLICED USING IDEAL "WIRE NUTS", JM "SCOTCH LOCK", OR TAB "HOG" CONNECTORS IN JUNCTION BOXES, OUTLET BOXES, AND LIGHTING FIXTURES. JOINTS IN STRANDED CONDUCTORS SHALL BE SPLICED BY APPROVED MECHANICAL CONNECTORS AND GUM RUBBER TAPE OR FRICTION TAPE. SOLDERLESS MECHANICAL CONNECTORS FOR SPLICING AND TAPS, PROVIDED WITH UL APPROVED INSULATING COVERS, MAY BE USED INSTEAD OF MECHANICAL CONNECTORS PLUS TAPE. IN ALL CASES, CONDUCTORS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET AND NO SPLICING SHALL BE MADE EXCEPT WITHIN OUTLET OR JUNCTION BOXES, TROUGHS, OR CUTTERS. WHERE CONCENTRIC, ECCENTRIC, OR OVERSIZED KNOCKOUTS ARE ENCOUNTERED, A GROUNDING TYPE INSULATED BUSHING SHALL BE PROVIDED. ALL LUMINAIRES SHALL BE LISTED. LUMINAIRES IN WET OR DAMP LOCATIONS SHALL BE MARKED AS SUITABLE FOR THE RESPECTIVE USE. EMERGENCY LIGHTING SHALL BE INSTALLED AS SHOWN. FINAL LOCATIONS OF ALL EXIT AND EMERGENCY LIGHTS SHALL BE VERIFIED WITH THE BUILDING INSPECTOR PRIOR TO INSTALLATION. ALL FLUORESCENT FIXTURES SHALL HAVE ELECTRONIC BALLASTS MEETING ANSI 082.11 FOR ELECTRONIC BALLAST PERFORMANCE. ALL BALLASTS SHALL BE UL LISTED AND MEET FEDERAL AND STATE EFFICIENCY REQUIREMENTS.
8. ALL CONDUIT, FITTINGS, COUPLINGS, AND SUPPORTS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. CONDUIT FITTINGS AND COUPLINGS SHALL BE BY APPLETON, RACO, OR Q-7/GENEY. COUPLINGS SHALL BE THREADED, SET-SCREW, OR COMPRESSOR TYPE. INDICATED BY CRAMP TYPE ARE NOT PERMITTED. CONDUIT FITTINGS AT ALL ELECTRICAL BOXES INCLUDING WALL, JUNCTION, AND OUTLET BOXES, SHALL HAVE INSULATED THROATS TO PREVENT INSULATION SCORING. DIE CAST FITTINGS ARE NOT PERMITTED.
9. EMT SHALL BE MANUFACTURED IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE-AMERICAN NATIONAL STANDARD FOR STEEL ELECTRICAL METALLIC TUBING (EMT), ANSI C80.3 AND UL 797. RIGID METAL CONDUIT SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI-AMERICAN NATIONAL STANDARD FOR ELECTRICAL RIGID STEEL CONDUIT (ERSC), ANSI C80.1 AND UL 6. INTERMEDIATE METAL CONDUIT SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI-AMERICAN NATIONAL STANDARD FOR INTERMEDIATE METAL CONDUIT ANSI C200.6 AND UL 1242.
10. METAL CONDUIT SHALL BE ALLOYED TUBING & CONDUIT, BECK MANUFACTURING, INC. OR INHEATON TUBE COMPANY. FLEXIBLE METAL CONDUIT, LIQUID-TIGHT FLEXIBLE METAL CONDUIT, AND NONMETALLIC CONDUIT SHALL BE BY AFC CABLE SYSTEMS, INC., ELECTRO-FLEX COMPANY, OR INTERNATIONAL METAL HOSE.

METHODS:

1. EC SHALL REVIEW THE MECHANICAL PLANS TO ESTABLISH POINTS OF CONNECTION AND THE EXTENT OF THE ELECTRICAL WORK TO BE PROVIDED IN THE CONTRACT. ALL CIRCUIT BREAKERS FEEDING FROM EQUIPMENT SHALL BE IN CIRCUIT BREAKERS. ALL BRANCH CIRCUIT CONDUITS SHALL BE MINIMUM #12 AWG IN 3/4" IN CONDUIT. EACH MULTI-WIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE SOURCE PER NEC 210.4(D). GROUP ALL CONDUCTORS OF EACH MULTI-WIRE BRANCH CIRCUIT PER 210.4(D) WITH WIRE TIES OR SIMILAR MEANS. DO NOT EXCEED THREE HOMERUNS PER CONDUIT. DO NOT INSTALL ISOLATED GROUND AND NON-ISOLATED GROUND CIRCUITS IN THE SAME CONDUIT. INSTALL CONDUCTORS OF DIFFERENT VOLTAGES IN SEPARATE CONDUITS.
2. COLOR CODE CONDUCTORS PER NEC. FEEDERS SHALL BE IDENTIFIED IN ACCORDANCE WITH NEC 215.12. USE BLACK, RED, AND BLUE FOR PHASES A, B, AND C RESPECTIVELY ON 200Y/120 VOLT THREE-PHASE Y SYSTEMS AND WHITE FOR THE NEUTRAL. ISOLATED GROUND WIRES SHALL BE GREEN WITH YELLOW BANDS OR STRIPES. THIS IDENTIFICATION SHALL BE MADE AT EACH POINT WHERE A CONNECTION IS MADE. COLORS SHALL BE FACTORY APPLIED FOR CONDUCTORS #6 AWG AND SMALLER. ALL EQUIPMENT GROUNDING CONDUCTORS SHALL BE GREEN IN COLOR AND MINIMUM #12 AWG. THE EC SHALL PROVIDE PLENUM RATED CABLE FOR ANY ELECTRICAL, TELEPHONE, COMMUNICATION, OR OTHER CABLE THAT ENTERS CEILING RETURN PLenums.
3. ALL LIGHT FIXTURES SHALL BE SUPPORTED INDEPENDENTLY OF THE SUSPENDED CEILING. COORDINATE LIGHTING LAYOUT WITH CEILING GRID, MECHANICAL EQUIPMENT, DUCTWORK AND SPRINKLER HEADS AS NECESSARY. SEE REFLECTED CEILING PLAN FOR DETAILS. FLUORESCENT FIXTURES UTILIZING DOUBLE-ENDED LAMPS MUST HAVE A DISCONNECTING MEANS COMPLYING WITH NEC 410.13(C).
4. MOUNT LIGHT SWITCHES AT 48" AFF. MULTIPLE SWITCHES AT SAME LOCATION SHALL BE UNDER ONE WALL PLATE. VERIFY WALL PLATE COLOR AND MATERIAL WITH THE ARCHITECT/OWNER. INSTALL SWITCHES WITH OFF POSITION DOWN. ALL SWITCHES SHALL BE HEAVY DUTY, NORYL PLASTIC WITH TOGGLE HANDLE, RATED 120-277V AC, AND COMPLYING WITH NEMA WD 6 AND WD 1. SWITCHES SHALL BE BY COOPER WIRING DEVICES, LEVITON MANUFACTURING, PASS & SEYMOUR, OR HUBBELL. PROVIDE BOX DEPENDENT PARTITION/DRIVERS FOR MULTI-GANG BOXES FOR COMPLIANCE WITH NEC 404.8(B).
5. ELECTRICAL CONTRACTOR SHALL PROVIDE FIRE STOPPING AT ALL ELECTRICAL PENETRATIONS OF RATED FLOORS AND WALLS TO PREVENT OR RESTORE THE FIRE-RESISTANCE RATING. SEAL PENETRATIONS USING A UL LISTED SYSTEM FOUND IN THE UL DIRECTORY SPECIFIC TO THE UL LISTING OF THE ASSEMBLY BEING PENETRATED. SEE ARCHITECTURAL PLANS FOR UL RATED ASSEMBLIES SPECIFIC TO THIS PROJECT.
6. LOCATIONS AND HEIGHTS OF ALL WALL-MOUNTED DEVICES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION.
7. CONCEAL ALL CONDUIT EXCEPT IN MECHANICAL ROOMS OR UNFINISHED AREAS AS NOTED. USE EMT CONDUIT FOR ALL BRANCH CIRCUITS AND FEEDERS INSIDE THE BUILDING. TYPE MC CABLE AND TYPE AC CABLE MAY BE INSTALLED WITHIN WALLS IF ALL NEUTRAL WIRES, INSULATED GROUND WIRES, AND EQUIPMENT GROUND WIRES AS LISTED ABOVE ARE CONTAINED IN THE CABLE. FLEXIBLE CONNECTIONS TO MOTORS AND OTHER EQUIPMENT SHALL BE MADE USING WEATHERPROOF FLEXIBLE CONDUIT. FOR LAY-IN LIGHT FIXTURES, USE MINIMUM OF SIX (6) FEET OF FLEXIBLE MC CABLE (OR THE FLEXIBLE CONDUIT PROVIDED BY THE FIXTURE MANUFACTURER). SCHEDULE 40 PVC CONDUIT MAY BE USED FOR THE SECONDARY UNDERGROUND SERVICE, UNDERGROUND TELEPHONE SERVICE, AND BRANCH AND FEEDER CIRCUITS UNDER SLAB OR EXTERIOR TO THE BUILDING. EXPOSED EXTERIOR CONDUIT SHALL BE SCHEDULE 80 PVC. ALL UNDERGROUND RACEWAYS SHALL BE IDENTIFIED WITH UNDERGROUND LINE MARKING TAPE 4" BELOW GRADE DIRECTLY ABOVE THE RACEWAY. PROVIDE PULL WIRE IN EMPTY CONDUITS. UPSIZE CONDUIT FROM MINIMUM SIZE AS NECESSARY FOR LONGER PULLS. UNDERGROUND RACEWAYS THAT STUB INTO THE BOTTOM OF SWITCHBOARDS, OUTDOOR TRANSFORMERS, GENERATORS, ETC., SHALL ROSE AT LEAST 2" ABOVE THE FINISHED SLAB TO PREVENT WATER FROM DRAINING INTO THE RACEWAYS. RACEWAYS THAT PENETRATE EXTERIOR WALLS OR INTERIOR PARTITIONS SEPARATING SPACES THAT WILL BE AT SIGNIFICANTLY DIFFERENT TEMPERATURES SHALL BE SEALED IN ACCORDANCE WITH 300.5(C), 300.7(A), AND 300.5(E) OF THE NEC. ROUTE CONDUIT IN AND UNDER SLAB FROM POINT-TO-POINT. ROUTE EXPOSED CONDUIT AND CONDUIT INSTALLED ABOVE ACCESSIBLE CEILINGS PARALLEL AND PERPENDICULAR TO WALLS, COMPLETELY AND THOROUGHLY WRAP ALL RACEWAYS BEFORE INSTALLING WIRE. PULL ALL CONDUITS INTO EACH RACEWAY ONE TIME. USE A SUITABLE WIRE PULLING LUBRICANT FOR BUILDING WIRE #4 AWG AND LARGER.
8. CABLES, RACEWAYS, OR BOXES, INSTALLED IN EXPOSED OR CONCEALED LOCATIONS UNDER METAL-CORRUGATED SHEET ROOF DECKING, SHALL BE INSTALLED AND SUPPORTED SO THERE IS NOT LESS THAN 1-1/2" IN MEASURED FROM THE LOWEST SURFACE OF THE ROOF DECKING TO THE TOP OF THE CABLE, RACEWAY, OR BOX. A CABLE, RACEWAY, OR BOX SHALL NOT BE INSTALLED IN CONCEALED LOCATIONS IN METAL-CORRUGATED, SHEET DECKING-TYPE ROOF. SEE NEC 300.4(E).
9. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL OUTLET, JUNCTION, PULL BOXES, FITTINGS, AND SUPPORTS. ALL OUTLET AND JUNCTION BOXES SHALL BE GALVANIZED STEEL TYPE BY APPLETON, STEEL CITY, OR RACO. EXTERIOR BOXES SHALL BE TYPE FS. VAPORITITE BOXES SHALL BE TYPE GS. WHERE SURFACE MOUNTED BOXES ARE USED, THOSE BOXES AND THEIR FACEPLATES SHALL HAVE ROUNDED CORNERS. BOXES INSTALLED IN FLOORS SHALL BE RATED FOR THE APPLICATION. MOUNT JUNCTION AND OUTLET BOXES FLUSH WITH FINISH SURFACES UNLESS OTHERWISE NOTED. WHERE MOUNTING HEIGHTS ARE GIVEN, THEY SHALL BE MEASURED FROM THE FINISHED FLOOR TO THE CENTER OF THE BOX. ALL BOXES SHALL BE SIZED PER NEC ARTICLE 314. ALL OUTLET AND JUNCTION BOXES SHALL HAVE A COVER PLATE, PROVIDED BY THE ELECTRICAL CONTRACTOR. OUTLET BOXES IN RATED WALLS SHALL BE INSTALLED IN ACCORDANCE WITH VIRGINIA CONSTRUCTION CODE 714.3.2 (MAXIMUM BOX SIZE IS 16 SQUARE IN AND MAXIMUM OF SIX (6) BOXES PER 100 SQUARE FEET). INSTALL OUTLET BOXES IN RATED WALLS SUCH THAT OPENINGS OCCUR IN ONE SIDE ONLY WITHIN ANY GIVEN STUD SPACE. ALL CLEARANCES BETWEEN THE OUTLET BOX AND THE GYPSUM BOARD SHALL BE FILLED WITH JOINT COMPOUND OR OTHER APPROVED FIRE STOP MATERIAL. FLUSH MOUNTED JUNCTION BOXES IN ADJACENT ROOMS SHALL NOT BE MOUNTED BACK-TO-BACK. SURFACE MOUNTED FIXTURES SHALL BE FED THROUGH FLUSH MOUNTED ADA OCTAGONAL OR SQUARE BOXES.
10. ALL CONDUIT, BOXES, AND ELECTRICAL EQUIPMENT SHALL BE FIRMLY AND SECURELY FASTENED TO OR SUPPORTED FROM THE BUILDING STRUCTURAL MEMBERS OR EMBEDDED IN CONCRETE OR MASONRY. ELECTRICAL SUPPORTS SHALL NOT BE ATTACHED TO DUCTWORK, PIPING, OR THEIR SUPPORTS. HANGERS SHALL BE CATALOG ITEMS COMPATIBLE WITH AND SUITABLE FOR THE INTENDED USE. FOR METAL ROOF DECK INSTALLATIONS, 1" IN EMT CONDUIT MAXIMUM AND 4" IN JUNCTION BOXES MAXIMUM MAY BE SUPPORTED BY DECKING. THE SUSPENDED CEILING SYSTEM SHALL NOT BE USED FOR THE SUPPORT OF ELECTRICAL RACEWAY SYSTEMS OR SUPPORT OF COMMUNICATIONS OR DATA SYSTEMS WIRING. CONTRACTOR SHALL COMPLY WITH 1613 OF THE VIRGINIA GENERAL CONSTRUCTION BUILDING CODE.
11. WHERE CONDUCTORS ARE RUN IN PARALLEL, THE EC SHALL COMPLY WITH NEC 310.10(H).
12. PROVIDE AN UNDERGROUND PVC CONDUIT SYSTEM FOR TELEPHONE SERVICE WITH PULL WIRES. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH TELEPHONE UTILITY REGARDING ADDITIONAL FACILITIES REQUIRED FOR THE SERVICE INSTALLATION.
13. ELECTRICAL CONTRACTOR SHALL FIELD IDENTIFY ALL SWITCH BOARDS, PANEL BOARDS, CONTROL PANELS, METER SOCKETS, ETC., TO QUALIFIED PERSONS OF POTENTIAL ELECTRICAL AND FLASH HAZARDS PER 110.16 OF NEC.
14. ELECTRICAL CONTRACTOR SHALL PROVIDE NAMEPLATES FOR IDENTIFICATION OF ALL EQUIPMENT, SWITCHES, PANELS, ETC. THE NAMEPLATES SHALL BE LAMINATED PHENOLIC PLASTIC, BLACK FRONT, AND BACK WITH WHITE CORE, WHITE ENGRAVED LETTERS (1/4" IN MINIMUM) ETCHED INTO THE WHITE CORE. ELECTRICAL CONTRACTOR SHALL PROVIDE A TYPE WRITTEN DIRECTORY CARD THAT ACCURATELY IDENTIFIES CIRCUITS INSIDE EACH PANEL. HANDWRITTEN LABELS ARE NOT ACCEPTABLE.



DESIGN FOR:
**AMPLE STORAGE - EXPANSION
 SITE LIGHTING**
 GREAT FALLS COURT
 KNIGHTDALE, NORTH CAROLINA 27645

REVISION:	DATE	DESCRIPTION

ISSUED:

DRAWN BY: EAC
 CHECKED BY: MMW/OEL
 SITE LIGHTING
 NOTES AND SCHEDULES
 SHEET NO. **SL1**
 PROJECT NO: 240414

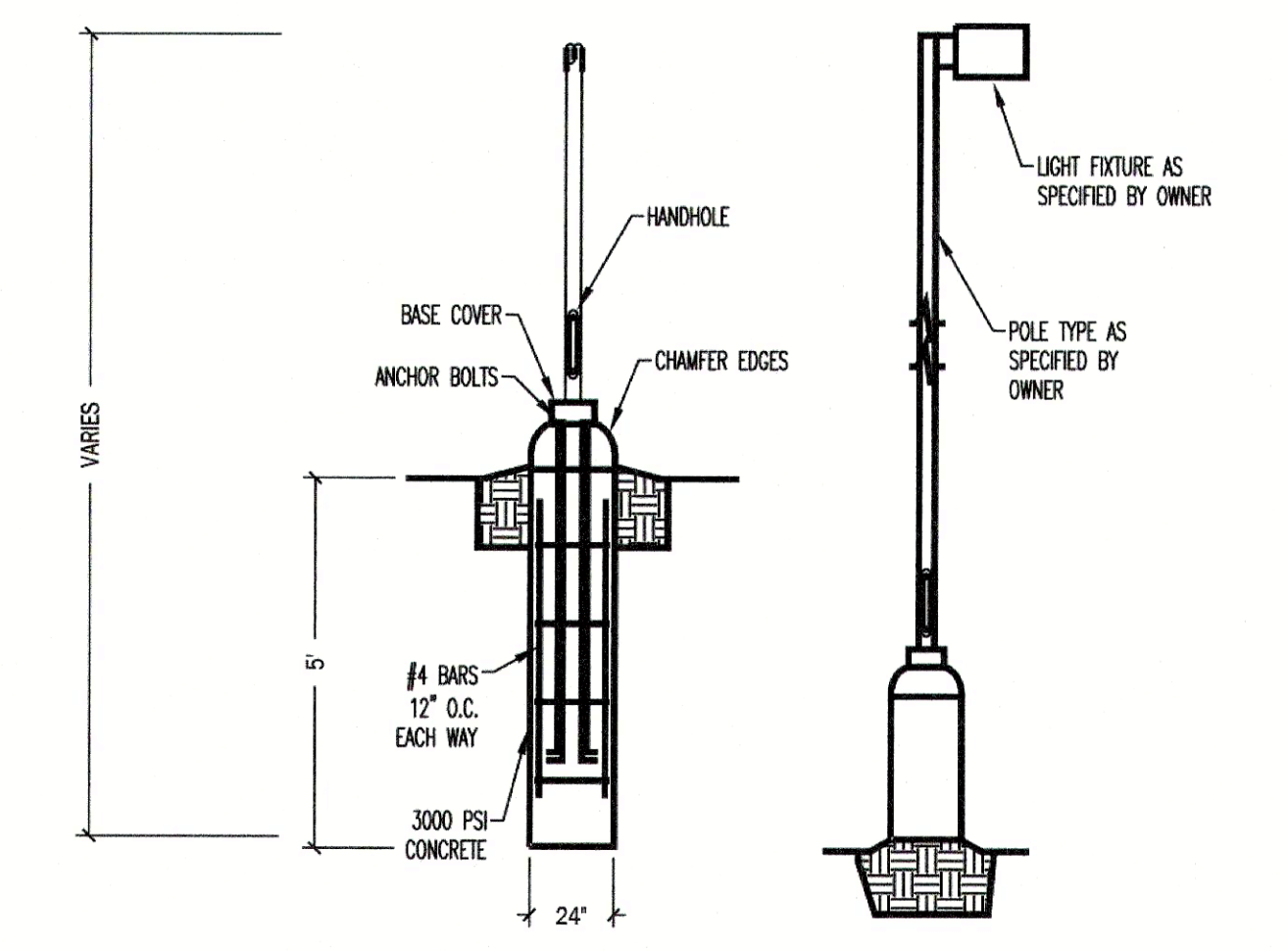
△
 2
 ADDED LIGHTING
 DESIGN BY OTHERS

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator

Lighting Details

PROJECT No. 2023008 SHEET No. **SL1.01**
 DRAWING No. W-4073-MP
 SCALE AS NOTED
 DATE MAY 22, 2024

SITE LIGHTING NOTES 2



GENERIC POLE BASE DETAIL - NO SCALE 3

SITE LIGHTING SCHEDULES 1

Conditional Rezoning Neighborhood Meeting Ample Storage Expansion

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: May 21, 2024.

Attendees:

Gideon Smith – Town of Knightdale

Terry Wethington – Lampe Management (Owner / Applicant)

Jeff Inman - Lampe Management

Matt Prokop – Rivers & Associates (Engineer)

Neighborhood meeting was held at the site location 1107 Great Falls Ct. Attendees gathered at approximately 5:30 pm to await the arrival of any invited property owners. Applicant communicated that the most affected party (Wake Stone Corporation) had viewed the plans and gave verbal approval.

Various other aspects of the review process were discussed between the applicant and the Town, including requests for a variance on the building plan and the possibility of a traffic impact analysis. The potential long-term damage from the nearby blasting activities on any brick façade was discussed. Applicant stated they could provide previous studies indicating the lack of a need for any additional TIA.

Attendees waited at the meeting site until approximately 7:00 pm before concluding that no member of the public was going to attend. Meeting was adjourned at approximately 7:00 pm.



ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

RCP Investments IV, LLC
307 Berkley Woods Dr
Ashland, VA 23005-1253

Re: Ample Storage Expansion

Dear RCP Investments IV, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule (https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2nd St, Greenville, NC 27858, (252) 752-4135 mprokop@riversandassociates.com

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.

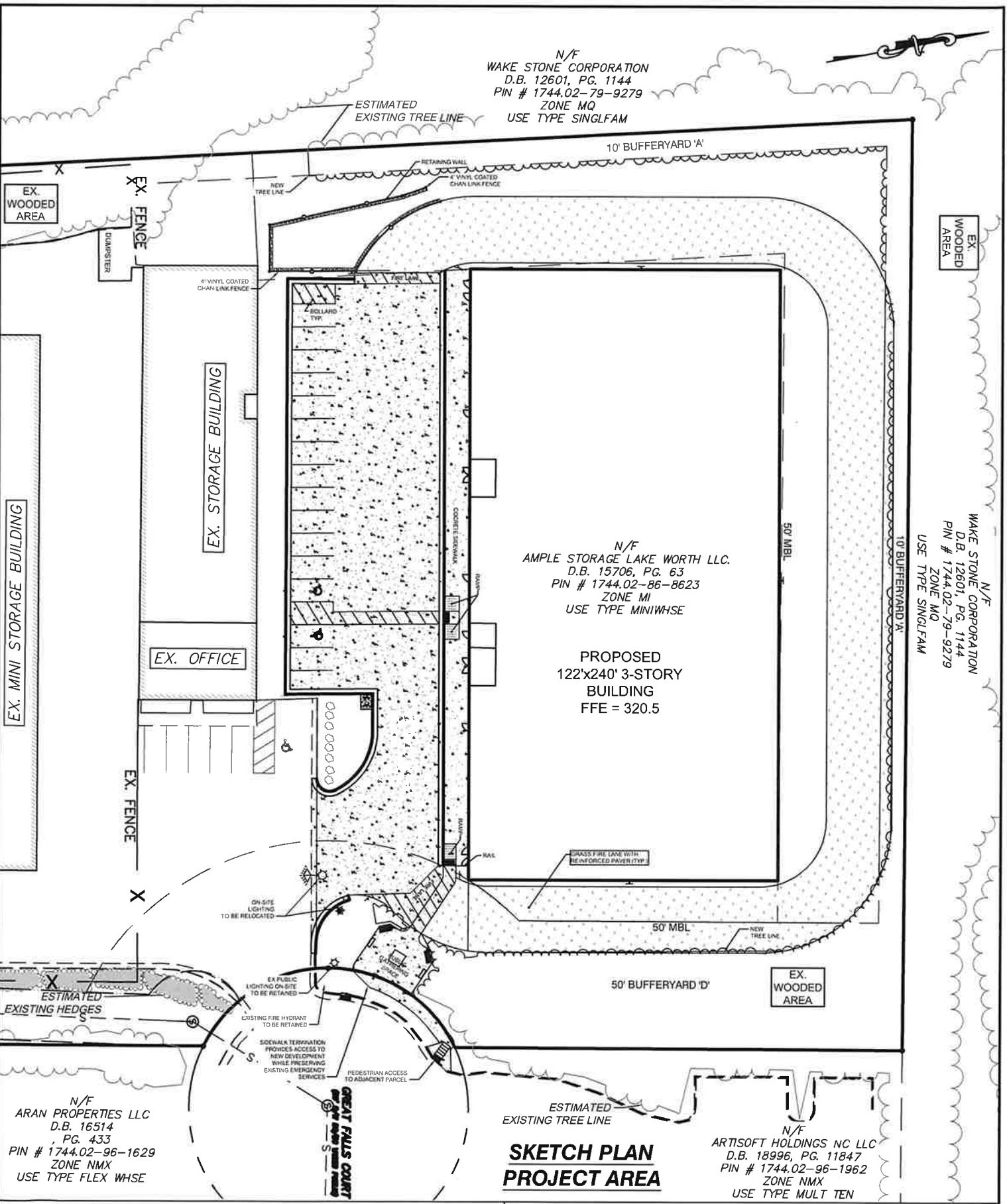
Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 , PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

ESTIMATED
 EXISTING TREE LINE
**SKETCH PLAN
 PROJECT AREA**

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Engineers
Planners
Surveyors
Landscape Architects

Rivers & ASSOCIATES, INC.
 Since 1918

Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

riversandassociates.com

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWSP, - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

P:\PROJECTS\AMPLE - SITE\HORIZONTAL\2023008\DWG\2023008-4073-SK.dwg - 4/1/2024 2:13:51 PM - EDWIN HANZ

April 1, 2024

Beddingfield Real Estate Holdings II, LLC
114 W Main St
Durham, NC 27701-3604

Re: Ample Storage Expansion

Dear Beddingfield Real Estate Holdings:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule (https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

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ENGINEERS

PLANNERS

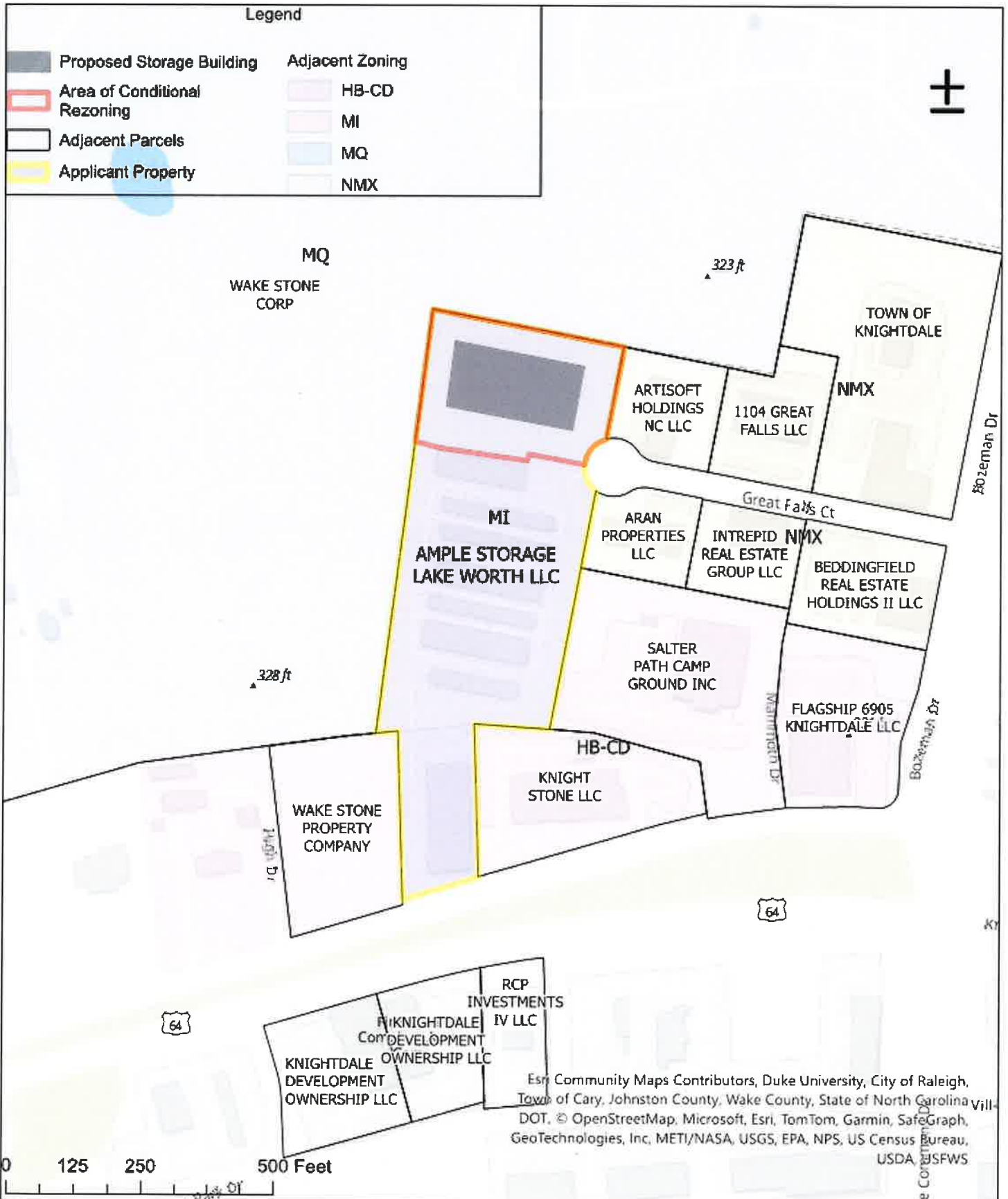
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

EX. WOODED AREA

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

EX. MINI STORAGE BUILDING

EX. STORAGE BUILDING

EX. OFFICE

50' MBL

10' BUFFERYARD 'A'

50' BUFFERYARD 'D'

EX. WOODED AREA

**SKETCH PLAN
 PROJECT AREA**

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Engineers
 Planners
 Surveyors
Landscape Architects

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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008
DRAWN BY:	EDN	DRAWING No.	W-4073-SK
CHECKED BY:	JSJ	SCALE	1"=50'
		DATE	APRIL 1, 2024

SHEET No.
1

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ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Intrepid Real Estate Group, LLC
200 Maplewood Dr
Knightdale, NC 27545-9659

Re: Ample Storage Expansion

Dear Intrepid Real Estate Group:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule (https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_mee ting schedule 2022.pdf) for future public meetings dates.

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ENGINEERS

PLANNERS

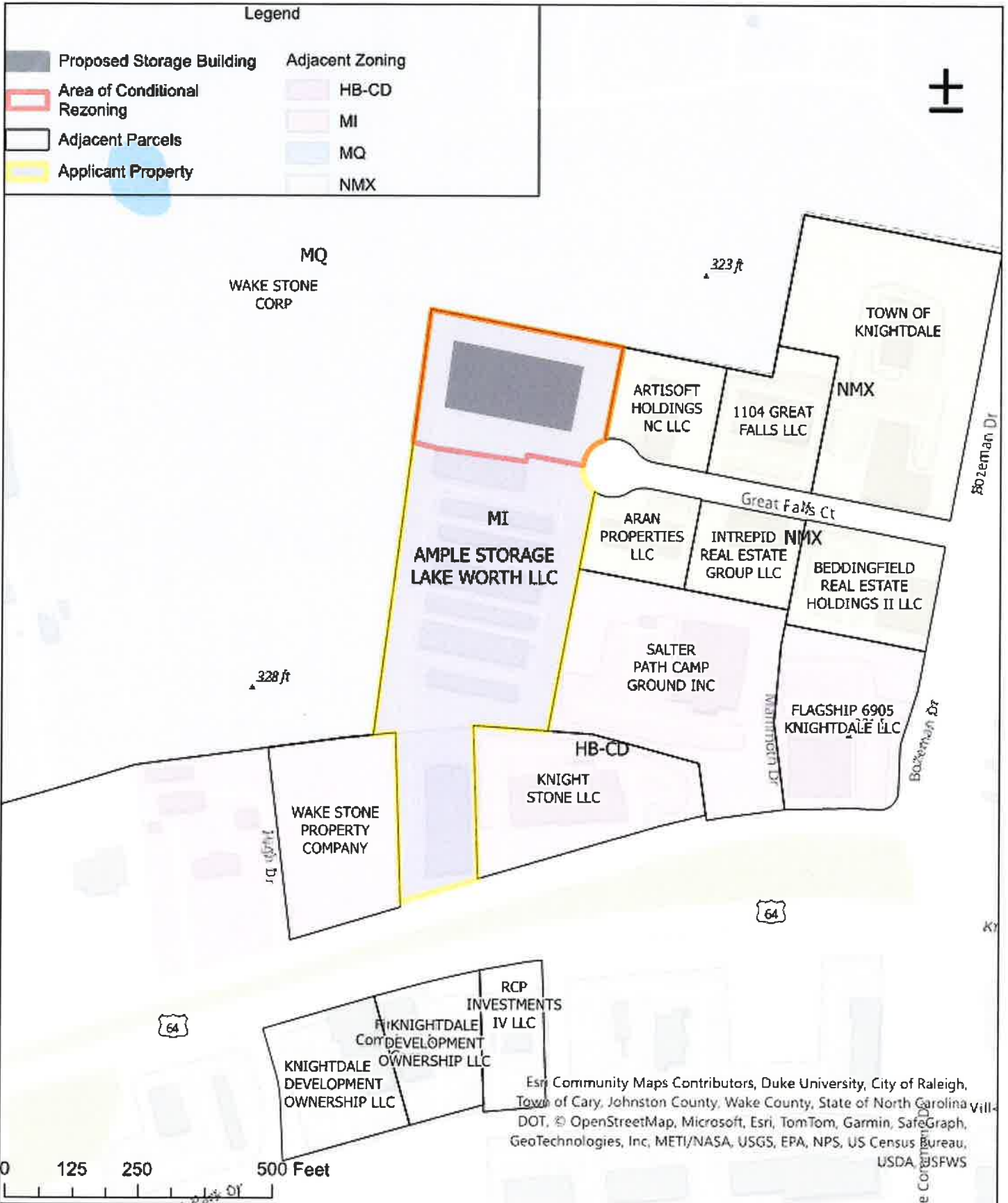
SURVEYORS

LANDSCAPE ARCHITECTS

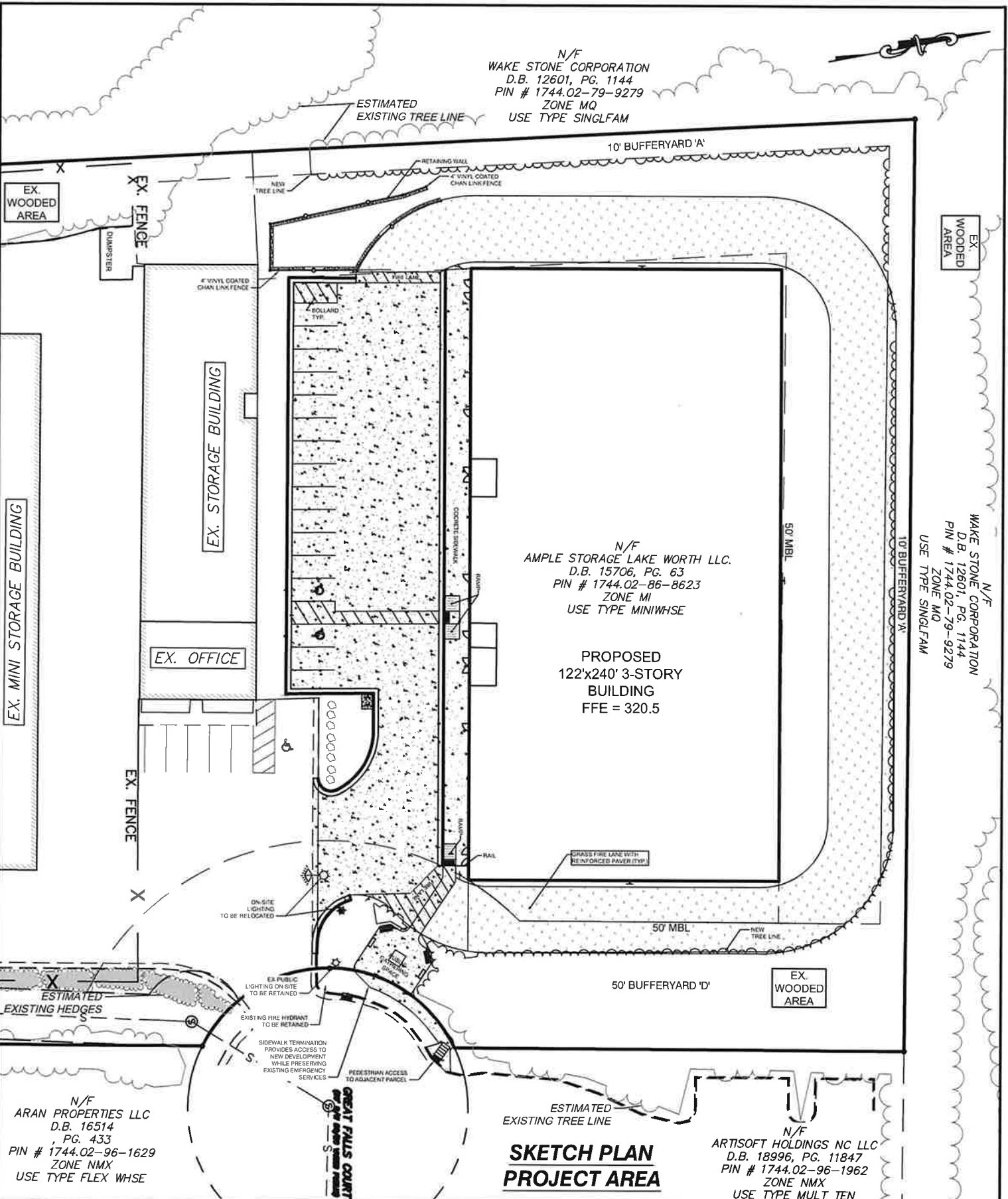
Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**

Engineers
 Planners
 Surveyors
 Landscape Architects



Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008
DRAWN BY:	EDN	DRAWING No.	W-4073-SK
CHECKED BY:	JSJ	SCALE	1"=50'
		DATE	APRIL 1, 2024

SHEET No.
1

P:\PROJECTS\2023\AMPLE - SITE\2023\2023008\2023008-003 SITE & S&I.DWG - LANDSCAPE - 4/11/2024 2:12:30 PM - LDWR\NANCY



ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

1104 Great Falls, LLC
107 Fayetteville St, Ste 400
Raleigh, NC 27601-2916

Re: Ample Storage Expansion

Dear 1104 Great Falls LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Date: April 11, 2024

Meeting Time: 6:00PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal.

Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule

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ENGINEERS

PLANNERS

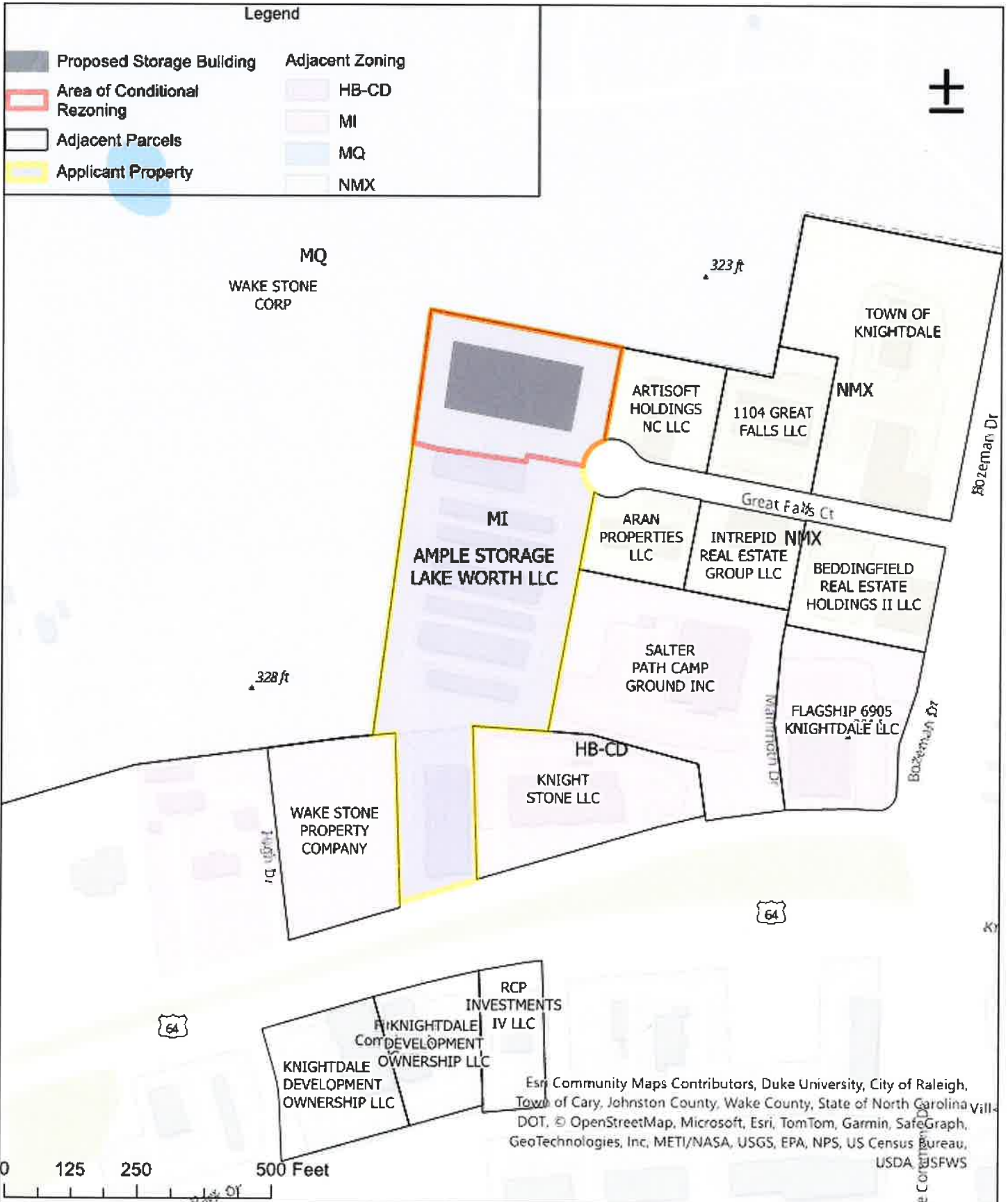
SURVEYORS

LANDSCAPE ARCHITECTS

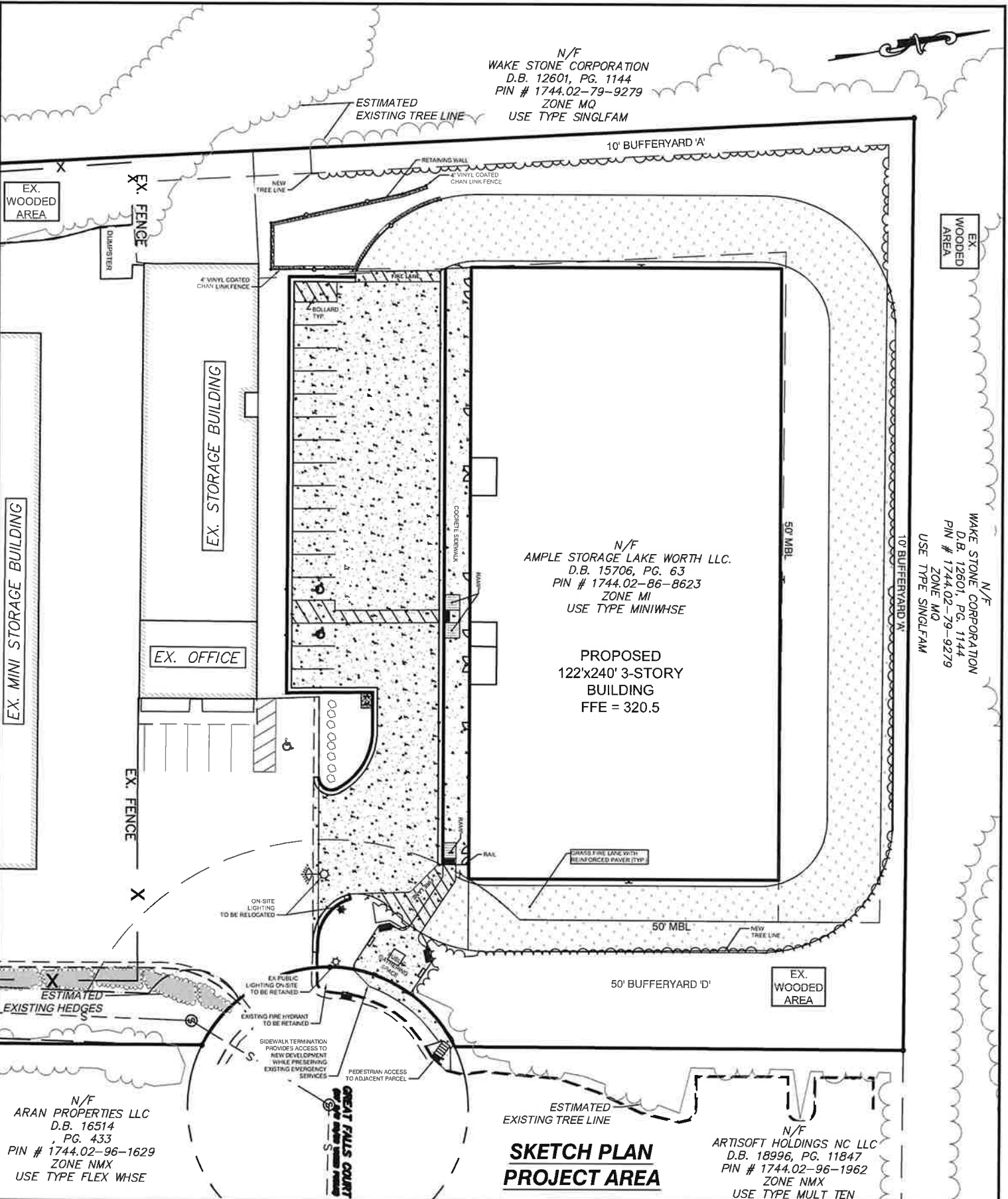
Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINIWHSE

**PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5**

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**

**Engineers
 Planners
 Surveyors**
Landscpe Architects



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 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.
DRAWN BY:	EDN	DRAWING No.	W-4073-SK	
CHECKED BY:	JSJ	SCALE	1"=50'	
		DATE	APRIL 1, 2024	1

April 1, 2024

Aran Properties, LLC
1621 Kirby Ln
Raleigh, NC 27614-7228

Re: Ample Storage Expansion

Dear Aran Properties:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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ENGINEERS

PLANNERS

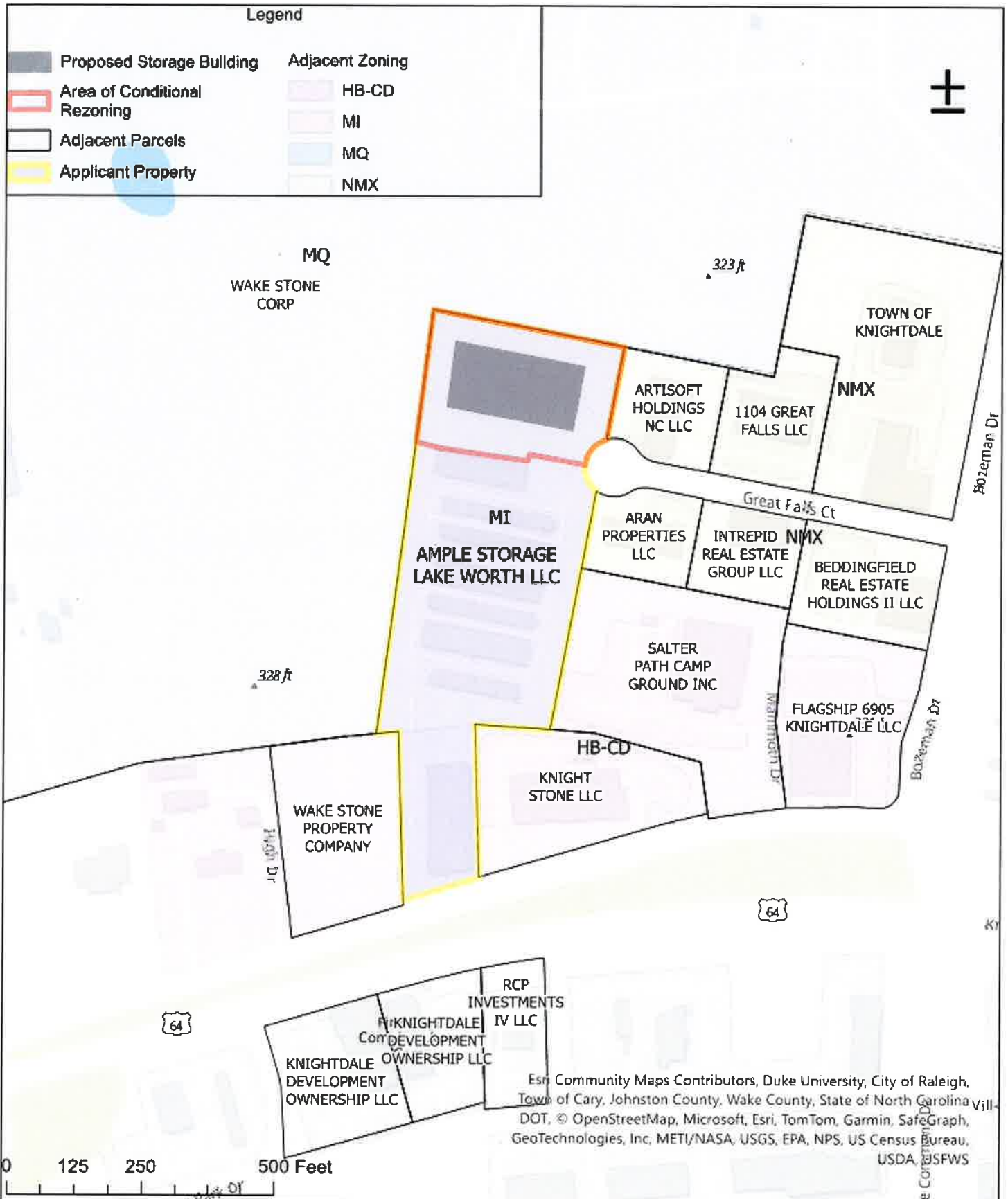
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
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Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

EX. WOODED AREA

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

EX. MINI STORAGE BUILDING

EX. STORAGE BUILDING

EX. OFFICE

EX. WOODED AREA

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**



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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTOALE - ST. MATTHEWS TWSWP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008
DRAWN BY:	EDN	DRAWING No.	W-4073-SK
CHECKED BY:	JSJ	SCALE	1"=50'
		DATE	APRIL 1, 2024

SHEET No.
1

P:\PROJECTS\AMPLE - MAPLE - SITE\HORIZONTAL\2023008\DRAWING\PROJECT\DWG\APP3 SITE E-SK11.DWG - LAYOUT1.DWG - 4/1/2024 2:17:01 PM - EDWIN HANSE

April 1, 2024

Artisoft Holdings, LLC
1106 Great Falls Ct
Knightdale, NC 27545-5801

Re: Ample Storage Expansion

Dear Artisoft Holdings, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Time: 6:00 PM

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Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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ENGINEERS

PLANNERS

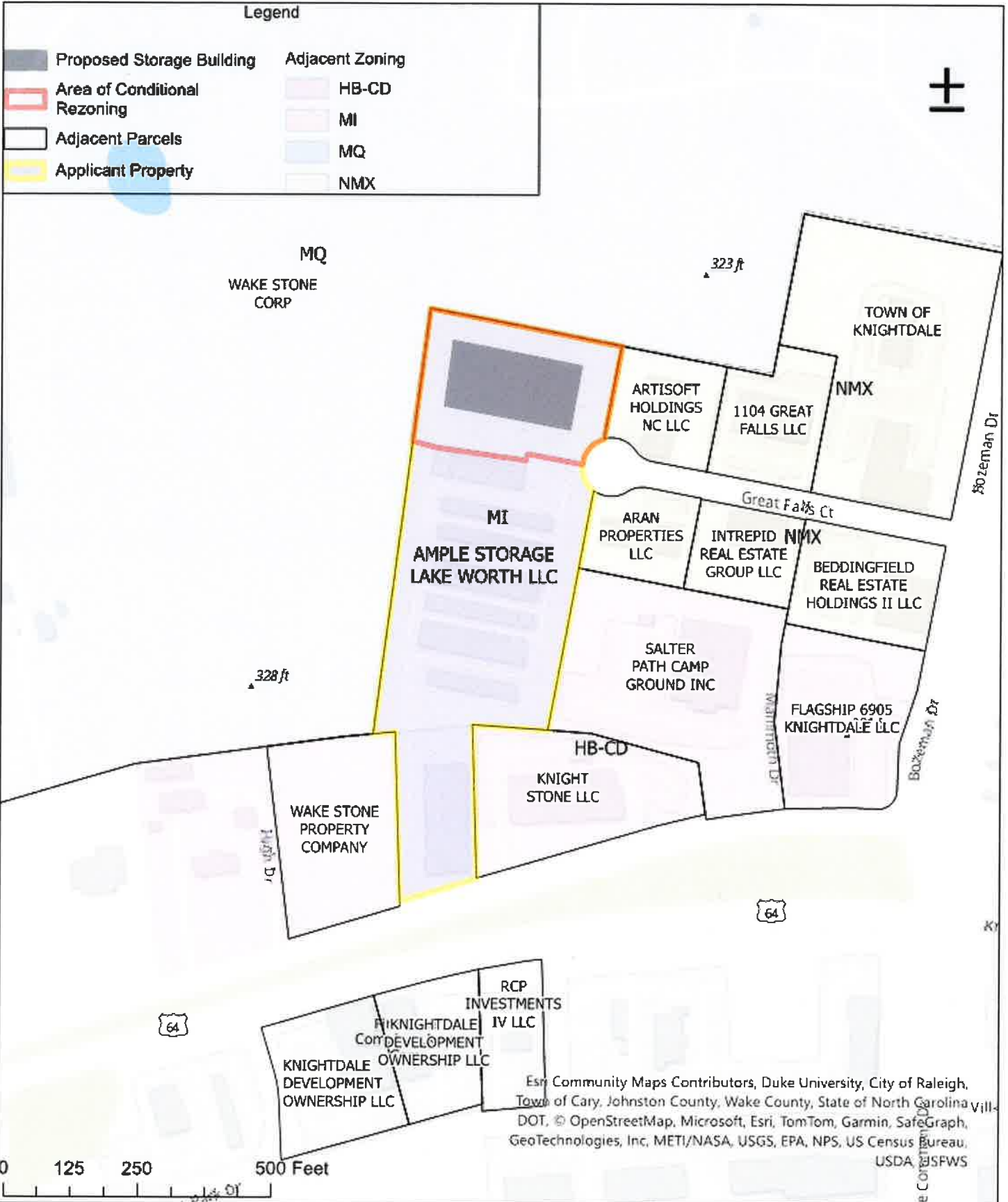
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
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City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



April 1, 2024

Ample Storage Lake Worth, LLC
PO Box 608
Smithfield, NC 27577-0608

Re: Ample Storage Expansion

Dear Ample Storage Lake Worth, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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ENGINEERS

PLANNERS

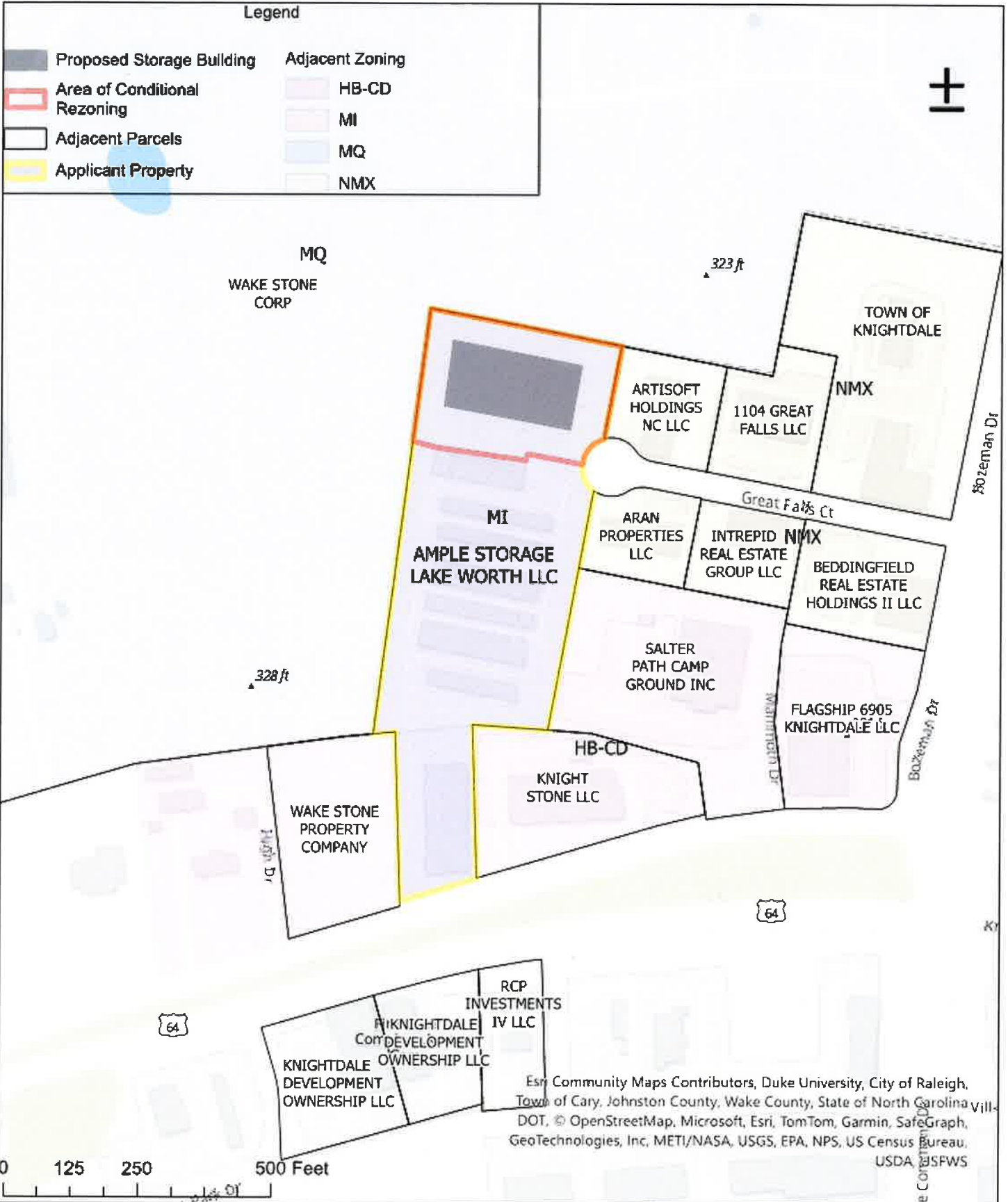
SURVEYORS

LANDSCAPE ARCHITECTS

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City: Greenville State: NC Zip: 27858
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Address: PO Box 608
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Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINIWHSE

PROPOSED
 122x240' 3-STORY
 BUILDING
 FFE = 320.5

EX. WOODED AREA

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
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 ZONE M0
 USE TYPE SINGLFAM

EX. MINI STORAGE BUILDING

EX. STORAGE BUILDING

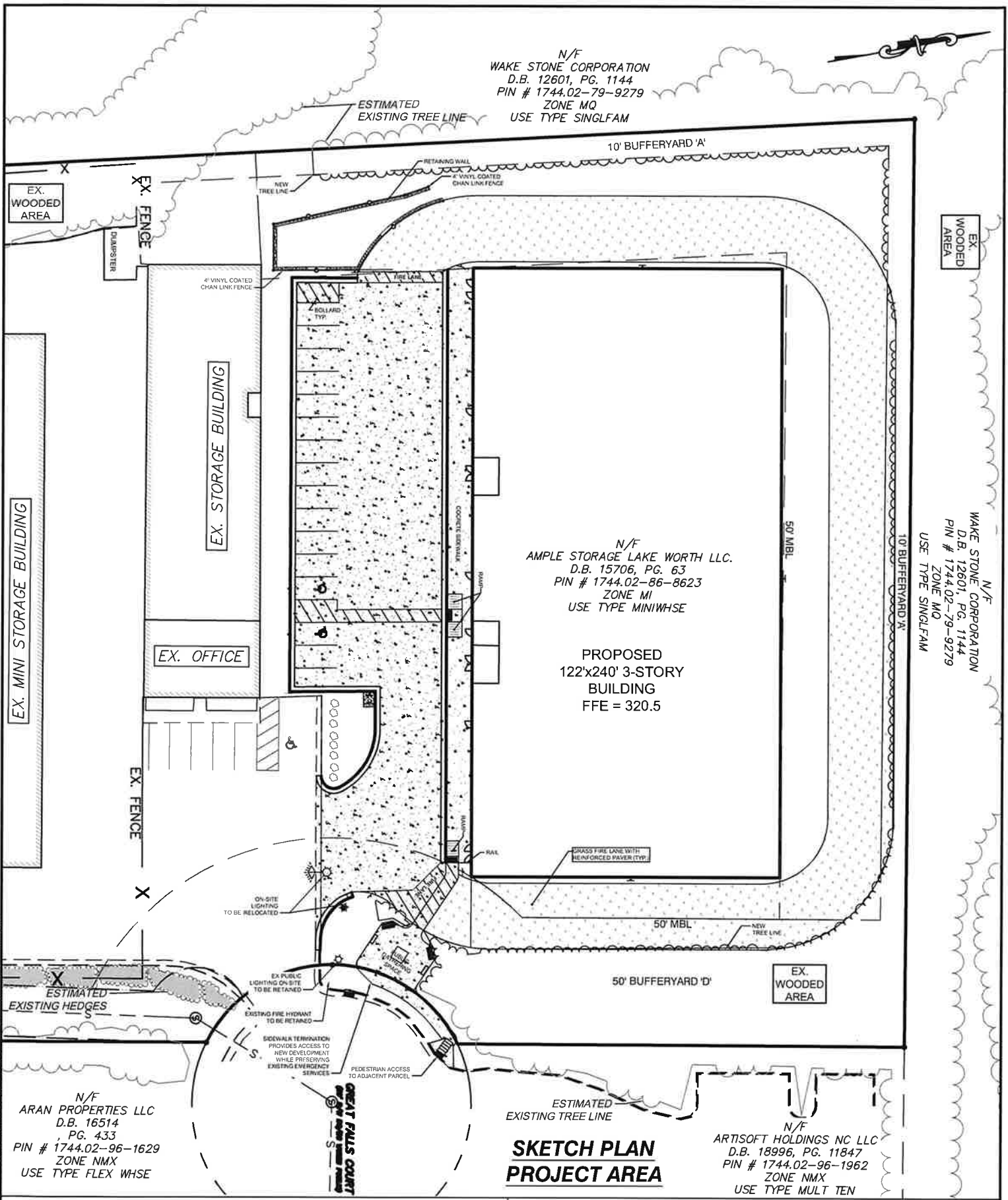
EX. OFFICE

EX. WOODED AREA

N/F
 ARAN PROPERTIES LLC
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 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**



**Engineers
 Planners
 Surveyors**

**Rivers
 & ASSOCIATES, INC.**
 Since 1918

Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LANDSCAPE ARCHITECTS riversandassociates.com

LAMPE MANAGEMENT COMPANY

AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWSP, - WAKE CO, - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

P:\MANAGEMENT\AMPE - MAPLE - SITE\PROJECTS\2023008\AMPE - AMPLE STORAGE EXPANSION\DWG\SITEPLAN\DWG\1744.02-96-1629 - AMPLE STORAGE EXPANSION - SITE PLAN - 4/1/2024 - LAMPE.MPJ (D) - 4/1/2024 2:12:50 PM - LAMPE.MPJ

April 1, 2024

Salter Path Camp Ground, LLC
PO Box 2323
Atlantic Beach, NC 28512-2323

Re: Ample Storage Expansion

Dear Salter Path Camp Ground:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal.

Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

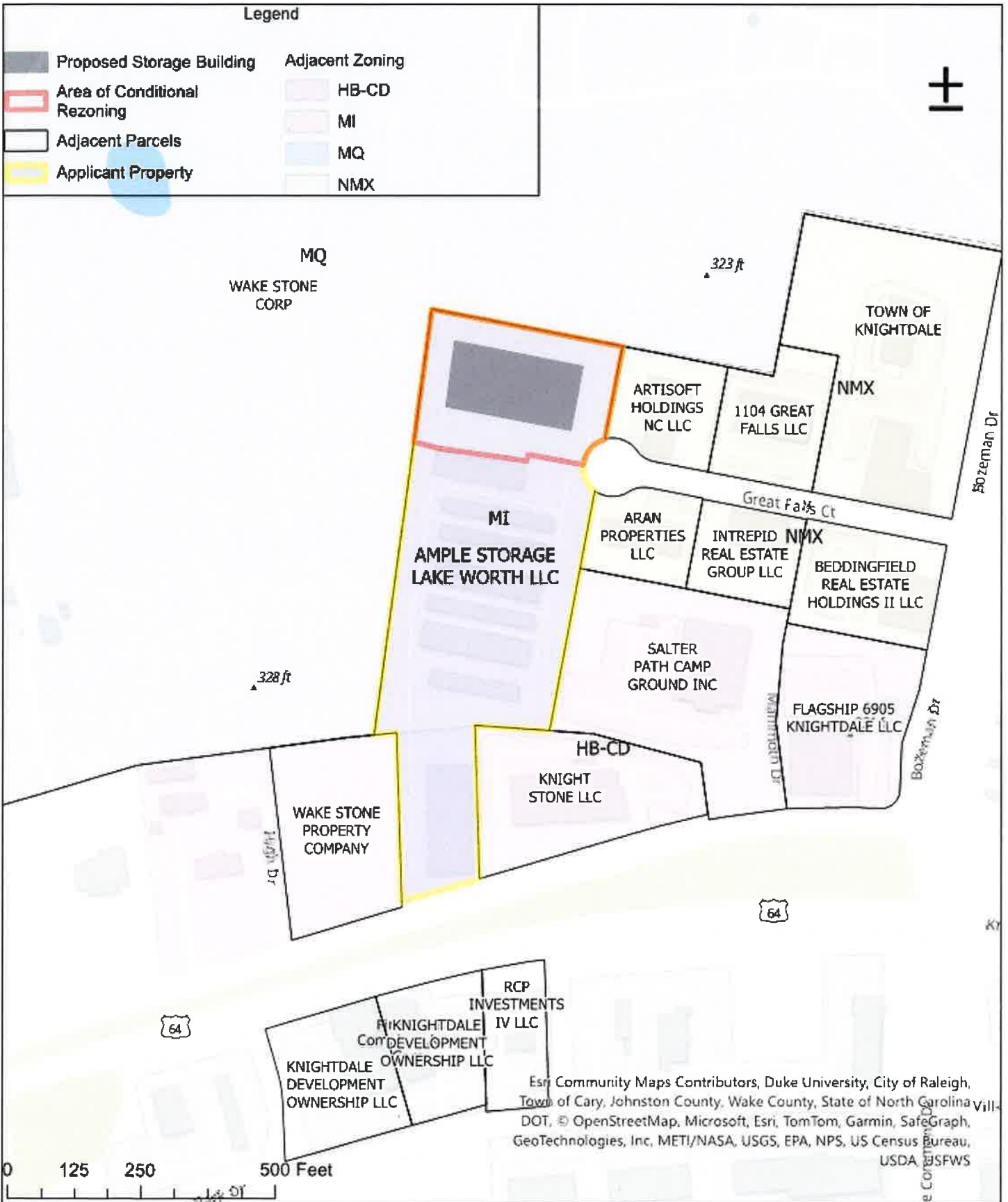
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Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

EX. WOODED AREA

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

EX. MINI STORAGE BUILDING

EX. STORAGE BUILDING

EX. OFFICE

EX. WOODED AREA

EX. WOODED AREA

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

ESTIMATED EXISTING TREE LINE
**SKETCH PLAN
 PROJECT AREA**

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Engineers
 Planners
 Surveyors
 Landscape Architects

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 353 E. Six Forks Road
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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TOWNSHIP - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

PLANNING AND DESIGN SERVICES, INC. 4073 STATE STREET, SUITE 200, RALEIGH, NC 27609 (919) 881-1111

April 1, 2024

Knightdale Development Group, LLC
The Widewaters Group, Inc
5845 Widewaters Pkwy, Ste 100
East Syracuse, NY 13057-3078

Re: Ample Storage Expansion

Dear Knightdale Development Group, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal.

Additional materials and information may be available at the meeting. *Please see the

Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

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ENGINEERS

PLANNERS

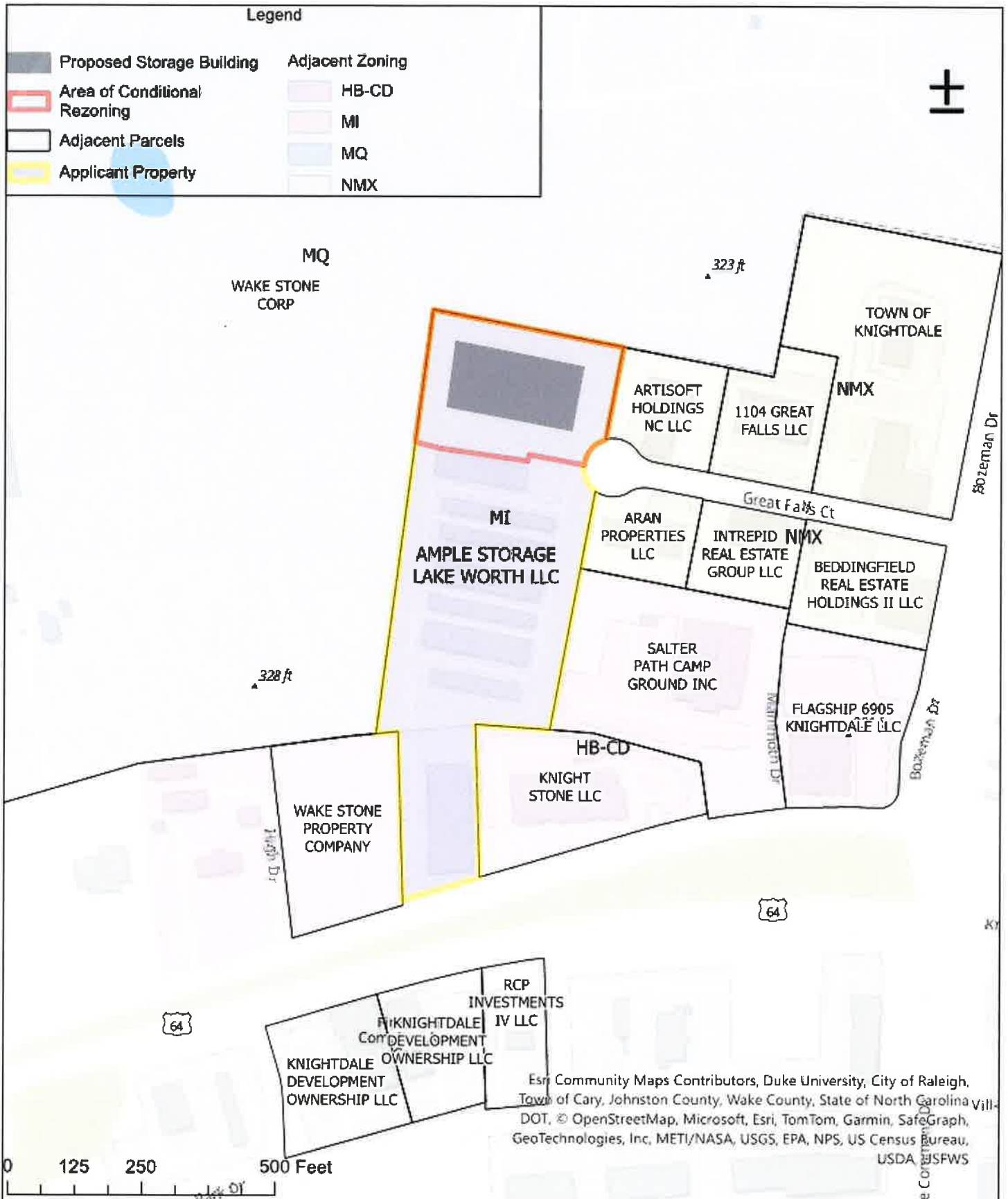
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion





ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Wake Stone Corporation
PO Box 190
Knightdale, NC 27545-0190

Re: Ample Storage Expansion

Dear Wake Stone Corporation:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

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Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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ENGINEERS

PLANNERS

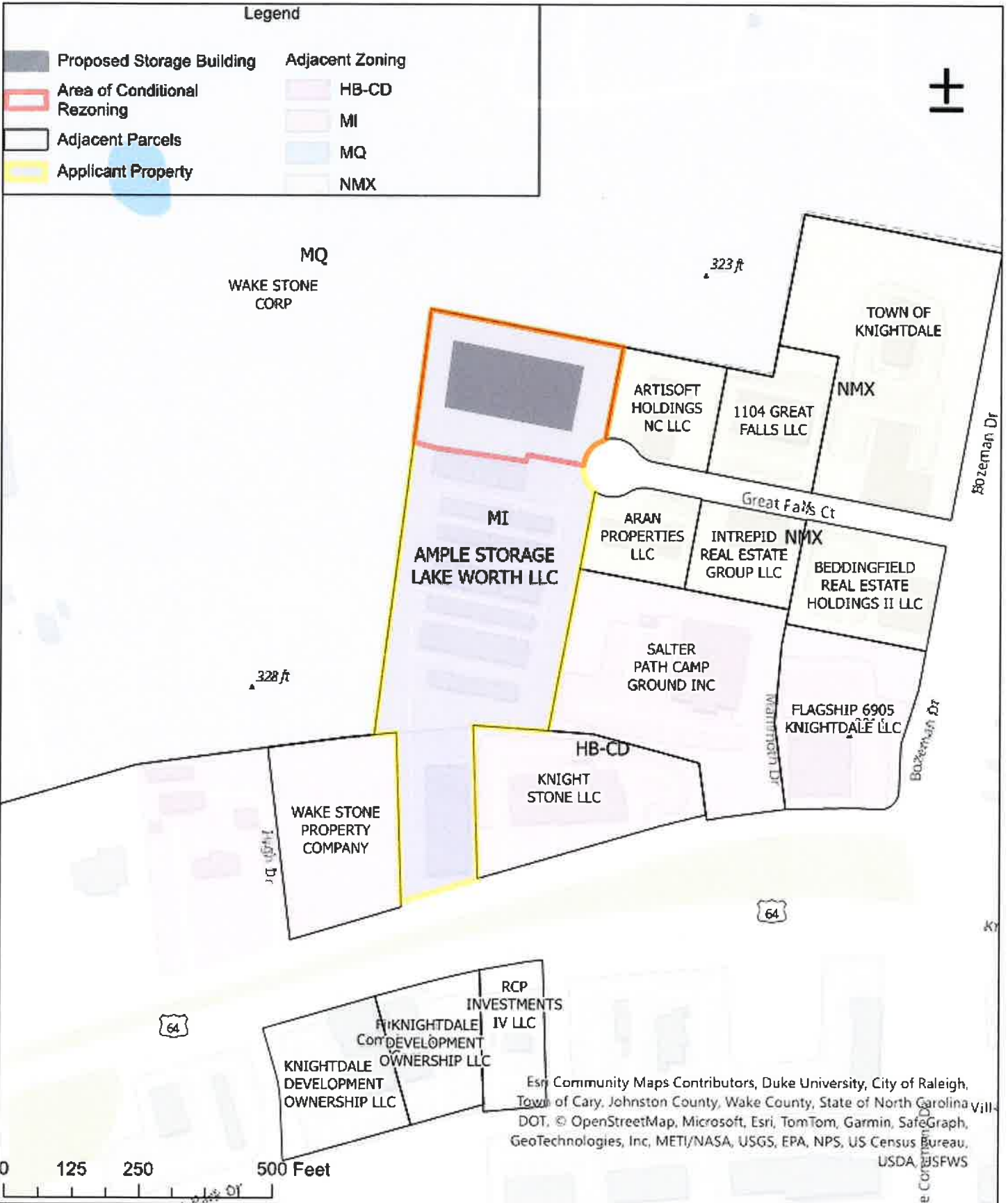
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

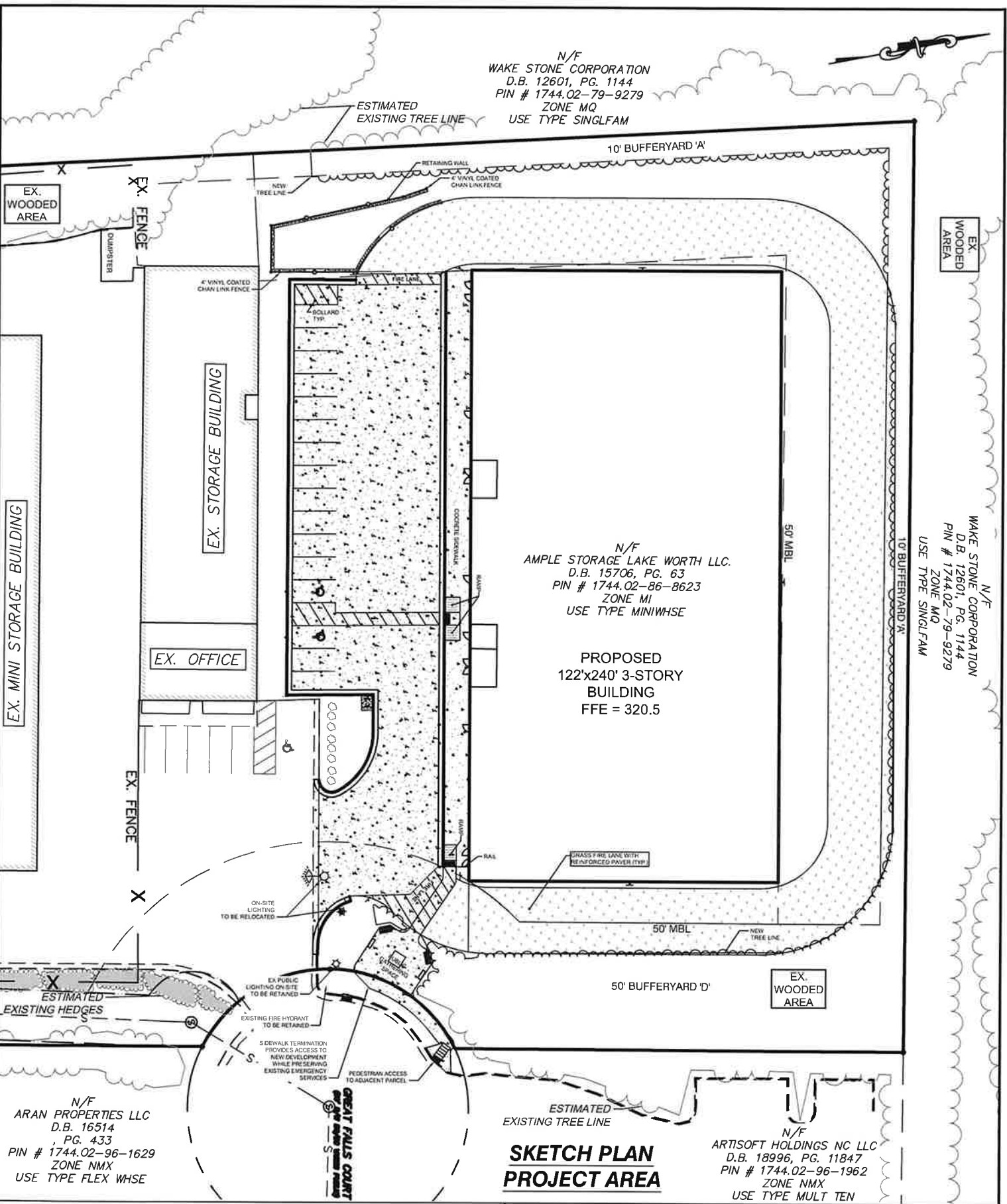
Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



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N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
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 ZONE NMX
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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWSP. ~ WAKE CO. ~ NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

P:\PROJECTS\AMPLE - WAKE - ESTD\POSTAL\2023008 - AMPL - DWG\SETUP\4073-SK-1.DWG - 4/1/2024 2:12:50PM - CONNOR WANCE

April 1, 2024

Ready Mixed Concrete Co
3015 Windward Plaza, Suite 300
Alpharetta, GA 30005-8713

Re: Ample Storage Expansion

Dear Ready Mixed Concrete Company:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Date: April 11, 2024

Meeting Time: 6:00PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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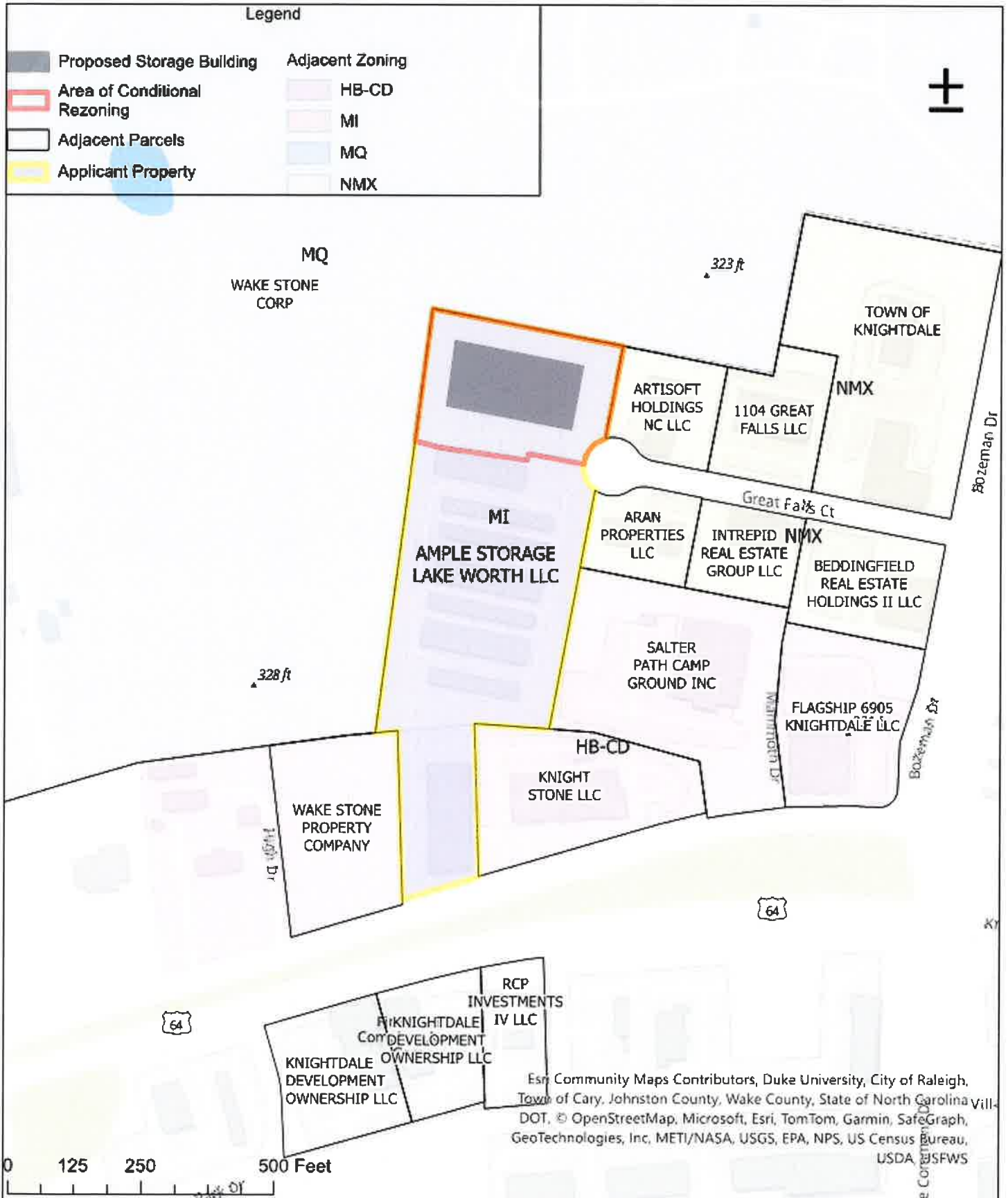
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Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



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April 1, 2024

Knight Stone, LLC
1655 Wake Dr, Unit 101
Wake Forest, NC 27587-4746

Re: Ample Storage Expansion

Dear Knight Stone, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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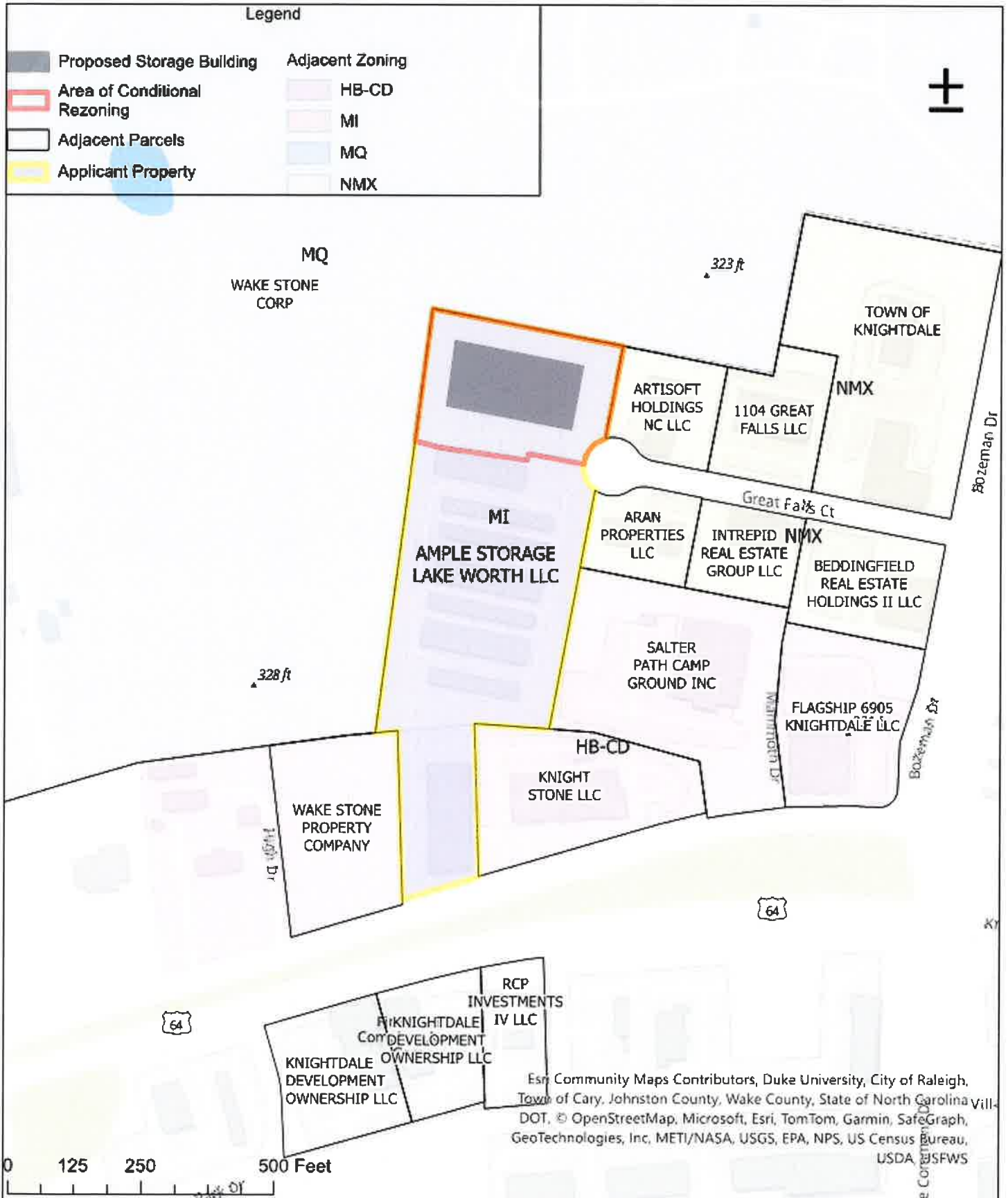
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Project Contact Information

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Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



April 1, 2024

Flagship 6905 Knightdale, LLC
2701 Coltsgate Rd, Ste 300
Charlotte, NC 25211-3596

Re: Ample Storage Expansion

Dear Flagship 6905 Knightdale, LLC

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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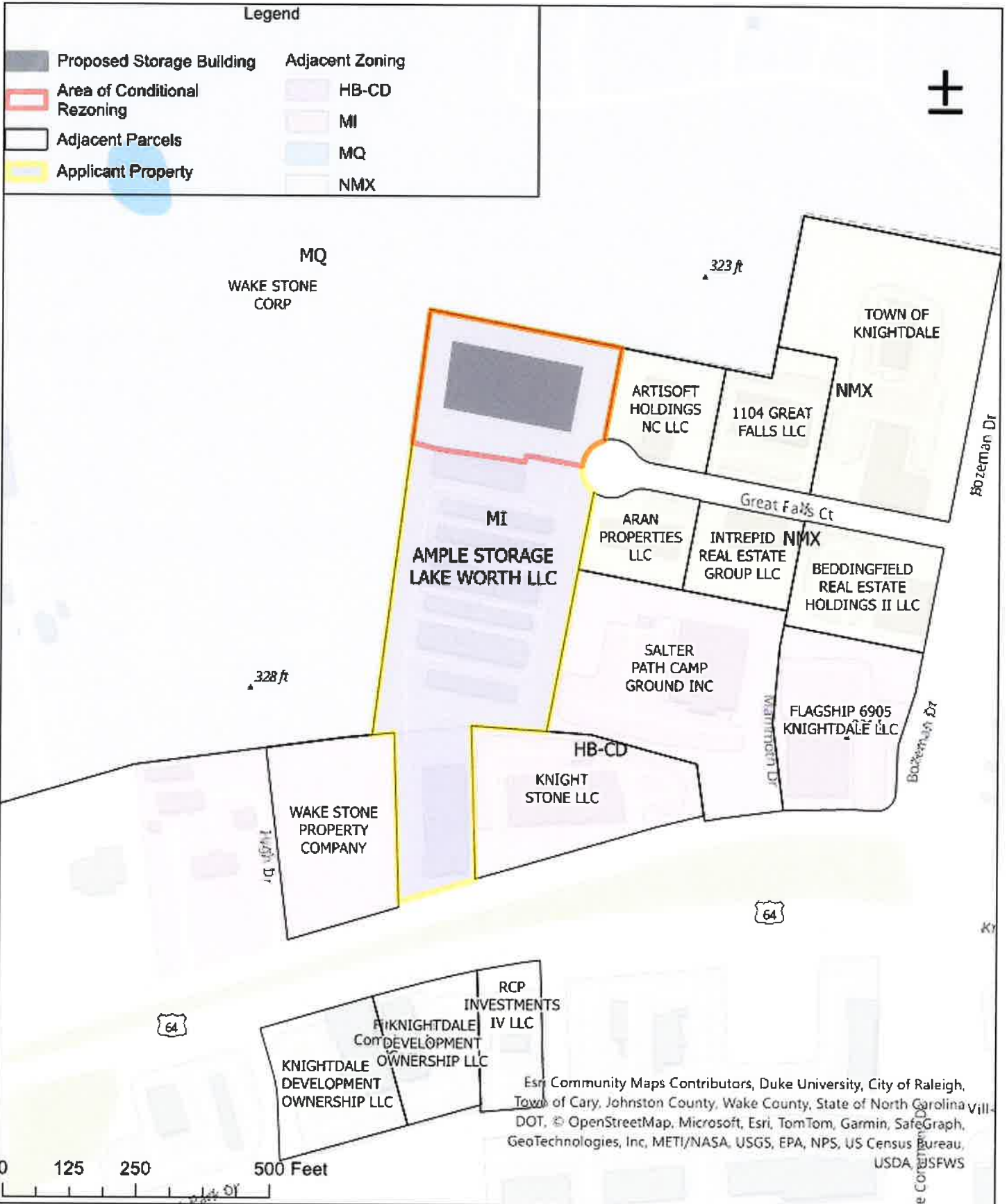
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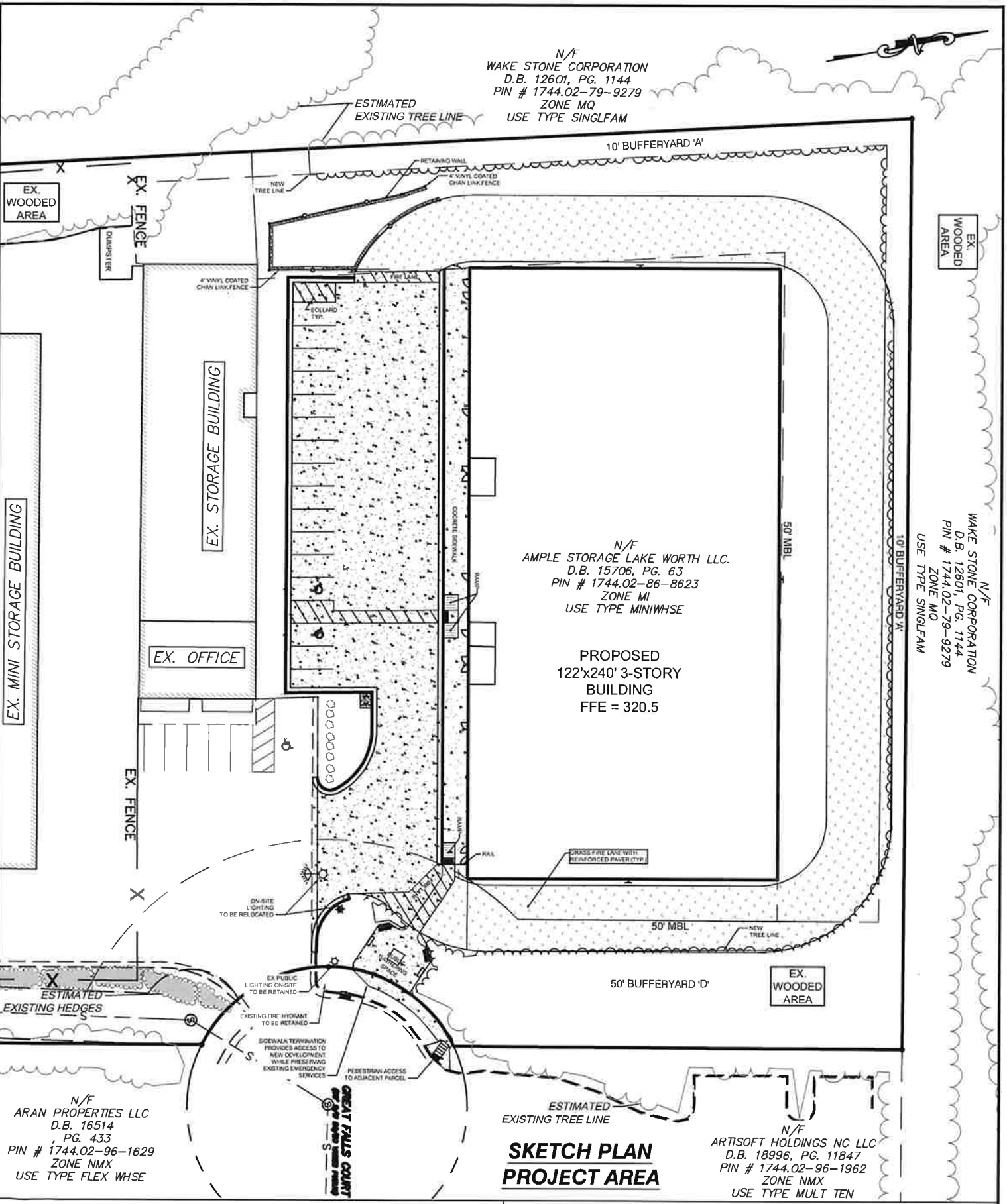
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Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**

**Engineers
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 Since 1918

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 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

Landscape Architects riversandassociates.com

LAMPE MANAGEMENT COMPANY

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 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
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P:\PROJECTS\AMPLE - WAKE CO. - 1744.02-96-1629\DWG - LANDSCAPE - 4/1/2024 - 12:50 PM - LAMPE.MXD

FIRST-CLASS

US POSTAGE IMMEDIATE PITNEY BOWES



ZIP 27858 \$ 000.64⁰
02 7H APR 01 '2024
0006042582



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

RCP Investments IV, LLC
307 Berkley Woods Dr.
Ashland, VA 23005-1253

ENGINEERS

DIAMONDS

CUBEVNDC

I AMSCAPE ADVERTENTS



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

**Beddingfield Real Estate
Holdings II, LLC
114 W. Main Street
Durham, NC 27701-3604**

FNRMFEDC

DIAMMDC

CIIDIFVDDC

IAMRCFADEADPQITEPTC

FIRST-CLASS



US POSTAGE PAID PITNEY BOWES

ZIP 27858
02 7H
0006042582 APR 01 2024

FIRST-CLASS

US POSTAGE



ZIP 27858
02 7H
0006042582 APR 01 2024



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835



Intrepid Real Estate Group, LLC
200 Maplewood Drive
Knightdale, NC 27545-9659

LANDSCAPE ARCHITECTS

SURVEYORS

PLANNERS

ENGINEERS

FIRST-CLASS



US POSTAGE



ZIP 27858
02 7H
0006042582

\$ 000.64⁰

APR 01 2024



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

1104 Great Falls, LLC
107 Fayetteville Street
Suite 400
Raleigh, NC 27601-2916

ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

FIRST-CLASS

US POSTAGE PAID PITNEY BOWES

ZIP 27858 \$ 000.64⁰
02 7H APR 01 2024
0006042582



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Aran Properties, LLC
1621 Kirkby Lane
Raleigh, NC 27614-7228

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

FIRST-CLASS

US POSTAGE



ZIP 27858
02 7H
0006042582 APR 01 2024

\$ 000.64⁰



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Artisoft Holdings NC, LLC
1106 Great Falls Court
Knightsdale, NC 27545-5801

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Ample Storage Lake Worth, LLC
P.O. Box 608
Smithfield, NC 27577-0608

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Salter Path Camp Ground, Inc.
P.O. Box 2323
Atlantic Beach, NC 28512-2323

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Knightdale Development Ownership, LLC
5845 Widewaters Parkway
Suite 100
East Syracuse, NY 13057-3078

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Wake Stone Corp.
P.O. Box 190
Knightdale, NC 27545-0190

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**Ready Mixed Concrete Co.
3015 Windward Plaza
Suite 300
Alpharetta, GA 30005-8713**

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Knight Stone, LLC
1655 Wake Drive
Unit 101
Wake Forest, NC 27857-4746

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Flagship 6905 Knightdale, LLC
2701 Coltsgate Road
Suite 300
Charlotte, NC 28211-3596

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LANDSCAPE ARCHITECTS



NEIGHBORHOOD MEETING ATTENDANCE SHEET

Please list Neighborhood Meeting Attendees who provided their name and/or contact information either during the meeting or via phone/email before or after the meeting. Use duplicate sheets if needed.

	Name/Organization	Address	Phone Number	Email Address	Follow Up Requested?
1.					
2.	NONE IN ATTENDANCE				
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					
11.					
12.					
13.					
14.					
15.					