

**Project Overview**

**#1215031**

**Project Title:** Olde Faison Place  
**Application Type:** Planned Unit Development (Full)  
**Workflow:** PUD: Town Council (Step 3)

**Jurisdiction:** Town of Knightdale  
**State:** NC  
**County:** Wake

**Project Contacts**

**Contact Info: Applicant**

Stephen Ballentine

353 E Six Forks Rd, Ste 230

Raleigh, NC 27609

P:9195941626

[sballentine@riversandassociates.com](mailto:sballentine@riversandassociates.com)

**Contact Info: Property Owner**

Tom Quackenbush

Ashbury and the Holding Company, LLC

PO Box 90427

Raleigh, NC 27675-0427

P:919-741-7993

[tom@glenwoodhomes.com](mailto:tom@glenwoodhomes.com)

**Contact Info: Developer**

Tom Quackenbush

Ashbury and the Holding Company, LLC

PO Box 90427

Raleigh, NC 27675-0427

P:919-741-7993

[tom@glenwoodhomes.com](mailto:tom@glenwoodhomes.com)

**Contact Info: Engineer**

Stephen Ballentine

353 E Six Forks Rd, Ste 230

Raleigh, NC 27609

P:9195941626

[sballentine@riversandassociates.com](mailto:sballentine@riversandassociates.com)

**Please indicate which of the following contacts should be included in this project.:** Developer,Engineer

**Project Location**

**Applications must include accurate property information. If unsure of the Parcel Identification Number (PIN), please use [Wake County iMAPS](#).**

**Project Address:** VACANT LAND- NOT ASSIGNED

**Parcel Identification Number (PIN):** 1743466606,  
1743463116

**Total Acreage:** 21.15

**Project Description**

**Brief Description of Project:**

Planned Community on a 21.15 ac tract on the north side of Old Faison Road with a mix of single-family homes and townhomes. The community is served by public streets with sidewalks on both sides, preserved open space, pond with fountain, amenities including recreational field, playground, tennis and pickleball courts, picnic shelter, dog park and walking trails.

**Project Location Data**

**Inside Corporate Limits:** No

**Proposed Land Use (General):** Residential

**Current Land Use:** Vacant/Undeveloped

**Current Zoning:** GR8 - General Residential 8, GR8 PUD

**Residential Information**

**Does this project include a residential component?:** Yes

**Number of Townhome Lots:** 106

**Total Number of Proposed Residential Lots:** 118

**Number of alley loaded lots:** 118

**Proposed Density:** 5.58

**Number of Detached Single Family Lots:** 12

**Number of Multi-Family/Apartments Units:** 0

**Number of front loaded lots:** 0

**Please Note: Knightdale's Unified Development Ordinance has unique regulations pertaining to mass grading and landscape preservation. Please consult the UDO regulations below to ensure your proposed project meets the requirements.**

As outlined in *UDO Chapter 9.3: Residential Clearing & Grading*, mass grading is prohibited except where residential lots are less than 60 feet in width.

As outlined in *UDO Chapter 7.4.H: Tree Protection*, there are requirements for landscape preservation, tree save areas, protection measures, and replacement specifications.

**Non-Residential Information**

**Does this project include a non-residential component?:** No **Total Number of Proposed Non-Residential Lots:**

**Total Number of Non-Residential Buildings:**

*If your project contains more than three buildings, please upload total proposed square footage information as part of your project documents.*

**Building #1 Square Footage:**

**Building #3 Square Footage:**

**Building #2 Square Footage:**

**Please Note: Knightdale's Unified Development Ordinance has unique regulations pertaining to landscape preservation. Please consult the UDO regulations below to ensure your proposed project meets the requirements.**

As outlined in *UDO Chapter 7.4.H: Tree Protection*, there are requirements for landscape preservation, tree save areas, protection measures, and replacement specifications.

**Utility & Stormwater Information**

**Proposed Water Supply:** Public or Municipal

**Description of Public Utility Connection (Water Supply):**

Will connect to City of Raleigh 16" DIP in Old Faison Road

**Proposed Wastewater Supply:** Public or Municipal

**Description of Public Utility Connection (Wastewater Supply):**

Connection to City of Raleigh sewer system at existing manhole north east of the property via a proposed sewer easement on adjacent property. See Sketch Plan Sheet S2.

**How will stormwater management be addressed?:** New System or Device

**New Device Type:** Wet Pond

**Does the proposed development anticipate the addition or extension of public streets?:** Yes

**Does the parcel(s) contain any of the following environmental/natural features?:** Stream Buffers, Body of Water

**Neighborhood Meeting Information**

**Please Note:** A full Neighborhood Meeting Report is a required element of this application. The questions below must answered and are not a substitution for providing a full report, as outlined in the application checklist.

**Date of Mailed Notification:** 10/02/2024

**Date of Neighborhood Meeting:** 10/15/2024

**Number of Property Owners Contacted:** 82

**Number of Residents in Attendance:** 9

**Provide a brief summary of the meeting, including any issues or concerns that were discussed.:**

Please refer to the meeting notes document, which describes what was discussed at the meeting.

**Comprehensive Plan Consistency**

**Please Note:** A standalone PUD document is a required application element. The questions below must be answered and are not a substitution for providing a PUD document, as outlined in the application checklist.

**Current 2035 Comprehensive Plan Placetype Designation:**  
Mixed-Use Neighborhood

**Provide brief statements regarding whether the rezoning request is consistent with the Growth Framework designation, Growth & Conservation Placetype, and any applicable policies contained within the 2035 Comprehensive Plan.:**

This project does not include retail nor commercial components, and is therefore not a mixed use project. This is a residential developer. We do not believe there is demand for a commercial nor retail development at this location, and any investment in those uses would likely not succeed at this location. This project qualifies as a "mixed density neighborhood" per the UDO. Please refer to the PUD document for additional information.

**Provide brief statements explaining how the rezoning request is reasonable and in the public interest.:**

This rezoning request is compatible with the existing GR8 zoning of the property, and with the adjacent townhouse and single family developments surrounding the property. As indicated in the Comprehensive Plan, there is a shortage of townhouse developments in the Town of Knightdale. Only 6% of all residences in Knightdale are townhouses. This project will help the Town to achieve a more balanced mix of townhouses. This project includes multiple amenities and open spaces, which will benefit the community.

## UDO Consistency

**Please Note:** A standalone PUD document is a required application element. The questions below must be answered and are not a substitution for providing a PUD document, as outlined in the application checklist.

**Proposed Base Zoning District:** GR8 - General Residential 8

**Explain how the project is consistent with the Unified Development Ordinance:**

This project has been designed to comply with the Town of Knightdale Unified Development Ordinance, including but not limited to the zoning standards, allowable uses, buffers, landscaping, stormwater, utilities, lighting, roadway, parking, and open space requirements.

**Provide any proposed modifications to UDO standards:**

This project is not proposing any modification to the UDO. However, this project is proposing the following, which can be approved under the PUD classification. The Town has indicated that they are in the process of changing their road cross section standards. The proposed road cross sections differ slightly from the current UDO, in the following ways: The shoulders contain narrower sidewalk pavement than the "urban street" section in the UDO and more grass. The roads contain more parallel parking spaces instead of bike lanes, and less median islands due to the proximity of intersections and driveways. The reduced shoulder impervious is a benefit to the environment and stormwater runoff.

## Water Allocation Policy Compliance

**Please Note:** Connection to municipal water requires compliance with the [Water Allocation Policy](#). Projects must be awarded 50 points or more to merit water allocation. Specific information regarding policy compliance must be included in the Master Plan submittal.

**Land Use Category:** 50 pts - Change of Use

**Base Points:** 50

**Bonus Points:** 0

**Total Points Proposed:** 50

**TOWN OF KNIGHTDALE  
OWNER & AGENT AUTHORIZATION FORM**

Application or  
Project #: \_\_\_\_\_ Submittal Date: \_\_\_\_\_

I, \_\_\_\_\_ am the owner of the following property/properties,  
located within in the Town of Knightdale:

\_\_\_\_\_  
\_\_\_\_\_.

I do hereby give permission to \_\_\_\_\_ to submit the  
following type of application to the Town of Knightdale on my behalf for the above  
referenced property/properties.

- Master Plan (By Right)
- General Rezoning or Conditional District
- Special Use Permit
- Planned Unit Development
- Construction Drawings
- Variance/Appeal
- Other:

I am the owner of the property and will be acting as my own agent.

Signature(s) of Owner(s):  
  
\_\_\_\_\_  
\_\_\_\_\_

Print or type name(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Attach additional sheets if there are additional owners.

**\*If ownership has been recently transferred, a copy of the deed must accompany this authorization.**

# OLD FAISON PLACE

## MASTER PLAN

OLD FAISON RD, KNIGHTDALE, WAKE COUNTY, NC 27545  
 MASTER PLAN SUBMITTAL #1 10/21/2024  
 MASTER PLAN SUBMITTAL #2 2/5/2025

TOWN OF KNIGHTDALE PROJECT NUMBER: ZMA-1-24

### DEVELOPER/ APPLICANT

ASHBURY & THE HOLDING  
 COMPANY L.L.C.  
 RALEIGH, NC

PO BOX 90427  
 RALEIGH, NC 27675-0427  
 (919) 741-7993

Contact: TOM QUACKENBUSH  
 TOM@GLENWOODHOMES.COM

### CIVIL ENGINEER

Rivers & Associates, Inc.  
 Raleigh, NC

353 E. Six Forks Rd.  
 Raleigh, NC 27609  
 (919) 594-1626

Contact: Stephen Ballentine, PE  
 sballentine@riversandassociates.com

### SURVEYOR

RESIDENTIAL LAND  
 SERVICES, PLLC.  
 Cary, NC

1917 EVANS ROAD  
 CARY NC 27513  
 (919) 378-9316

Contact: Dean M. Rhoads  
 dean@rls-nc.com

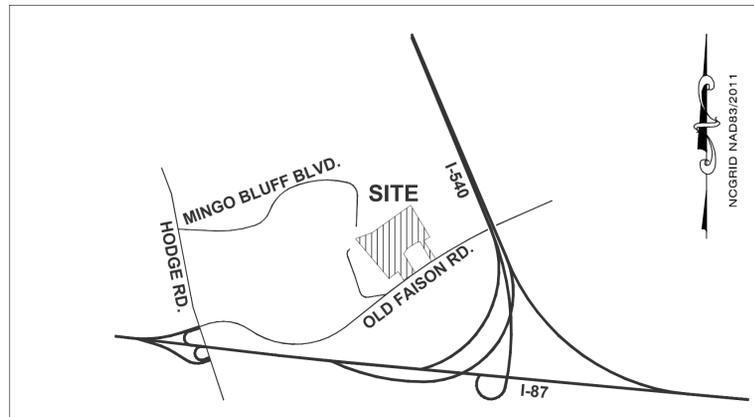
### LAND USE ATTORNEY

MATTOX LAW FIRM  
 Raleigh, NC

127 W HARGETT STREET STE #500  
 RALEIGH, NC 27601  
 (919) 828-7171

Contact: Isabel Mattox  
 isabel@mattoxlawfirm.com

**RALEIGH WATER CONDITIONS OF APPROVAL:**  
 \*ALL WATER, SANITARY SEWER AND REUSE FACILITIES SHALL BE INSTALLED, INSPECTED, TESTED, AND ACCEPTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR OPERATIONS AND MAINTENANCE PRIOR TO 1ST CO  
 \*A PETITION FOR ANNEXATION INTO THE CITY LIMITS SHALL BE SUBMITTED IN ACCORDANCE WITH CITY COUNCIL POLICY FOR EXTENSION OF UTILITY SERVICE TO PROPERTIES CURRENTLY OUTSIDE OF THE CITY LIMITS PRIOR TO PLAT RECORDATION  
 \*CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS PRIOR TO PLAT RECORDATION.  
 \*A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS PRIOR TO BUILDING PERMIT ISSUANCE  
 \*A DOWNSTREAM SEWER CAPACITY STUDY IN COMPLIANCE WITH CORPUD HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION DRAWING APPROVAL  
 \*A DEED SHALL BE RECORDED PRIOR TO CONSTRUCTION DRAWING APPROVAL FOR ALL NECESSARY OFFSITE CITY OF RALEIGH SANITARY SEWER EASEMENTS TO ACCOMMODATE FUTURE SEWER LINE CONSTRUCTION



VICINITY MAP  
 N.T.S.

Sheet List Table	
Sheet Number	Sheet Title
C1.01	COVER SHEET
C1.21	EXISTING CONDITIONS
C2.01	SITE PLAN
C2.11	OPEN SPACE PLAN
C3.01	PRELIMINARY UTILITY PLAN
C4.41	PRELIMINARY STORMWATER MANAGEMENT PLAN
C6.31	SIGNS & PAVEMENT MARKING PLAN
L1.01	LANDSCAPE PLAN
SL1.01	PRELIMINARY LIGHTING PLAN
--	ELEVATIONS SINGLE FAMILY
--	ELEVATIONS TOWNHOUSES

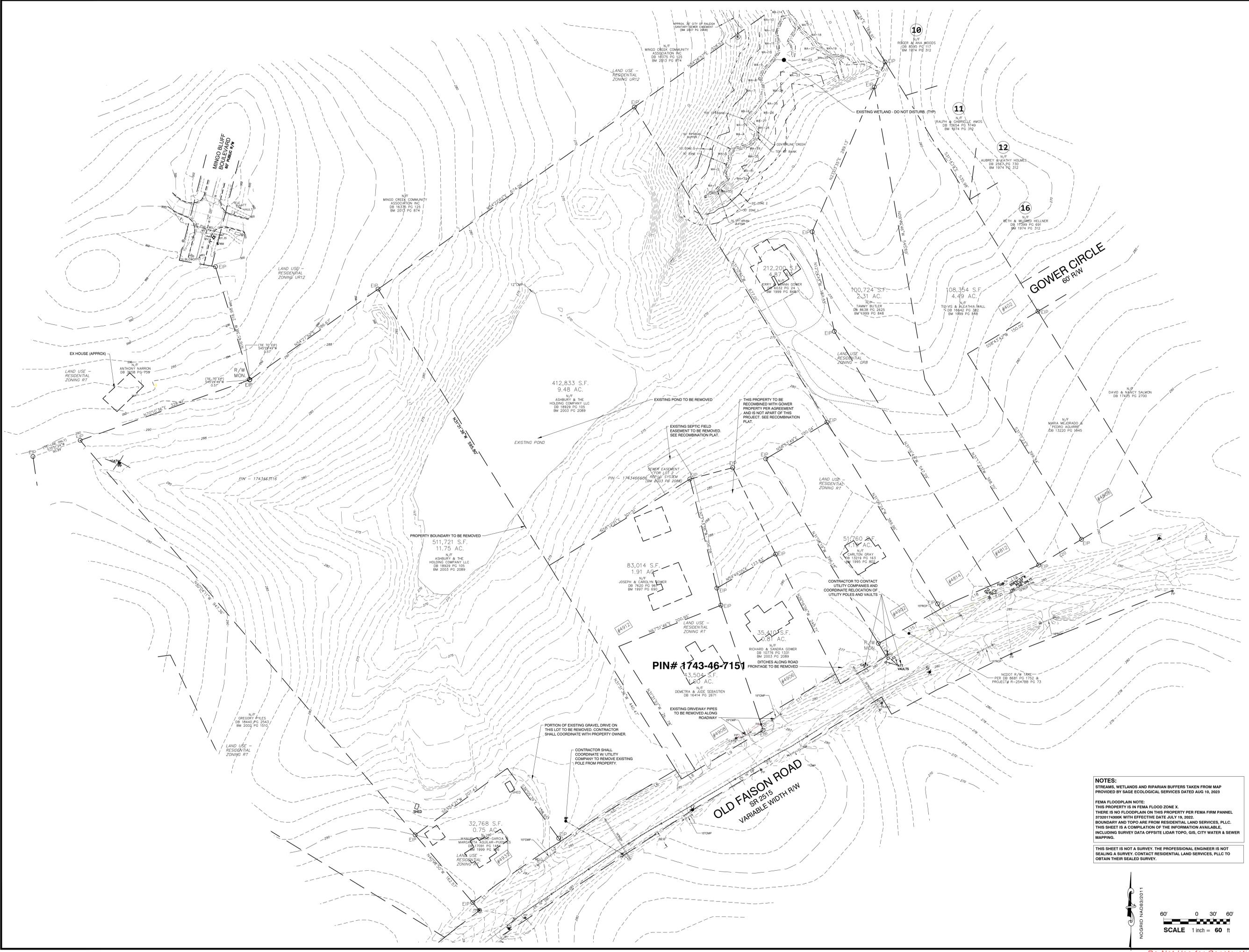
SITE DATA	
Subdivision Name	Old Faison Place
PIN #S	1743463116 / 1743466606
Property Area	20.90 Acres
Current Zoning	GR8 (Medium Density)
Proposed Zoning	GR8 PUD
Adjacent Zoning	North- UR12 (Urban Residential 12) Townhomes South- RT (Rural Transition) Single Family Residential East- GR8 (Single Family Residential) West- RT (Rural Transition) Single Family Residential
River Basin	Neuse
Watershed	Property is not within a water supply watershed
Land Use:	
Current	Vacant
Proposed	Residential- Single-Family and Townhomes
Dwelling Units:	
Single Family	12
Townhomes	105
Total DUs	117
Proposed Density	5.6 DU/AC Prior to R/W Dedication

**NOTES:**  
 Survey performed by Residential Land Services, PLLC  
 Description of existing natural resources:  
 • There are no wetlands onsite. There are some offsite wetlands to the east on the neighbor's property.  
 • There is an existing pond in the middle of the site, which will be removed.  
 • There is a riparian stream buffer at the east edge of the property.  
 Description of Stormwater Management:  
 • This project includes one proposed wet detention pond in the northeast corner of the property as shown. Stormwater discharges towards the northeast.  
 • Offsite stormwater enters the property from the north, west, and south.  
 • This project will retain the pre-existing drainage patterns.



Preliminary  
 DO NOT USE  
 FOR CONSTRUCTION

C1.01



**NOTES:**  
 STREAMS, WETLANDS AND RIPARIAN BUFFERS TAKEN FROM MAP PROVIDED BY SAGE ECOLOGICAL SERVICES DATED AUG 10, 2023.

**FEMA FLOODPLAIN NOTE:**  
 THIS PROPERTY IS IN FEMA FLOOD ZONE X.  
 THERE IS NO FLOODPLAIN ON THIS PROPERTY PER FEMA FIRM PANNEL 372017AR00K WITH EFFECTIVE DATE JULY 19, 2022.  
 BOUNDARY AND TOPO ARE FROM RESIDENTIAL LAND SERVICES, PLLC.  
 THIS SHEET IS A COMPILATION OF THE INFORMATION AVAILABLE, INCLUDING SURVEY DATA OFFSITE LIDAR TOPO, GIS, CITY WATER & SEWER MAPPING.

THIS SHEET IS NOT A SURVEY. THE PROFESSIONAL ENGINEER IS NOT SEALING A SURVEY. CONTACT RESIDENTIAL LAND SERVICES, PLLC TO OBTAIN THEIR SEALED SURVEY.



Six Forks Place III Ste. 230  
 353 E. Six Forks Road  
 Raleigh, NC 27609  
 919.594.1626



Engineers  
 Planners  
 Surveyors  
 Landscape Architects

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	10/20/25	MASTER PLAN SUBMITTAL #2	
2	10/21/24	MASTER PLAN SUBMITTAL #1	
3	1/17/24	SKETCH PLAN SUBMITTAL #2	
4	5/22/23	SKETCH PLAN SUBMITTAL #1	

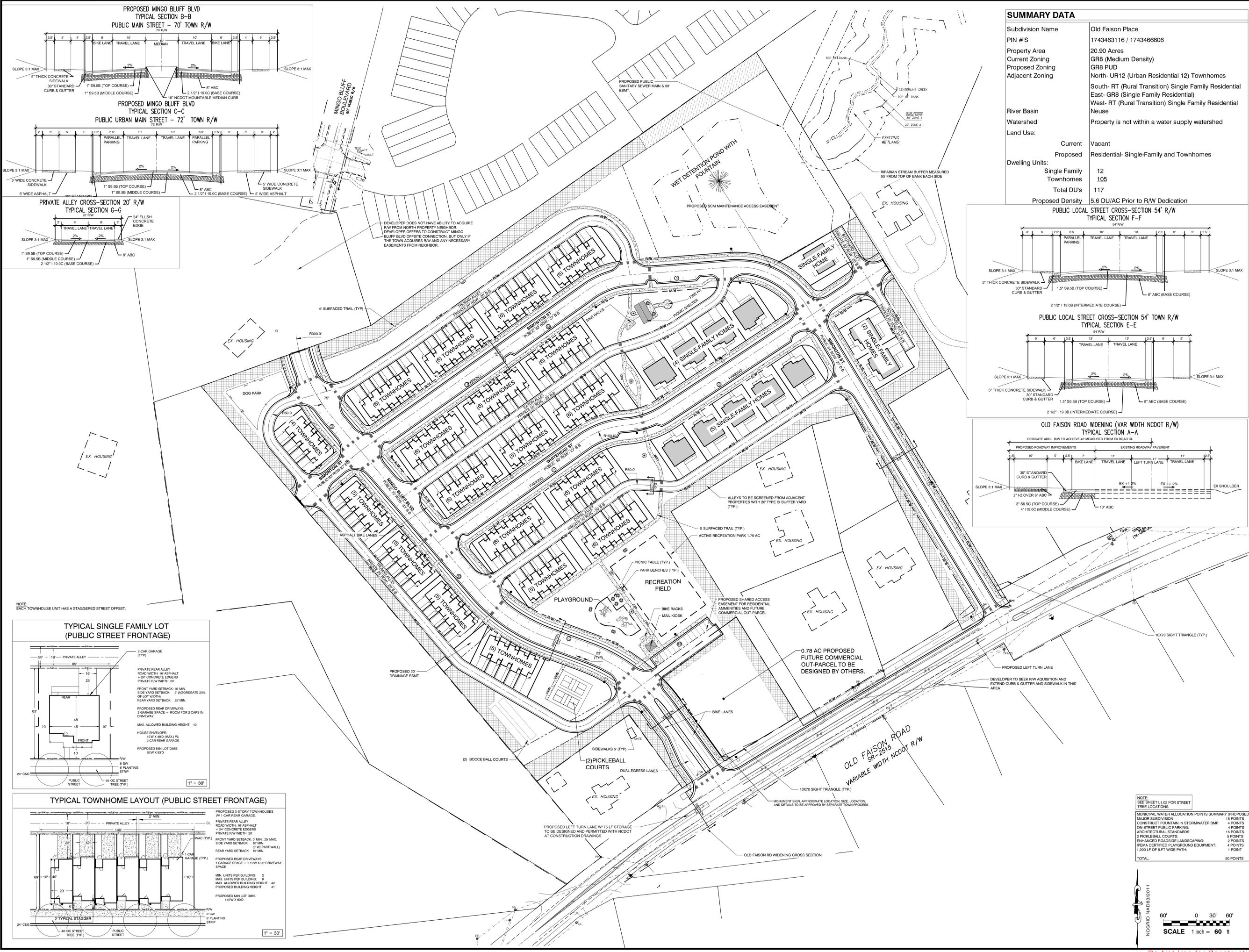
ASHBURY & THE HOLDING COMPANY, LLC  
**OLD FAISON PLACE**  
 CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

**EXISTING CONDITIONS**

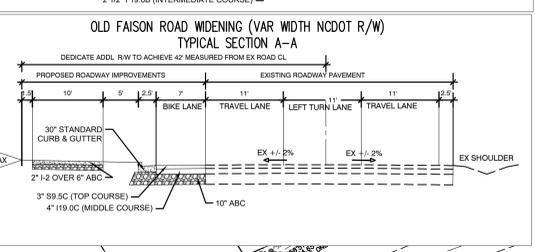
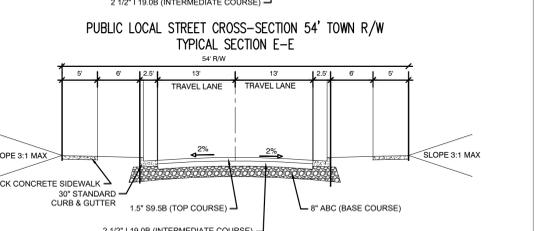
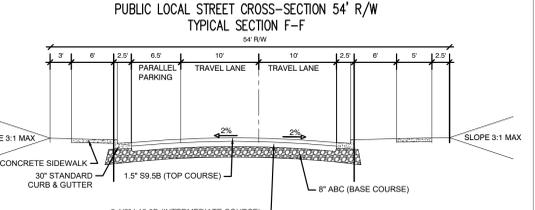
DESIGNED BY: CS  
 DRAWN BY: TAH  
 CHECKED BY: SJB  
 PROJECT No: 2022113  
 DRAWING No: W-4104  
 SCALE: AS SHOWN  
 SHEET No: **C1.21**

NGRID 16483/2011

Do Not Use for Construction - PRELIMINARY



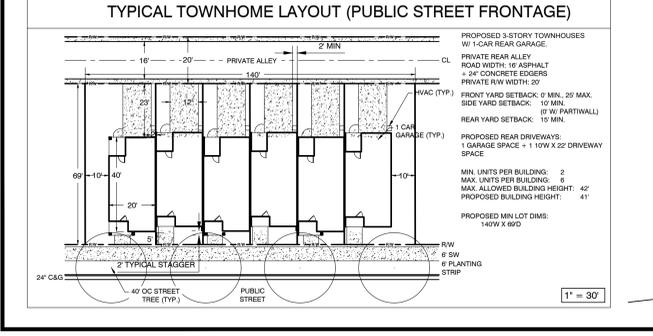
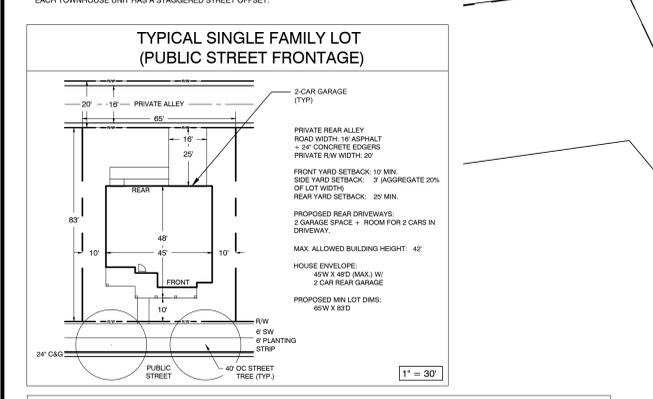
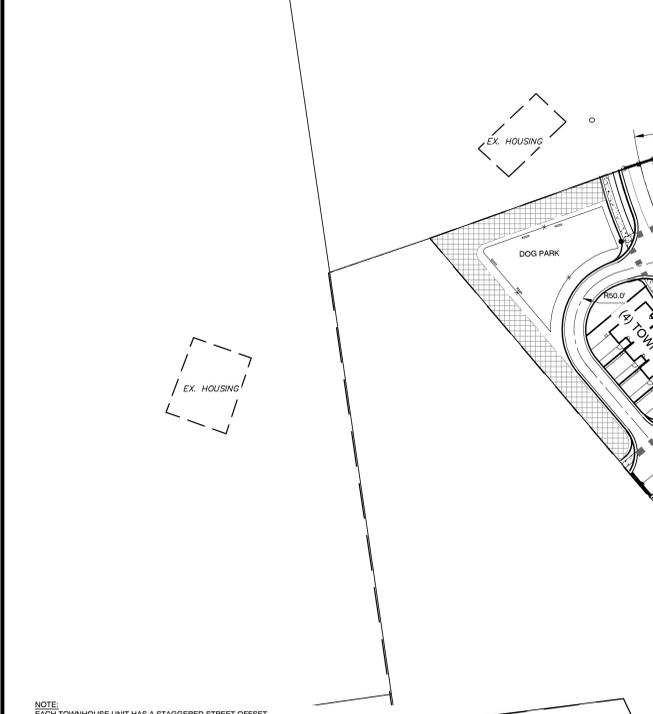
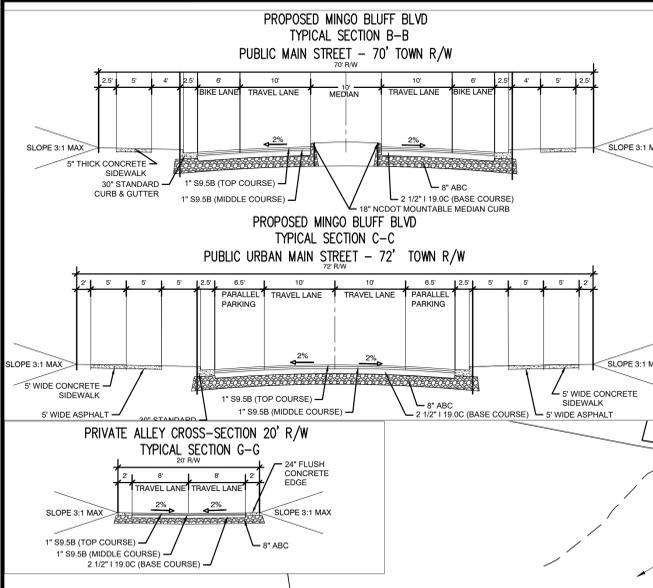
SUMMARY DATA	
Subdivision Name	Old Faison Place
PIN #S	1743463116 / 1743466006
Property Area	20.90 Acres
Current Zoning	GR8 (Medium Density)
Proposed Zoning	GR8 PUD
Adjacent Zoning	North- UR12 (Urban Residential 12) Townhomes South- RT (Rural Transition) Single Family Residential East- GR8 (Single Family Residential) West- RT (Rural Transition) Single Family Residential
River Basin	Neuse
Watershed	Property is not within a water supply watershed
Land Use:	Current Vacant Proposed Residential- Single-Family and Townhomes
Dwelling Units:	Single Family 12 Townhomes 105 Total DU's 117
Proposed Density	5.6 DU/AC Prior to R/W Dedication



ASHBURY & THE HOLDING COMPANY, LLC  
**OLD FAISON PLACE**  
 CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA  
**SITE PLAN**

DESIGNED BY: CS  
 DRAWN BY: TAH  
 CHECKED BY: SJB  
 PROJECT No: 2022113  
 DRAWING No: W-4104  
 SCALE: AS SHOWN  
 SHEET No: C2.01

REVISIONS:			
NO.	DATE	BY	DESCRIPTION
1	10/21/24		MASTER PLAN SUBMITTAL #2
2	1/17/24		SKETCH PLAN SUBMITTAL #2
3	5/22/23		SKETCH PLAN SUBMITTAL #1
4	10/27/23		MASTER PLAN SUBMITTAL #1



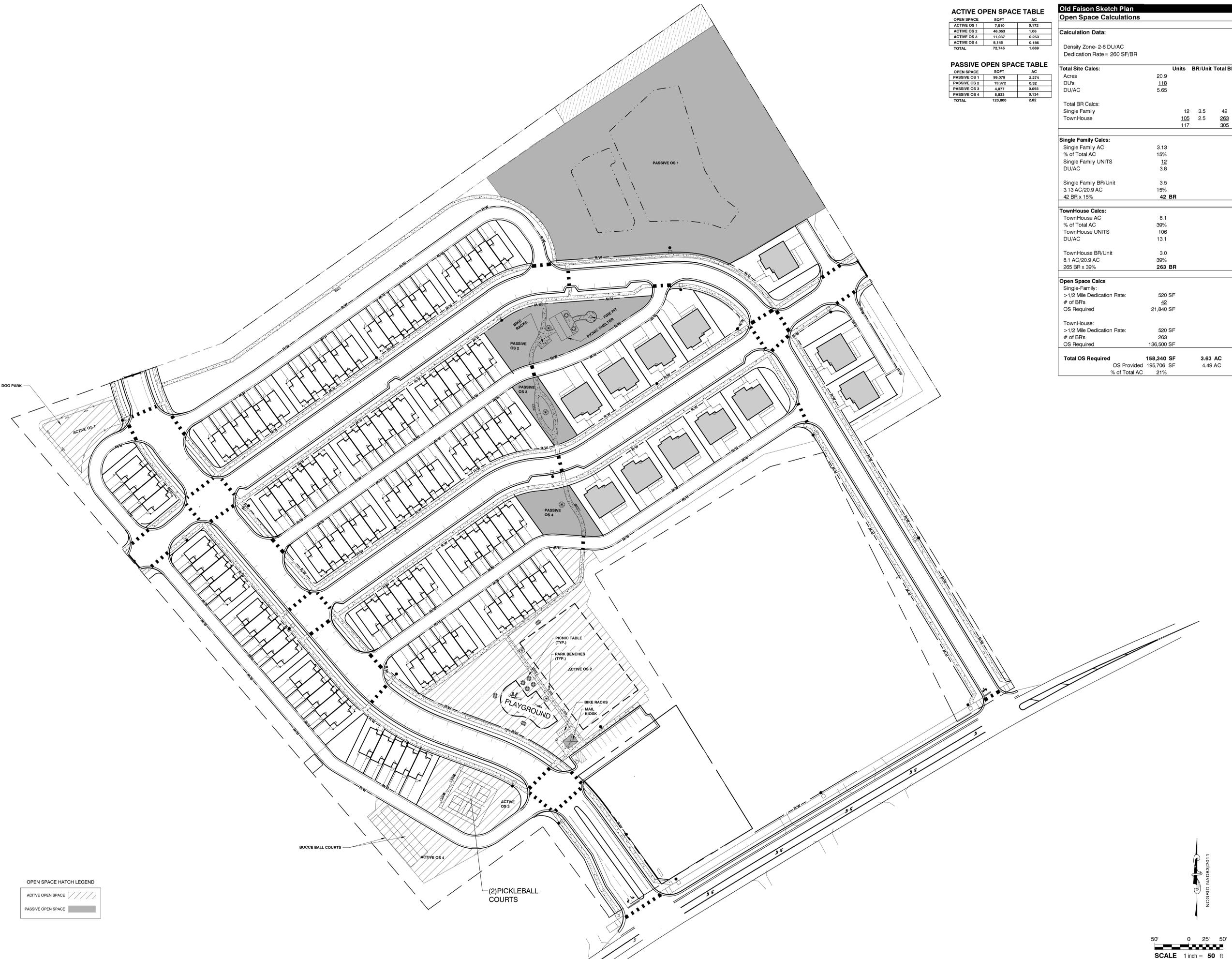
NGRID NAD83/2011

SCALE 1 inch = 60 ft

60' 0 30' 60'

1" = 60'

NGRID NAD83/2011



**OPEN SPACE HATCH LEGEND**

ACTIVE OPEN SPACE	
PASSIVE OPEN SPACE	

**ACTIVE OPEN SPACE TABLE**

OPEN SPACE	SQFT	AC
ACTIVE OS 1	7,510	0.172
ACTIVE OS 2	46,053	1.06
ACTIVE OS 3	11,037	0.253
ACTIVE OS 4	8,146	0.185
<b>TOTAL</b>	<b>72,746</b>	<b>1.669</b>

**PASSIVE OPEN SPACE TABLE**

OPEN SPACE	SQFT	AC
PASSIVE OS 1	99,079	2.274
PASSIVE OS 2	13,972	0.32
PASSIVE OS 3	4,077	0.093
PASSIVE OS 4	5,833	0.134
<b>TOTAL</b>	<b>123,000</b>	<b>2.82</b>

**Old Faison Sketch Plan**  
**Open Space Calculations**

**Calculation Data:**  
Density Zone- 2-6 DU/AC  
Dedication Rate = 260 SF/BR

Total Site Calcs:	Units	BR/Unit	Total BR
Acres	20.9		
DUs	118		
DU/AC	5.65		
Total BR Calcs:			
Single Family	12	3.5	42
TownHouse	105	2.5	263
	117		305

**Single Family Calcs:**  
Single Family AC: 3.13  
% of Total AC: 15%  
Single Family UNITS: 12  
DU/AC: 3.8  
Single Family BR/Unit: 3.5  
3.13 AC/20.9 AC: 15%  
42 BR x 15%: **42 BR**

**TownHouse Calcs:**  
TownHouse AC: 8.1  
% of Total AC: 39%  
TownHouse UNITS: 106  
DU/AC: 13.1  
TownHouse BR/Unit: 3.0  
8.1 AC/20.9 AC: 39%  
265 BR x 39%: **263 BR**

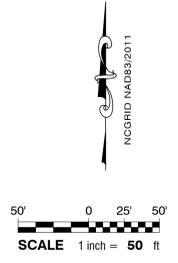
**Open Space Calcs**  
Single-Family:  
>1/2 Mile Dedication Rate: 520 SF  
# of BRs: 42  
OS Required: 21,840 SF  
TownHouse:  
>1/2 Mile Dedication Rate: 520 SF  
# of BRs: 263  
OS Required: 136,500 SF  
**Total OS Required: 158,340 SF 3.63 AC**  
OS Provided: 195,706 SF 4.49 AC  
% of Total AC: 21%

**REVISIONS:**

NO.	DATE	BY	DESCRIPTION
1	10/07/25		MASTER PLAN SUBMITTAL #2
2	10/21/24		MASTER PLAN SUBMITTAL #1
3	1/17/24		SKETCH PLAN SUBMITTAL #2
4	5/22/23		SKETCH PLAN SUBMITTAL #1

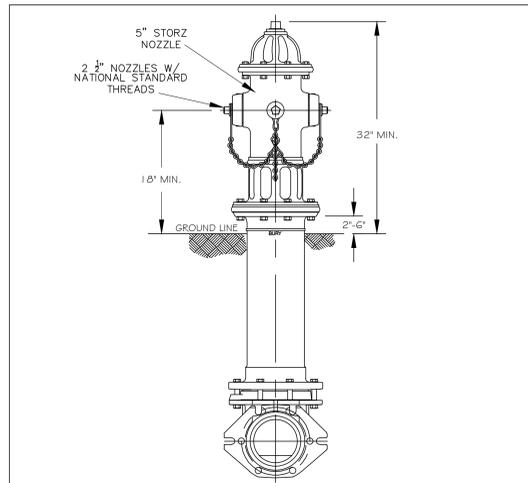
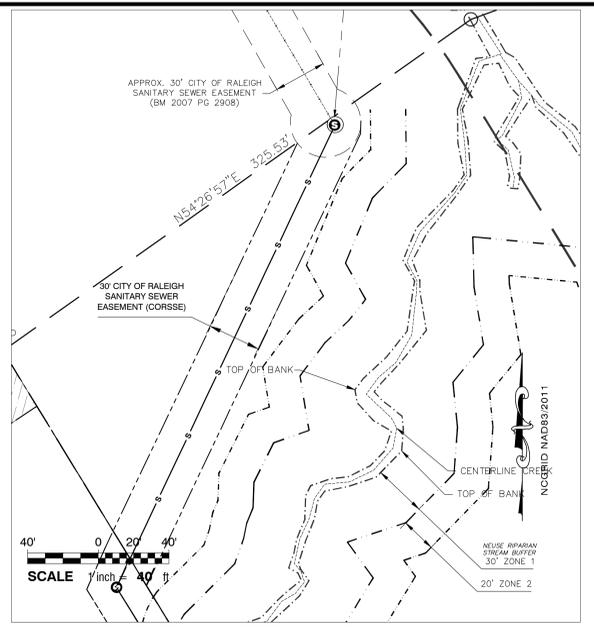
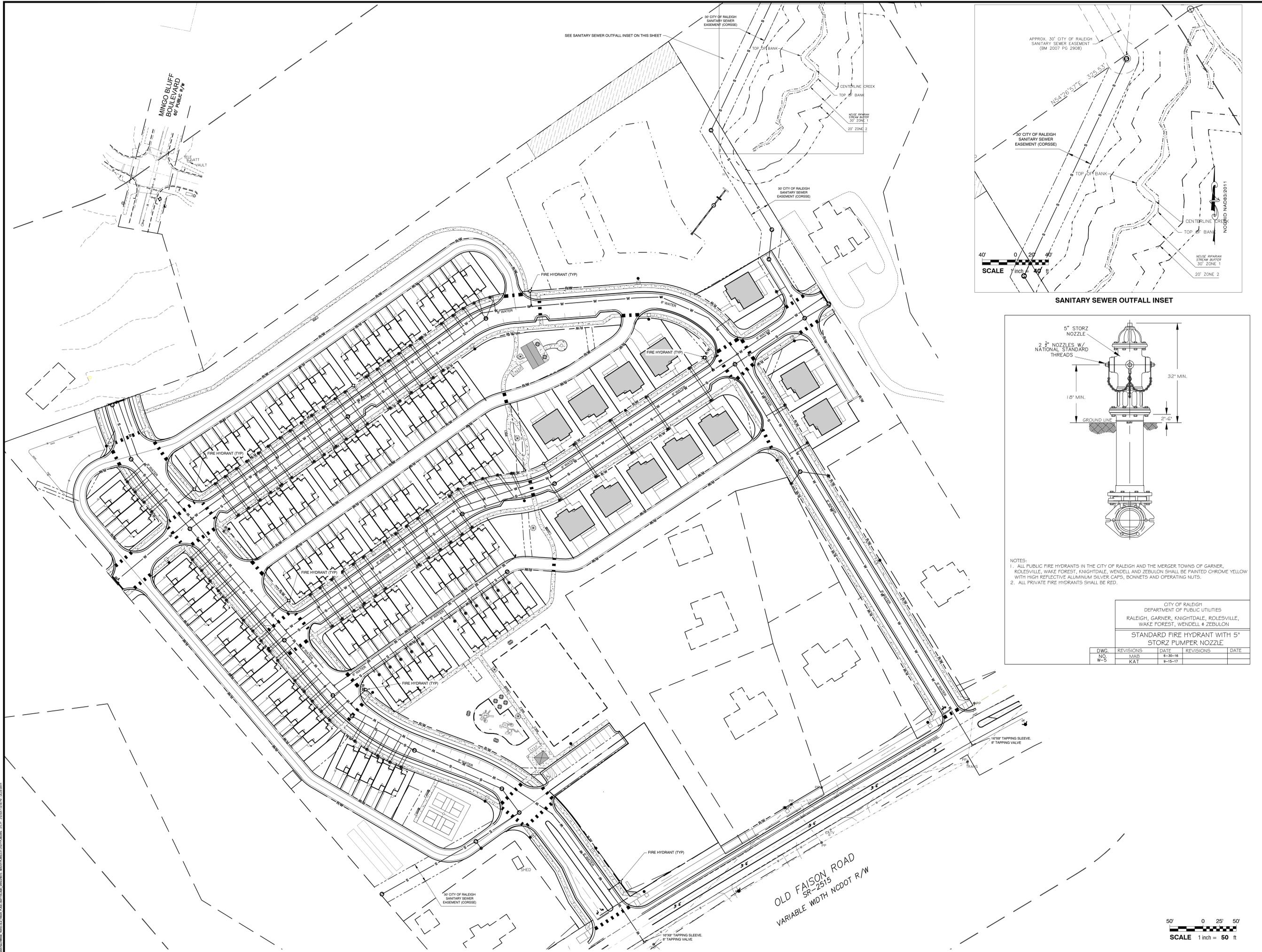
ASHBURY & THE HOLDING COMPANY, LLC  
**OLD FAISON PLACE**  
CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA  
**OPEN SPACE PLAN**

DATE: \_\_\_\_\_  
DESIGNED BY: CS  
DRAWN BY: TAH  
CHECKED BY: SJB  
PROJECT No: 2022113  
DRAWING No: W-4104  
SCALE: AS SHOWN  
SHEET No: **C2.11**



Six Forks Place III Ste. 230  
353 E. Six Forks Road  
Raleigh, NC 27609  
919.594.1626





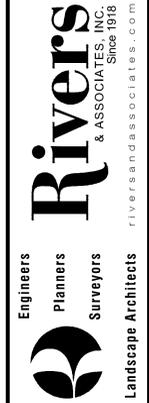
- NOTES:
1. ALL PUBLIC FIRE HYDRANTS IN THE CITY OF RALEIGH AND THE MERGER TOWNS OF GARNER, ROLESVILLE, WAKE FOREST, KNIGHTDALE, WENDELL AND ZEBULON SHALL BE PAINTED CHROME YELLOW WITH HIGH REFLECTIVE ALUMINUM SILVER CAPS, BONNETS AND OPERATING NUTS.
  2. ALL PRIVATE FIRE HYDRANTS SHALL BE RED.

CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
RALEIGH, GARNER, KNIGHTDALE, ROLESVILLE,  
WAKE FOREST, WENDELL & ZEBULON

STANDARD FIRE HYDRANT WITH 5" STORZ PUMPER NOZZLE

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-5	MAB	6-30-16		
	KAT	9-15-17		

Six Forks Place III Ste. 230  
353 E. Six Forks Road  
Raleigh, NC 27609  
919.594.1626



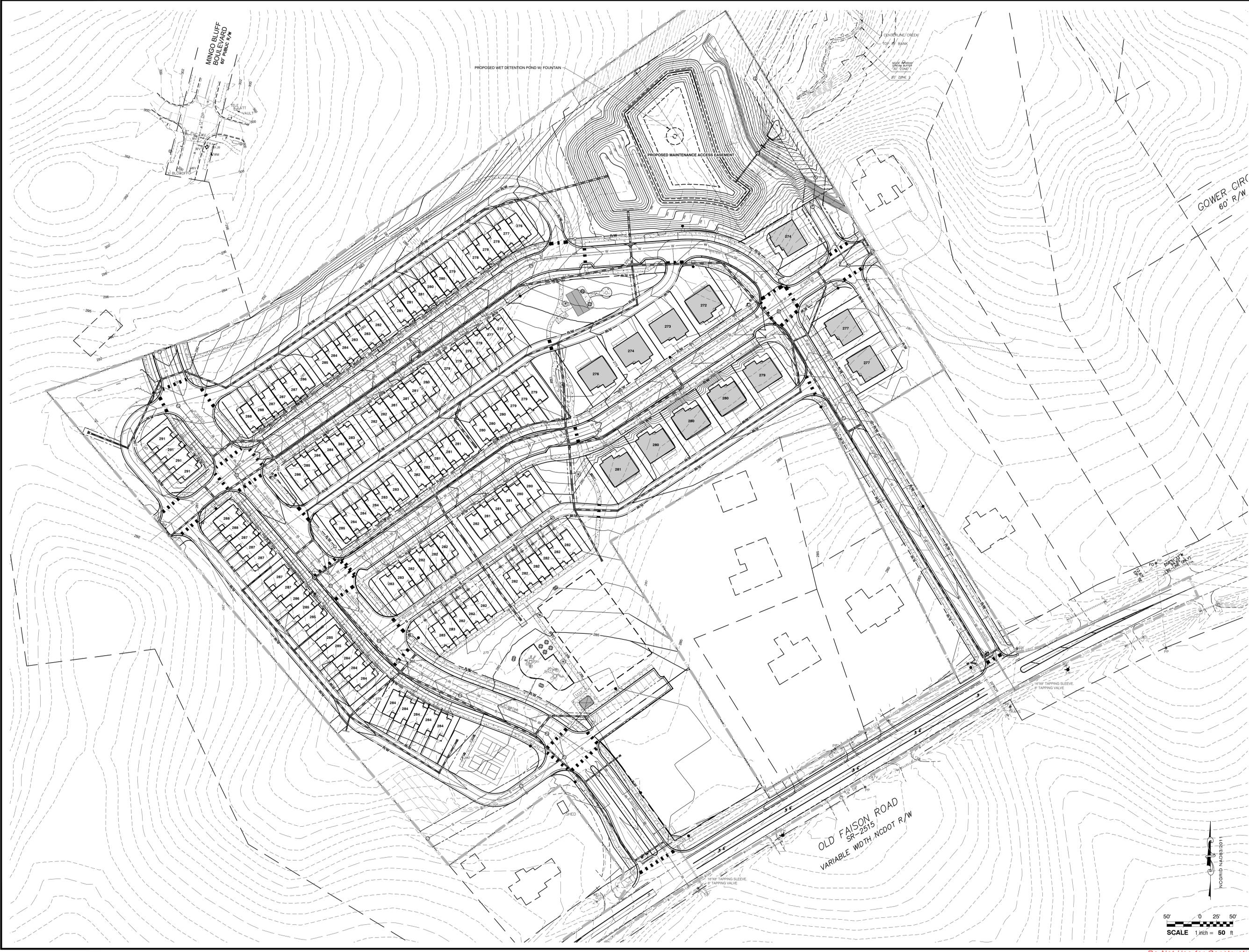
REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	10/05/25		MASTER PLAN SUBMITTAL #2
2	10/21/24		MASTER PLAN SUBMITTAL #1
3	1/17/24		SKETCH PLAN SUBMITTAL #2
4	5/22/23		SKETCH PLAN SUBMITTAL #1

ASHBURY & THE HOLDING COMPANY, LLC  
**OLD FAISON PLACE**  
CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA  
**PRELIMINARY UTILITY PLAN**

DESIGNED BY: CS  
DRAWN BY: TAH  
CHECKED BY: SJB  
PROJECT No: 2022113  
DRAWING No: W-4104  
SCALE: AS SHOWN  
SHEET No: **C3.01**





Six Forks Place III Ste. 230  
 353 E. Six Forks Road  
 Raleigh, NC 27609  
 919.594.1626

**Rivers**  
 & ASSOCIATES, INC.  
 Since 1918  
 riversandassociates.com

Engineers  
 Planners  
 Surveyors  
 Landscape Architects

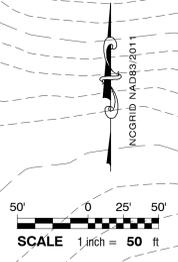
REVISIONS:

NO.	DATE	DESCRIPTION
1	10/07/25	MASTER PLAN SUBMITTAL #2
2	10/21/24	MASTER PLAN SUBMITTAL #1
3	1/17/24	SKETCH PLAN SUBMITTAL #2
4	5/22/23	SKETCH PLAN SUBMITTAL #1

ASHBURY & THE HOLDING COMPANY, LLC  
**OLD FAISON PLACE**  
 CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA  
**PRELIMINARY STORMWATER  
 MANAGEMENT PLAN**

DATE:  
 DESIGNED BY: CS  
 DRAWN BY: TAH  
 CHECKED BY: SJB  
 PROJECT No: 2022113  
 DRAWING No: W-4104  
 SCALE: AS SHOWN

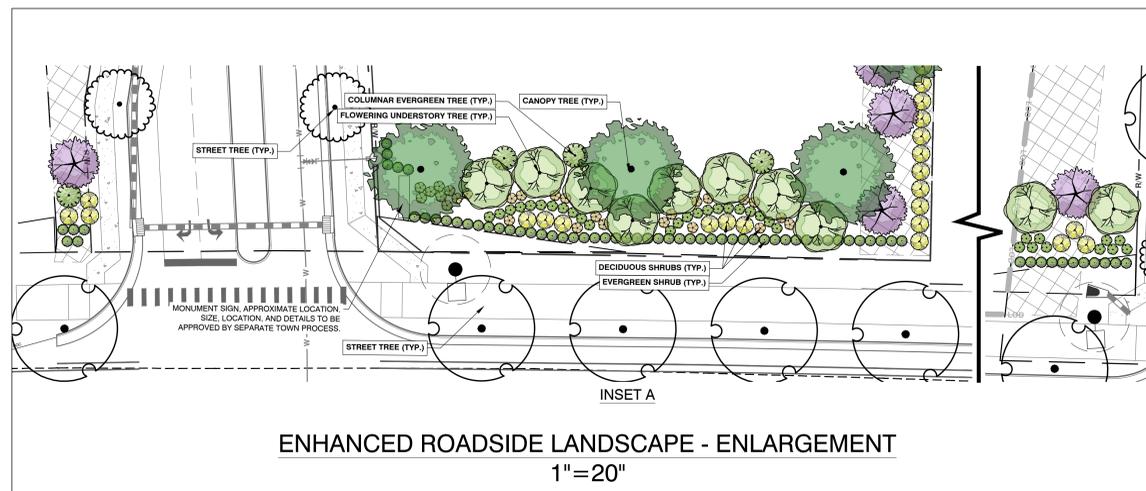
**C4.41**



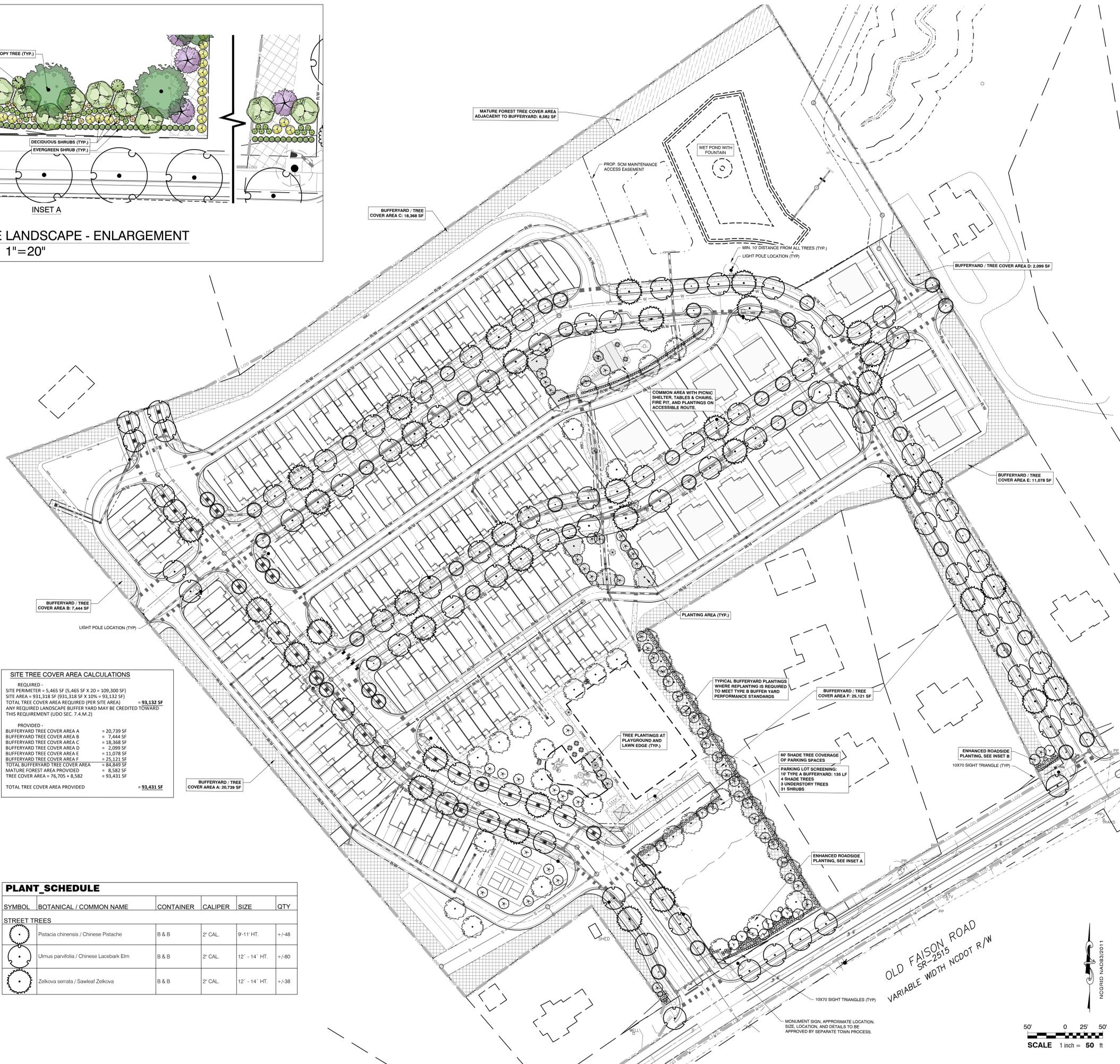
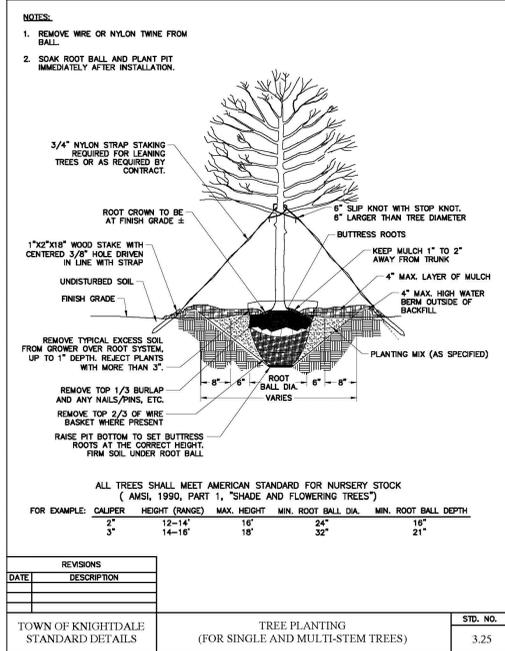
SCALE 1 inch = 50 ft

Do Not Use for Construction - PRELIMINARY





ENHANCED ROADSIDE LANDSCAPE - ENLARGEMENT  
1" = 20"



**SITE TREE COVER AREA CALCULATIONS**

REQUIRED -  
 SITE PERIMETER = 5,465 SF (5,465 SF X 20 = 109,300 SF)  
 SITE AREA = 931,318 SF (931,318 SF X 10% = 93,132 SF)  
 TOTAL TREE COVER AREA REQUIRED (PER SITE AREA) = 93,132 SF  
 ANY REQUIRED LANDSCAPE BUFFER YARD MAY BE CREDITED TOWARD THIS REQUIREMENT (UDC SEC. 7.4 M.2)

PROVIDED -

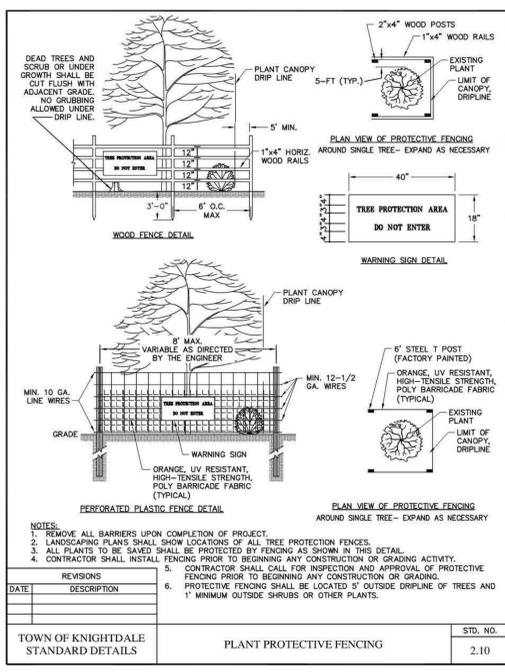
BUFFERYARD TREE COVER AREA A	= 20,739 SF
BUFFERYARD TREE COVER AREA B	= 7,444 SF
BUFFERYARD TREE COVER AREA C	= 18,368 SF
BUFFERYARD TREE COVER AREA D	= 2,099 SF
BUFFERYARD TREE COVER AREA E	= 11,078 SF
BUFFERYARD TREE COVER AREA F	= 25,121 SF
TOTAL BUFFERYARD TREE COVER AREA	= 84,849 SF
MATURE FOREST AREA PROVIDED	= 8,582 SF
TREE COVER AREA = 76,705 + 8,582	= 93,431 SF

TOTAL TREE COVER AREA PROVIDED = 93,431 SF

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE	QTY
	Pistacia chinensis / Chinese Pistache	B & B	2" CAL.	9'-11" HT.	+/-48
	Ulmus parvifolia / Chinese Lacebark Elm	B & B	2" CAL.	12' - 14' HT.	+/-80
	Zelkova serrata / Sawtooth Zelkova	B & B	2" CAL.	12' - 14' HT.	+/-38

**STREET TREES**



Six Forks Place III Ste. 230  
 353 E. Six Forks Road  
 Raleigh, NC 27609  
 919.594.1626

**Rivers**  
 & ASSOCIATES, INC.  
 Since 1918  
 riversandassociates.com

Engineers  
 Planners  
 Surveyors  
 Landscape Architects

NO.	DATE	DESCRIPTION
1	10/21/24	MASTER PLAN SUBMITTAL #1
2	1/17/24	SKETCH PLAN SUBMITTAL #2
3	5/22/23	SKETCH PLAN SUBMITTAL #1

ASHBURY & THE HOLDING COMPANY, LLC  
**OLD FAISON PLACE**  
 CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

LANDSCAPE PLAN

DESIGNED BY: SBF  
 DRAWN BY: SBF  
 CHECKED BY: SJB  
 PROJECT No: 2022113  
 DRAWING No: W-4104  
 SCALE: AS SHOWN  
 SHEET No: L1.01

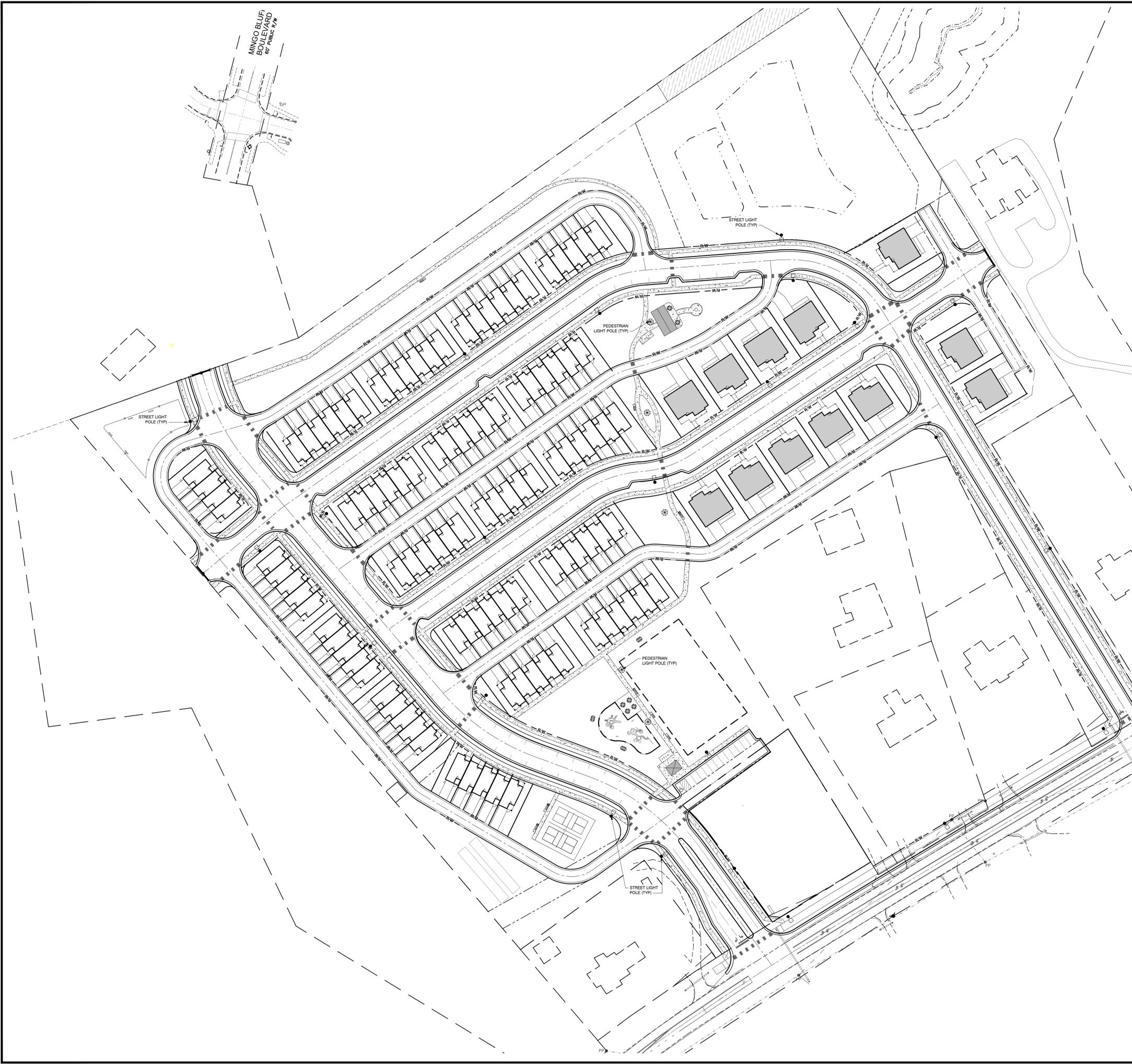
DATE: \_\_\_\_\_

SCALE 1 inch = 50 ft

50' 0 25' 50'

SCALE 1 inch = 50 ft

Do Not Use for Construction - [Symbol]



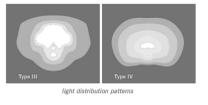
MINCO BLUFF  
BOULEVARD  
60' PUBLIC R/W

### Outdoor Lighting



LED (Light-emitting diode)	110   150   220   280 watts
Mounting height	20', 25', 35'
Color	Black   Gray
Pole	Fiberglass Metal Wood
Applications	Neighborhoods Roadways Shopping centers

Light source: LED (white)  
Wattage: 110 | 150 | 220 | 280 watts  
Light pattern: IESNA Type III | Type IV (forward throw)  
IESNA cutoff classification: 02/UG/3  
BUG rating:  
Type II = 83UG3 (110W), 83UG3 (150W), 83UG4 (220W/280W)  
Type IV = 83UG3 (150W), 83UG4 (220W), 83UG5 (280W)  
Color temperature: 3,000K | 4,000K



POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Fiberglass	25', 30', 35'	Gray, Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)	25', 30', 35'	Galvanized

FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, contact us at [DUKEDesign@duke-energy.com](mailto:DUKEDesign@duke-energy.com)



### Outdoor Lighting



LED (Light-emitting diode)	50 watts
Mounting height	12' - 17'
Color	Black
Pole	Aluminum Fiberglass Concrete Decorative aluminum
Applications	Neighborhoods Parks Streets Businesses

Light source: LED (white)  
Lumens: 3,970  
Light pattern: IESNA Type III  
IESNA cutoff classification: Full-cutoff  
BUG rating: 01/UG/1  
Color temperature: 3,000K



POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Aluminum	12', 15', 17'	Black
Fiberglass	15'	Black
Fluted concrete	13'	Black
Decorative aluminum	12', 16'	Black

FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, contact us at [DUKEDesign@duke-energy.com](mailto:DUKEDesign@duke-energy.com)



### LIGHTING LEGEND

- ROADWAY LED LIGHTS  
(6,000 LUMENS LED 75 ROADWAY LIGHT)  
ALUMINUM POLE - HEIGHT 30'
- PEDESTRIAN LIGHT POLE  
OPEN MONTICELLO LED LIGHTS  
(2,000 LUMENS LED 75 ROADWAY LIGHT)  
ALUMINUM POLE - HEIGHT 6'

### LIGHTING NOTES

1. ALL FIXTURES SHALL HAVE A FULL CUTOFF CLASSIFICATION OR BE FULLY SHIELDED.
2. ALL POLE-MOUNTED LED SHALL NOT EXCEED 37' IN HEIGHT.
3. ALL LIGHT POLES SHALL MEET THE TOWN'S MINIMUM STANDARDS OF A FIBERGLASS POLE WITH A FULLY-SHIELDED, ARM-MOUNTED LED.
4. RESIDENTIAL ROADS SHALL HAVE LIGHT POLES SPACED A MAXIMUM OF 250' AND ARTERIAL STREETS SPACED AT 150' MAXIMUM.
5. LOCAL STREETS SHALL MEET A 400 LUMEN MINIMUM.

THIS PLAN IS PRELIMINARY. FINAL LIGHTING PLAN TO BE DESIGNED BY LIGHTING PROFESSIONAL.

Six Forks Place III Ste. 230  
355 E. Six Forks Road  
Raleigh, NC 27609  
919.594.1626

**Rivers**  
& ASSOCIATES, INC.  
Since 1918

Engineers  
Planners  
Surveyors  
Landscape Architects

**Preliminary**  
DO NOT USE  
FOR CONSTRUCTION

### REVISIONS:

NO.	DESCRIPTION	DATE	BY

ASHBURY & THE HOLDING COMPANY, LLC  
**OLDE FAISON PLACE**  
CITY OF RINGDLEDALE - WAKE COUNTY - NORTH CAROLINA  
**PRELIMINARY LIGHTING PLAN**

DESIGNED BY:	CDS
DRAWN BY:	TAH
CHECKED BY:	SJB
PROJECT No.	2022113
DRAWING No.	W-4104
SCALE:	AS SHOWN
SHEET No.	SL1.01

0' 25' 50'  
SCALE 1 inch = 50 ft



- COMPOSITE ROOF SHINGLES
- FIBER CEMENT BOARD AND BATTEN
- VINYL WINDOWS
- FIBER CEMENT LAP SIDING
- BRICK ROWLOCK OVER SOLDIER
- BRICK VENEER

**Architectural Features**

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick Veneer on Front Elevation
- Mix of Lap & Board & Batten Siding
- Dormer
- Composite Roof Shingles
- Wrapped Porch Columns w/ Brackets

## Denmark '1' - Front Elevation

Knightdale, NC

09.26.2024



© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



**Architectural Features**

- Covered Front Porches
- Brick Veneer on Front Elevation
- Composite Roof Shingles
- Variety of Window Fenestrations
- Mix of Lap & Board & Batten Siding
- Wrapped Porch Columns
- 12/12 Roof Pitch Front Gable

## Denmark '2' - Front Elevation

Knightdale, NC

09.26.2024



www.gmdesigngroup.com

© gmd design group  
carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)  
© 2024 gmdesigngroup carolinas, inc.



**Architectural Features**

- Covered Front Porches
- Variety of Window Fenestrations
- 9/12 Roof Pitch Front Gable
- Brick Veneer on Front Elevation
- Mix of Lap & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns

## Denmark '3' - Front Elevation

Knightdale, NC

09.26.2024



www.gmdesigngroup.com

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



**Architectural Features**

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten, Shingle Siding
- Composite Roof Shingles
- Tapered Porch Columns

## Denmark '4' - Front Elevation

Knightdale, NC

09.26.2024



www.gmdesigngroup.com

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



**Architectural Features**

- Covered Front Porches
- Brick Veneer on Front Elevation
- Composite Roof Shingles
- Variety of Window Fenestrations
- Mix of Lap & Shingle Siding
- Wrapped Porch Columns
- 9/12 Roof Pitch Front Gable

## Denmark '5' - Front Elevation

Knightdale, NC

09.26.2024



www.gmdesigngroup.com

© gmd design group  
carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)  
© 2024 gmdesigngroup carolinas, inc.



- COMPOSITE ROOF SHINGLES
- FIBER CEMENT BOARD AND BATTEN
- VINYL WINDOWS
- FIBER CEMENT LAP SIDING
- BRICK ROWLOCK OVER SOLDIER
- BRICK VENEER

**Architectural Features**

- Covered Front Porches
- Variety of Window Fenestrations
- 10/12 Roof Pitch Front Gable
- Brick Veneer on Front Elevation
- Mix of Lap & Shingle Siding
- Dormer
- Composite Roof Shingles
- Wrapped Porch Columns

## Denmark '6' - Front Elevation

Knightdale, NC

09.26.2024



www.gmdesigngroup.com

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.









**Architectural Features**

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick & Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns



## 6-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



www.gmdesigngroup.com

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



## 6-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



[www.gmdesigngroup.com](http://www.gmdesigngroup.com)

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)  
© 2024 gmdesigngroup carolinas, inc.



## 6-Plex - Sides Elevations

### 20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



www.gmdesigngroup.com

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



**Architectural Features**

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick & Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns



## 5-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



www.gmdesigngroup.com

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



## 5-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



[www.gmdesigngroup.com](http://www.gmdesigngroup.com)

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



## 5-Plex - Sides Elevations

### 20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



[www.gmdesigngroup.com](http://www.gmdesigngroup.com)

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



**Architectural Features**

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick & Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns

## 3-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



www.gmdesigngroup.com

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



# 3-Plex - Rear Elevation

## 20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



[www.gmdesigngroup.com](http://www.gmdesigngroup.com)

© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)  
© 2024 gmdesigngroup carolinas, inc.



## 3-Plex - Sides Elevations

### 20' 3-Story Rear Load Townhomes - Knightdale, NC

09.27.2024



[www.gmdesigngroup.com](http://www.gmdesigngroup.com)

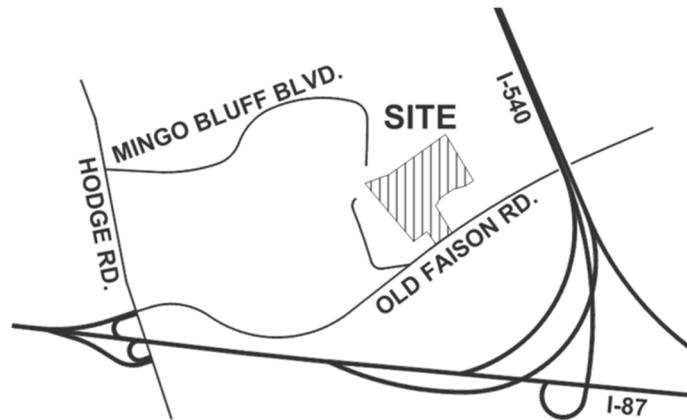
© gmd design group carolinas, inc. 2024

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2024 gmdesigngroup carolinas, inc.



## OLD FAISON PLACE

A MASTERPLANNED RESIDENTIAL COMMUNITY IN KNIGHTDALE BY GLENWOOD HOMES



### INTRODUCTION:

This development is located on approximately 21 acres off of Old Faison Road in Knightdale. Existing zoning is GR8 Medium Density. Proposed zoning is GR8 PUD. The project includes 12 proposed single family residential homes and 103 townhouses for a total of 115 residential units.

### VISION STATEMENT:

Glenwood Homes was founded on the principal of quality homes for every lifestyle. We are passionate about building homes that have functional floor plans for today's life choices. We bring these homes to our homebuyers at a price that demonstrates value and the best quality possible. Our team has a wealth of knowledge in the North Carolina market and together has over 80 years of experience in building communities that will stand the test of time.

Our vision for this project in Knightdale is to create a vibrant, sustainable community that embodies quality and elegance. Drawing on our rich history of crafting attractive residential developments, we aim to blend innovative design with a commitment to environmental stewardship, fostering a neighborhood that not only enhances the beauty of the area but also promotes a strong sense of community. Our goal is to provide future residents with not just homes, but a lifestyle defined by comfort, accessibility, and connection.

## **UDO COMPLIANCE:**

This project has been designed to comply with the Town of Knightdale Unified Development Ordinance, including but not limited to the zoning standards, allowable uses, buffers, landscaping, stormwater, utilities, lighting, roadway, parking, and open space requirements.

## **COMPREHENSIVE PLAN:**

The Comprehensive Plan describes how the Town's population has grown substantially from 1,884 people in 1990 to 20,971 in 2023. The Town takes pride in its' expanding population, and this project will help the Town to continue to grow. The Plan indicates that the median home value in Knightdale is \$364,693. The proposed townhouses and single family houses in this development are expected to have a similar price point, and will complement the real estate value of the area. The Comprehensive Plan indicates that the Town has a shortage of townhouses: Only 6% of all residential units in Knightdale are townhouses. This project has a significant number of proposed townhouse units, and will help the Town to achieve a more balanced mix of residential housing types in the Town. The Comprehensive Plan indicates that the economy is an important factor to the Town. This project will create hundreds of new job opportunities with the construction of this development, and the additional residents will boost the available work force of the community. A hallmark of the Comprehensive plan is to provide comprehensive and connected open spaces. This project includes a connected open space corridor, including pickleball and tennis courts, multi-use field, playground, walking trail, landscaped areas, benches, fire pits, dog park, and a stormwater pond with a fountain. The Plan indicates that the Town intends for this property to be a "Secondary Growth Area", and is located next to a "trail-oriented development activity center". This project is proposing an internal walking trail. A wide pedestrian sidepath is intended to be constructed along Old Faison Road per the Town standards. The Plan indicates this land as a "future mixed-use neighborhood". However, this project is not proposing any commercial/retail uses, as the developer specializes in residential construction, and does not feel that there is a demand for commercial/retail uses at this location. The size, shape, and topography of this property provides limited buildable area, and does not provide enough buildable land for additional uses. This project qualifies as a "mixed density neighborhood", according to page 77 of the Comprehensive Plan. The project includes a grid street network with parallel parking along some streets, as well as multiple stub streets to adjacent properties, which is a goal of the Plan.

## **DESIGN GUIDELINES:**

This project is designed to comply with the following design guidelines and others.

- Town of Knightdale UDO
- City of Raleigh Public Utilities Handbook
- NCDOT road design standards (Old Faison Rd)
- NCDEQ Stormwater BMP Design Manual
- NCDENR Sedimentation & Erosion Control Manual

## **DIMENSIONAL STANDARDS:**

Refer to the Site Plan sheet, which shows the dimensions. The internal roads are designed per Town of Knightdale dimensional standards. The Old Faison Road widening is designed per NCDOT and Town dimensional standards. The townhouse and single-family residential lots are designed per Town of Knightdale dimensional standards.

## **TRANSPORTATION ANALYSIS:**

A Traffic Impact Analysis report was prepared by DRMP traffic engineers and submitted to the Town. The report is included again with this Master Plan submittal. Refer to the report for additional information.

- The Town has asked the developer to extend and connect to existing Mingo Bluff Blvd to the north. As stated on the plans, the developer is willing to construct the road extension, but only if the Town is able to acquire the necessary road R/W and additional easements from the neighboring property owner to the north. Our project cannot legally perform work on the neighbor's property, and the Town must acquire the land before a road connection can be built.
- The Town requested that the developer construct a roundabout at our main entrance along Old Faison Road. The TIA indicates that a roundabout is not warranted. According to the TIA, a single eastbound left turn lane is needed along Old Faison Rd, as shown on the plans. The developer is not proposing to construct a roundabout, due to cost, and hardships of acquiring significant land from multiple adjacent residential properties.
- The Town asked the developer to perform a widening along the north shoulder for our property frontage, as well as the neighbor's property gap. The developer has agreed to do this, if the additional R/W can be obtained from the neighbors, as shown on the plans.
- The plans show that the south side of Old Faison Rd will be widened where needed to support the required turn lane and tapers. The developer is not proposing to do a full ultimate road widening on the neighbor's south road frontage, as that will be the responsibility of the property owners on the south side of Old Faison Rd when their property is improved.
- The Town asked the developer to construct a median in Old Faison Rd. This is not feasible, due to multiple existing driveways on both sides of the road, as the median would inhibit their driveway access.

- The Town asked the developer to construct a 10' sidepath along the north shoulder of Old Faison Road. The sidepath is shown on the plans.
- The proposed road network includes (2) road intersections with Old Faison Road, creating a looped road network and improved vehicular circulation for residents and emergency vehicles.
- The internal roads are designed based on the Town's design standards, and as discussed with Planning staff. The project is designed to provide on-street parallel parking in portions of the development. Residential properties are designed with individual driveway access on rear alleys per the Town's standards. A partial median is proposed on Mingo Bluff Blvd near the main entrance, as requested by the Town. It is not practical to construct additional medians due to the proximity of road intersections and driveways.
- Multiple road stubouts to neighboring properties are shown on the plans, which can be extended by potential future neighboring developments.

### **RECREATIONAL OPEN SPACE:**

The plans show the following recreational open space types:

- (2) pickleball courts
- Tennis court
- Playground
- Multi-use field
- Walking trail
- Dog part
- (2) fire pits with hardscape & landscape areas
- (2) covered pavilions
- Picnic tables
- Stormwater wet detention pond with fountain

### **WATER ALLOCATION POINTS:**

This project meets the Town's standards for water allocation points as follows:

- |   |           |
|---|-----------|
| • Major Subdivision:                          | 15 points |
| • Construct Fountain in Stormwater Pond:      | 4 points  |
| • On-Street Public Parking:                   | 4 points  |
| • Architectural Standards:                    | 15 points |
| • Pickleball and Tennis Courts:               | 5 points  |
| • Enhanced Roadside Landscaping (Old Faison): | 2 points  |
| • IPEMA Certified Playground Equipment:       | 4 points  |
| • 1,000 LF of 6-ft Wide Path:                 | 1 point   |
| • Total:                                      | 50 points |

## Proposed Architectural Standards – Single Family

- Single Family units shall have a variety of siding materials, which shall include a minimum of three of the following: Fiber cement lap siding, Fiber cement shake, Fiber cement board and batten, Fiber cement smooth panel, Stone veneer, Adhered stone veneer, Brick veneer.
- Single Family units will all have recessed entry with min. 6" door trim.
- Single Family units shall have a variety of siding colors. No adjacent unit shall be painted the same color.
- Single Family units shall have architectural style roof shingles.
- Single Family unit roofs shall have a minimum main roof pitch of 5:12. Forward facing Gables shall be between 8:12-14:12 roof pitch. Accent and porch roofs shall be between 3:12-6:12 pitch. Accent elements consisting of Gable dormers, shed dormers are to be utilized when consistent with the style of the home.
- Metal accent roofs are encouraged.
- Single Family units will all be two stories.
- Single Family units shall have front covered porches, min 5' deep x 4' wide with a 6" minimum width pillar/post/column.
- Single Family unit roofs will all have either a dormer or gable accent.
- Single Family units will have at a minimum a covered porch and window trim of 4" minimum in width.
- Single Family units shall have 18% of glazing on the front.
- Single Family units shall have rear loaded garages.
- Single Family units shall have a minimum of 1500 heated square feet.
- Single Family roof eave overhang shall be a minimum of 12".
- 18" foundation brick or stone veneer.

## Proposed Architectural Standards – Townhomes

- Townhouse units shall have a variety of siding materials, which shall include a minimum of three of the following: Fiber cement lap siding, Fiber cement shake, Fiber cement board and batten, Fiber cement smooth panel, Stone veneer, Adhered stone veneer, Brick veneer.
- Townhouse units will all have recessed entry with min. 6" door trim.
- Townhouse units shall have a variety of siding colors. No adjacent unit shall be painted the same color.
- Townhouse units shall have architectural style roof shingles.
- Townhouse unit roofs shall have a minimum main roof pitch of 5:12. Forward facing Gables shall be between 8:12-14:12 roof pitch. Accent and porch roofs shall be between 3:12-6:12 pitch. Accent elements consisting of Gable dormers, shed dormers are to be utilized when consistent with the style of the home.
- Metal accent roofs are encouraged.
- Townhouse units will all be three stories.
- Townhouse units shall have front covered porches, min 5' deep x 4' wide with a 6" minimum width pillar/post/column.
- Townhouse units roofs will all have either a dormer or gable accent.
- Townhouse units will have at a minimum a covered porch and window trim of 4" minimum in width.
- Townhouse units shall have 18% of glazing on the front.
- Townhouse units shall have rear loaded garages.
- Adjacent townhouse units shall have staggered setbacks as shown on the plan.
- Townhomes shall be a minimum of 19'-8" wide and a minimum of 1500 heated square feet.
- Roof eave overhang shall be a minimum of 12". Tight rake overhangs are permitted on porches and main roofs between townhome units. 12" min. rake overhangs on end unit exposed elevation.
- 18" minimum brick or stone veneer.

# NICHOLLS & CRAMPTON, P.A.

ATTORNEYS AT LAW

W. Sidney Aldridge†  
Gregory B. Crampton††  
Nicholas J. Dombalis II (1950-2020)  
Adam M. Gottsegen  
Emmett Boney Haywood†  
Isabel Worthy Mattox  
Steven C. Newton  
F. Timothy Nicholls  
John B. Ward  
Louis E. Wooten, III  
Thomas C. Worth, Jr. (Of Counsel)

† Certified Superior Court Mediator  
†† Board Certified Specialist in Business  
Bankruptcy Law

3700 Glenwood Avenue  
Suite 500  
Raleigh, North Carolina 27612

October 2, 2024

Mailing Address:  
Post Office Box 18237  
Raleigh, North Carolina 27619

(919) 781-1311  
FAX (919) 782-0465

## Re: **NOTICE OF MEETING:**

Dear Knightdale Area Property Owner:

You are invited to a neighborhood meeting to learn more about a proposed project adjacent to or near your property. A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: October 15, 2024 Meeting Time: 5:30 pm

Meeting Location: See Attached Instructions

Application type: Planned Unit Development

Approving Authority: Town Council Legislative Approval

Address: 0 Old Faison Road

PIN: 1743463116 and 1743466606

Description of proposal: Residential- Single-Family and Townhomes

Estimated Submittal Date: October 28, 2024

We will introduce our development team, make a presentation about the proposed project and conduct a question-and-answer session. Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the project engineer Stephen Ballentine at [sballentine@riversandassociates.com](mailto:sballentine@riversandassociates.com). These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact the Town of Knightdale Development Services Department at 919-217-2245.

Sincerely,

NICHOLLS & CRAMPTON, P.A.

*Isabel Mattox*

Isabel Worthy Mattox

IWM/dnc

Cc: Town of Knightdale Development Services Department

**Project Contact Information**

**Project Name:** Old Faison Place Proposed Zoning: GR8 PUD  
Location: 0 Old Faison Road  
Property PIN(s): 1743463116 and 1743466606 Acreage/Square Feet: 20.9 Acres

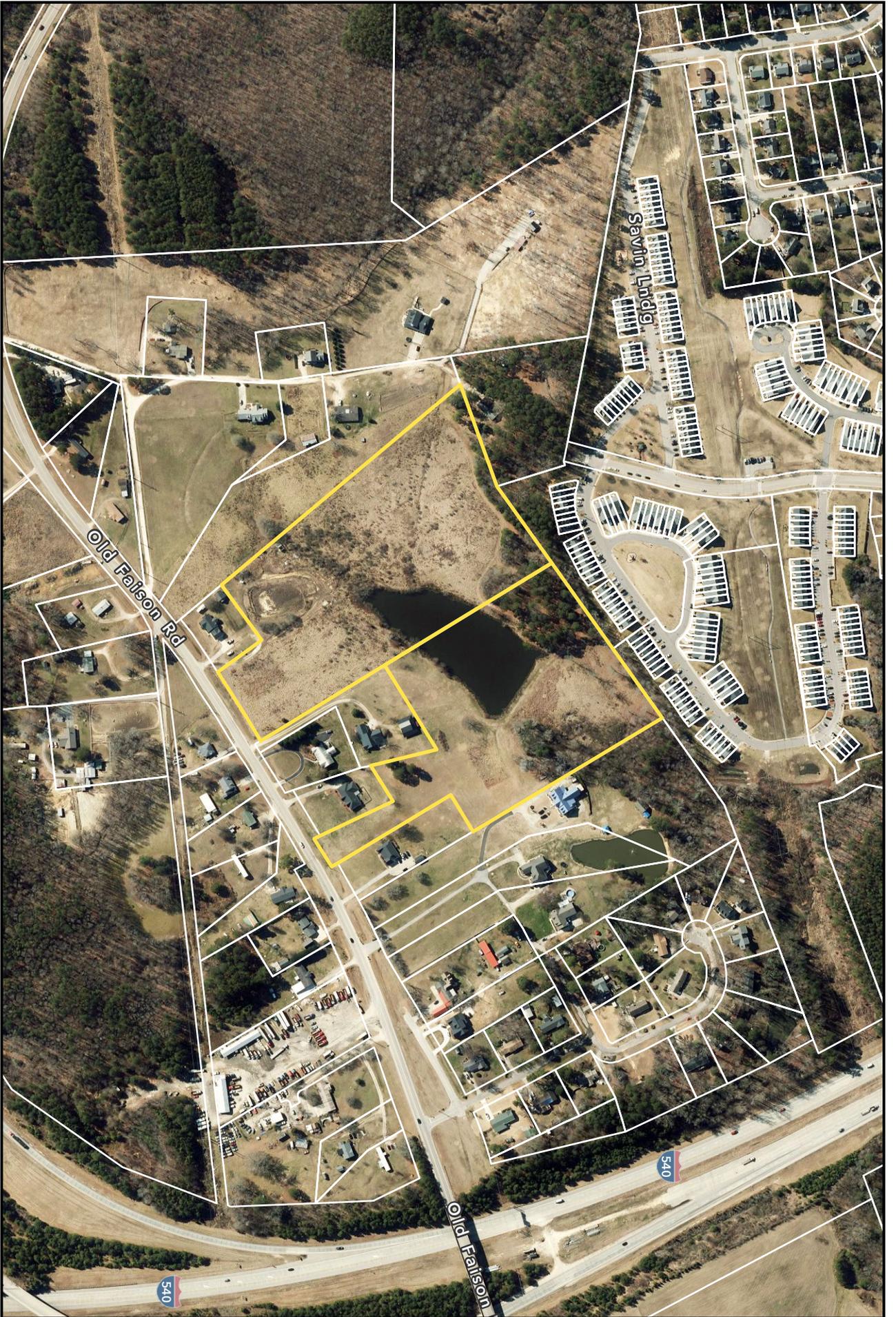
**Property Owner:** Ashbury & the Holdings Company LLC  
Address: P.O. Box 90427  
City: Raleigh State: North Carolina Zip: 27675  
Phone: 919-741-7993 Email: tom@glenwoodhomes.com

**Developer:** Ashbury & the Holdings Company LLC  
Address: P.O. Box 90427  
City: Raleigh State: North Carolina Zip: 27675  
Phone: 919-741-7993 Email: tom@glenwoodhomes.com

**Engineer:** Rivers & Associates, Inc.  
Address: 353 E Six Forks Road, Suite 230  
City: Raleigh State: North Carolina Zip: 27609  
Phone: 919-594-1626 Email: sballentine@riversandassociates.com

### Instructions for Virtual Meeting

1. Type the following URL into your internet browser:  
[https://teams.microsoft.com/l/meetup-join/19%3ameeting\\_ZTNkMGVhNDQtMTIjNy00NzVmLTk0YTctZWQ1ZDVhN2M3ZGY1%40thread.v2/0?context=%7b%22Tid%22%3a%22f31866cf-0afe-4b86-baaf-dd02d41bad50%22%2c%22Oid%22%3a%22736f66de-4e46-4b6b-b9db-c00dc8a0f18b%22%7d](https://teams.microsoft.com/l/meetup-join/19%3ameeting_ZTNkMGVhNDQtMTIjNy00NzVmLTk0YTctZWQ1ZDVhN2M3ZGY1%40thread.v2/0?context=%7b%22Tid%22%3a%22f31866cf-0afe-4b86-baaf-dd02d41bad50%22%2c%22Oid%22%3a%22736f66de-4e46-4b6b-b9db-c00dc8a0f18b%22%7d)
2. Or email Darby Cody at [dcody@nichollscrampton.com](mailto:dcody@nichollscrampton.com) and receive an e-mail invitation.
3. Or go to the Microsoft Teams website and enter the meeting ID: **213 601 136 252** and the passcode: **dd32dp**.



**Disclaimer**  
Maps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

Address	Owner
4906 OLD FAISON RD	GOWER, RICHARD MELVIN GOWER, SANDRA C
3812 ROCKING ROBYN RUN	FORD, ERNEST A JR FORD, BRENDA D
1207 PLEXOR LN	WALTERS, RUDY B
1407 PLEXOR LN	EDDIE & LUKE ENTERPRISES LLC
106 MONTVIEW WAY	BARAKAT, MIKE M
4833 OLD FAISON RD	NEWBERN, LLOYD R
1214 PLEXOR LN	HEADY, MARK R
108 MONTVIEW WAY	HOOD-ROUSE, NINETHIA K ROUSE, DEANTHONY M
907 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
901 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
903 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
905 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
909 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
911 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
913 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
915 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1001 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1003 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1005 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1007 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1009 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1011 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1013 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1015 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1101 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1103 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1105 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1107 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1109 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1111 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1113 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
1115 PLEXOR LN	MINGO CREEK INVESTMENTS II LLC
508 MONTVIEW WAY	MINGO CREEK INVESTMENTS II LLC
1306 PLEXOR LN	COLEMAN, MICHELLE N.
0 MONEY TREE LN	HONEYCUTT, BRENDA J.
4902 OLD FAISON RD	GRAY, CARLTON L
1300 PLEXOR LN	SEALEY, TERRY VANN
1205 PLEXOR LN	SHAHID-EL, LAILA
4912 OLD FAISON RD	GOWER, JOSEPH A GOWER, CAROLYN W
254 MONEY TREE LN	NARRON, ANTHONY NELSON
4908 OLD FAISON RD	SEBASTIEN, DEMETRA P A SEBASTIEN, JUDE MICHEAL PHILIPPE
1315 PLEXOR LN	POLLINO, TRASI
0 MINGO BLUFF BLVD	FRED SMITH COMPANY
230 MONEY TREE LN	WINDER, WILLIAM RAY WINDER, CATHERINE ANN
1405 PLEXOR LN	LOOMIS, DANIEL ROBERT LOOMIS, TONYA LYNN

1213 PLEXOR LN	AMH NC PROPERTIES, LP
1309 PLEXOR LN	AMH NC PROPERTIES, LP
402 GOWER DR	WALL, TRAVIS DEE WALL, ALEATHIA CUTSHAW
1203 PLEXOR LN	MANN, CHRISTOPHER
1215 PLEXOR LN	CARIC CORPORATION
4932 OLD FAISON RD	TORRES-GARCIA, MANUEL ELOY AGUILAR-PUENTES, MARGARITA
1313 PLEXOR LN	ORTEGA, FRALIS M
1305 PLEXOR LN	BUIE, JASMINE
1216 PLEXOR LN	EMKE, CARRIE G EMKE, DAVID M
1301 PLEXOR LN	DAVIS, CHARLES DAVIS, JOSIE B
1012 FINALLY MY WAY	WALL, REBECCA
1304 PLEXOR LN	AMH 2014-3 BORROWER LP
1401 PLEXOR LN	RHOADES, AMY MILLRING
1409 PLEXOR LN	MULL, MELISSA
1308 PLEXOR LN	BURSE, DERRION STEWART, DERSHAN
249 MONEY TREE LN	GP ASSOCIATES NORTH CAROLINA INC
1307 PLEXOR LN	PURI, SUSAN PURI, RAVI
4909 OLD FAISON RD	FANOUS, BASEL MAGDY MESEHA, ENGY ALBEER FAHMY
4901 OLD FAISON RD	TIMOTHY A GRIFFIN LIVING TRUST
1004 FINALLY MY WAY	TIMOTHY A GRIFFIN LIVING TRUST
0 MINGO BLUFF BLVD	MINGO CREEK COMMUNITY ASSOCIATION INC
1403 PLEXOR LN	SMALL, TAYLOR
1311 PLEXOR LN	DAVIS, STEPHANIE
4905 OLD FAISON RD	WALL, DALE A SR
0 OLD FAISON RD	ASHBURY & THE HOLDING COMPANY LLC
0 OLD FAISON RD	ASHBURY & THE HOLDING COMPANY LLC
1211 PLEXOR LN	IBENSILALEN, MOHAMED AMEJJOD, MALIKA
242 MONEY TREE LN	PYLES, GREGORY
1310 PLEXOR LN	LEWIS, LOWRY DURANT
1201 PLEXOR LN	POMNO LLC
3804 ROCKING ROBYN RUN	THROWER, TIMOTHY L THROWER, SABRINA M
1302 PLEXOR LN	HIGH, OMAR S
4814 OLD FAISON RD	GOWER, JERRY L GOWER, JOANN W
1303 PLEXOR LN	SMITH, JAMES C
4812 OLD FAISON RD	BUTLER, TAMMY G
1209 PLEXOR LN	AMH NC PROPERTIES, LP



PROPERTY TAX DEPT	30601 AGOURA RD STE 200PT	AGOURA HILLS CA 91301-2150
PROPERTY TAX DEPT	30601 AGOURA RD STE 200PT	AGOURA HILLS CA 91301-2150
402 GOWER DR	KNIGHTDALE NC 27545-9700	
1203 PLEXOR LN	KNIGHTDALE NC 27545-7279	
11208 SADDLEWOOD CT	RALEIGH NC 27614-9697	
4932 OLD FAISON RD	KNIGHTDALE NC 27545-9190	
1313 PLEXOR LN	KNIGHTDALE NC 27545-6901	
7304 STONECLIFF DR APT 7	RALEIGH NC 27615-7710	
1216 PLEXOR LN	KNIGHTDALE NC 27545-7278	
1301 PLEXOR LN	KNIGHTDALE NC 27545-6901	
1012 FINALLY MY WAY	KNIGHTDALE NC 27545-8754	
30601 AGOURA RD STE 200	AGOURA HILLS CA 91301-2148	
1401 PLEXOR LN	KNIGHTDALE NC 27545-6903	
1409 PLEXOR LN	KNIGHTDALE NC 27545-6903	
1308 PLEXOR LN	KNIGHTDALE NC 27545-6900	
7048 KNIGHTDALE BLVD	KNIGHTDALE NC 27545-8894	
1307 PLEXOR LN	KNIGHTDALE NC 27545-6901	
4124 PALAFOX CT	RALEIGH NC 27604-3466	
1732 FONT HILLS LN	KNIGHTDALE NC 27545-8184	
1732 FONT HILLS LN	KNIGHTDALE NC 27545-8184	
2009 MINGO CREEK BLVD	KNIGHTDALE NC 27545	
1403 PLEXOR LN	KNIGHTDALE NC 27545-6903	
1311 PLEXOR LN	KNIGHTDALE NC 27545-6901	
4905 OLD FAISON RD	KNIGHTDALE NC 27545-9191	
PO BOX 90427	RALEIGH NC 27675-0427	
PO BOX 90427	RALEIGH NC 27675-0427	
1211 PLEXOR LN	KNIGHTDALE NC 27545-7279	
249 MONEY TREE LN	KNIGHTDALE NC 27545-8680	
290 BARN HILL LN	WAKE FOREST NC 27587-7916	
1201 PLEXOR LN	KNIGHTDALE NC 27545-7279	
4205 MARSH VIEW LN	ZEBULON NC 27597-5347	
1302 PLEXOR LN	KNIGHTDALE NC 27545-6900	
4814 OLD FAISON RD	KNIGHTDALE NC 27545-9188	
1303 PLEXOR LN	KNIGHTDALE NC 27545-6901	
PO BOX 799	SWANSBORO NC 28584-0799	
PROPERTY TAX DEPT	30601 AGOURA RD STE 200PT	AGOURA HILLS CA 91301-2150

## Summary of Discussions

Provide a summary of any questions or comments received from meeting attendees along with responses by the applicant. If the question or comment will result in a change to the proposal, please state how that change will be made and the resulting follow up with the applicant. Use duplicate sheets if needed.

### APPLICANT'S STATEMENT:

The Town has asked the developer to extend an offsite roadway connection of Mingo Bluff Blvd onto a neighbor's property. We cannot legally perform any work on the neighbor's property. However, if the Town is able to acquire the necessary R/W and easements from the property neighbor, then the developer has stated that he is willing to construct the road connection based on the Town's request. If the Town is not able to acquire the offsite R/W and easements, then the roadway connection will not be possible.

### QUESTION/CONCERN:

What improvements is your project proposing to the existing Mingo Bluff Blvd located to the north of your project to alleviate our concerns about safety on the existing road?

### Applicant's Response:

This project is not proposing any modifications to the portion of existing offsite Mingo Bluff Blvd in your neighborhood, other than the aforementioned roadway connection. We understand that the road was designed, approved, and constructed 20+ years ago per the Town's standards, and we are not aware of existing safety issues with the existing road in your neighborhood. Any improvements to the existing road in your neighborhood would need to be handled by your HOA or the Town.

### QUESTION/CONCERN:

How will your project affect traffic on existing Mingo Bluff Blvd?

### Applicant's Response:

Refer to the Traffic Impact Analysis report, which was submitted to the Town. If Mingo Bluff Blvd is connected, then this would improve the traffic of your neighborhood, as it would allow residents and emergency vehicles an additional way to get in and out of your neighborhood.

### DEVELOPER'S STATEMENT:

The Town has asked our project to construct a roundabout located at the intersection of Old Faison Rd and Mingo Bluff Blvd. However, our project is not proposing to construct a roundabout for the following reasons:

A roundabout would require significant R/W acquisition of multiple neighboring residential lots, which would have significant impacts to their homes. A roundabout would be prohibitively expensive to build. A roundabout is not warranted from a traffic standpoint according to the Traffic Impact Analysis.

## Summary of Discussions

Provide a summary of any questions or comments received from meeting attendees along with responses by the applicant. If the question or comment will result in a change to the proposal, please state how that change will be made and the resulting follow up with the applicant. Use duplicate sheets if needed.

### QUESTION/CONCERN:

What is the expected completion date?

### Applicant's Response:

The construction is expected to begin in 2026 and be completed around 2029, but this will be affected based on the timeframe of the permitting and market conditions.

### QUESTION/CONCERN:

What is the planned square footage and selling price of the townhouses and houses?

### Applicant's Response:

The townhouses and houses will have 1,500 SF minimum, but could be larger. The sale price will be based on market conditions in years to come. At this time, we anticipate a sale price in the \$450,000 range.

### QUESTION/CONCERN:

How many houses and townhouses will be built?

### Applicant's Response:

The current plan is proposing 103 townhouses and 12 single family houses.

### DEVELOPER'S STATEMENT:

The Traffic Impact Analysis indicates that the only warranted turn lane along Old Faison Rd is an eastbound left turn lane at the Mingo Bluff Blvd entrance, which will be constructed. In addition, the Town has asked the developer to seek to acquire R/W and widen the road in the gap between our two entrances, which will affect several neighboring properties. The widening will be based on the Town's planned cross section of Old Faison Rd. Our project is proposing to widen our side of the road per the Town's ultimate cross section, which includes R/W dedication, curb and gutter and a 10' pedestrian side path. Our project is not proposing to widen the south side of Old Faison Road, except as needed for the turn lane tapers required by NCDOT. Any additional widening along the south road frontage would be the responsibility of the any potential development on the south side of Old Faison Rd. The Town asked us to construct a median in Old Faison Rd, but this will not be feasible, as it would inhibit multiple existing residential driveway accesses along Old Faison Rd.

## Summary of Discussions

Provide a summary of any questions or comments received from meeting attendees along with responses by the applicant. If the question or comment will result in a change to the proposal, please state how that change will be made and the resulting follow up with the applicant. Use duplicate sheets if needed.

### QUESTION/CONCERN:

A member of the Mingo Creek Townhouses HOA stated the following:

The Town promised our community that when the property to the south is developed, the Mingo Bluff Blvd Road connection would be extended to Old Faison Rd.

### QUESTION/CONCERN:

The residents in the gap along Old Faison Rd asked how the widening would affect their properties, including drainage and R/W acquisition.

### Applicant's Response:

The Town is requiring our project to widen Old Faison Rd and construct a 10' wide sidepath along your property frontage, so we have no choice. It will be necessary to relocate the existing roadside ditch further north onto your property, construct new driveway pipes, and connect the new ditch to a proposed storm pipe system under Old Faison Rd. This will be designed in the future after the rezoning is approved. The developer will contact you to discuss R/W acquisition.

### QUESTION/CONCERN:

A member of the Mingo Creek Townhouses stated the following: Back around 2004 when our community was built, the Town did not require any guest parking. The Town only required a garage parking space and a driveway parking space. Some residents have converted their garage into a living room and this has caused a parking shortage problem in our neighborhood. Will your project make our existing parking problem worse?

### Applicant's Response:

That is unfortunate that your community has no guest parking and that some of your residents have made the problem worse by eliminating their garages. Our proposed project includes a significant number of on-street parallel parking spaces. There is also a proposed amenity/guest parking lot near the entrance. We initially designed the amenity/guest parking lot to be larger, but the Town asked us to reduce it. Given the walking distance between your project and our units, and the fact that you have an existing parking problem and we do not, we do not anticipate that our residents will want to park in your neighborhood.

### QUESTION/CONCERN:

Will there be a stop sign on Old Faison Road at the Mingo Bluff Blvd intersection?

### Applicant's Response:

We are proposing a southbound stop sign on Mingo Bluff Blvd. However, there will be no stop sign on existing Old Faison Road, which is a significant NCDOT road. We believe it is very unlikely that NCDOT would allow a stop sign on their major road.

### **Summary of Discussions**

Provide a summary of any questions or comments received from meeting attendees along with responses by the applicant. If the question or comment will result in a change to the proposal, please state how that change will be made and the resulting follow up with the applicant. Use duplicate sheets if needed.

#### **DEVELOPER'S STATEMENT:**

The Town has asked that this project include Mixed Use. However, this project is not proposing any mixed use for the following reasons:

Our team does not believe that there is demand for commercial/retail uses at this location, and any investment in this would likely fail. Commercial/retail uses like to be next to other commercial/retail uses, such as in a shopping center setting, so a small commercial/retail project would likely fail at this location. This is a residential developer.

### Summary of Discussions

Provide a summary of any questions or comments received from meeting attendees along with responses by the applicant. If the question or comment will result in a change to the proposal, please state how that change will be made and the resulting follow up with the applicant. Use duplicate sheets if needed.

Question/Concern #1:

Street extension/improvements of Mingo Bluff Road

---

---

Applicant's Response:

The town wants this connection and we have agreed to build, if the Town acquires the necessary right-of-way

---

---

Question/Concern #2:

What is the estimated selling price on the townhomes and single-family houses?

---

---

Applicant's Response:

That is difficult to answer this far out but we believe prices will be in the mid \$400,000 (based on 2024 dollars)

---

---

Question/Concern #3:

When is the expected start and completion date?

---

---

Applicant's Response:

Lots of variables about construction, but expected to start in 2026 and complete in approximately 2.5 years.

---

---

Question/Concern #4:

How many townhouses and how many single-family homes will there be?

---

---

Applicant's Response:

---

---

---

We propose 103 townhomes and 12 single-family homes.

---

Question/Concern #5:

Will there be any improvements to the "old" side of Mingo Bluff that would allow for some consistency and enhancement with the new addition?

---

Applicant's Response:

We will not improve the existing Mingo Bluff road except for the possible road connection.

---

Question/Concern #6:

Will there be anything to improve Mingo Bluff Road to consider safety and the addition of traffic with this addition?

---

Applicant's Response:

Any connection to Mingo Bluff road will follow the Town of Knightdale standards and will be consistent with good engineering safety standards.

---

Question/Concern #6:

How will this affect 4908 Old Faison Road?

---

Applicant's Response:

We will need to acquire additional right-of-way adjacent to Old Faison road.

---

Question/Concern #6:

Is the intention to ultimately have the streets connect?

---

Applicant's Response:

If Knightdale timely obtains the necessary right-of-way, we will connect Mingo Bluff to our project.

---



**NEIGHBORHOOD MEETING ATTENDANCE SHEET**

Please list Neighborhood Meeting Attendees who provided their name and/or contact information either during the meeting or via phone/email before or after the meeting. Use duplicate sheets if needed.

	Name/Organization	Address	Phone Number	Email Address	Follow Up Requested?
1.	John High		919-812-6192		
2.	Tabitha Hagen			Tabitha_Hagen@bellsouth.net	
3.	Richard Gower	4906 Old Faison Road		rgower1@nc.rr.com	
4.	Ray Winder	230 Money Tree Lane			
5.	CB				
6.	Mingo Creek HOA				
7.	Demetra Allen	4908 Old Faison Road		dpsebastien@gmail.com	
8.	Lisa Pierson	1104 Willowedge Court			
9.	Shahid-El, Laila	1205 Plexor Lane			
10.					
11.					
12.					
13.					
14.					
15.					

**February 24, 2025**

**Gideon Smith  
Town of Knightdale  
950 Steeple Square Court  
Knightdale, NC 27545**

**Reference: Olde Faison Place - Knightdale, North Carolina**

**Subject: Traffic Impact Assessment**

Dear Mr. Smith,

This letter provides a summary of the traffic impact analysis prepared for the proposed Olde Faison Place development to be located on the north side of Old Faison Road between Hodge Road and Interstate 540 (I-540) in Knightdale, North Carolina. Through coordination with the Town of Knightdale (the Town), it was requested that a commercial parcel be included as a part of the development. While there is no known tenant and the land use is not yet determined, a conservative approach to this analysis was taken. For the purpose of this traffic impact analysis, a 3,500 square foot (s.f.) fast-food restaurant with drive-through was assumed to be constructed on the commercial parcel. The development is anticipated to be constructed in two (2) phases, summarized below:

*Phase 1 - construction estimated to be complete by 2028*

- 12 single-family homes
- 105 townhomes

*Phase 2 - unknown completion (assumed 2028 for the purpose of this analysis)*

- 3,500 s.f. fast food restaurant with drive through

The purpose of this study is to determine the potential impacts to the surrounding transportation system created by traffic generated by the proposed development, as well as recommend improvements to mitigate the impacts, if necessary.

---

## Study Area and Analysis Scenarios

Based on coordination with the Town of Knightdale (Town), the proposed site accesses were the only intersections to be analyzed, and would be analyzed under the following conditions, as per the Town's Unified Development Ordinance (UDO):

- 2028 + 1 Traffic Conditions (Phase 1)
- 2028 + 10 Traffic Conditions (Phase 1)
- 2028 + 1 Traffic Conditions (Phase 2)
- 2028 + 10 Traffic Conditions (Phase 2)

Refer to Attachment A for the approved scoping documentation. Refer to Attachment B for the site location map.

## Proposed Land Use and Site Access

The proposed development is expected to be constructed in two phases and consist of the land uses below:

### Phase 1

- 12 single-family homes
- 105 townhomes

### Phase 2

- 3,500 s.f. fast food restaurant with drive through (yet to be confirmed)

Completion of the proposed development is anticipated by the end of 2028. Site access is proposed via two (2) full-movement driveways along Old Faison Road. During scoping, the Town requested analysis of a potential connection to the existing Mingo Bluff Boulevard to the north. Per coordination with the Town, all intersections were analyzed under two scenarios.

- Scenario 1 - assumes that the connection to Mingo Bluff Boulevard is not constructed (access only available via Old Faison Road)
- Scenario 2 - assumes Site Access A operates as an extension of Mingo Bluff Boulevard.

Refer to Attachment B for a copy of the preliminary site plan.

---

## Adjacent Land Uses

The proposed development is located north of I-87, in an area consisting primarily of residential development.

## Existing Roadways

Speed limits, cross section, and other roadway information about Old Faison Road are shown in Table 1 below.

**Table 1: Existing Roadway Inventory**

Road Name	Route Number	Typical Cross Section	Speed Limit	ADT (vpd)
Old Faison Road	SR 2515	2-lane undivided	45 mph	*6,510

\*ADT based on the traffic counts from 2024.

## Existing Traffic Conditions

Existing peak hour traffic volumes were determined by collecting traffic count data along Old Faison Road at the approximate location of the two proposed site driveways. Weekday count data was recorded for 24-hours but only the typical AM (7:00 – 9:00) and PM (4:00 – 6:00) peak hours were considered in the capacity analysis. Refer to Attachment B for an illustration of 2024 existing traffic volumes and Attachment C for the raw traffic count data.

## 2029 (+1) and 2038 (+10) No-Build Traffic Conditions

As mentioned previously, the Town’s UDO requires a build +1 and build +10 analysis. Existing traffic volumes were projected to the future year 2029 utilizing a 3% annual growth rate approved by the Town. For each year after 2029, a 1% growth rate was applied. Refer to Attachment B for illustrations of the 2029 and 2038 projected peak hour traffic volumes.

The following adjacent developments were identified to be included as a part of the analysis:

- Silverstone
- Stone River
- Riverview Commons
- Lyndon Oaks

Refer to Attachment D for additional adjacent development data. It should be noted that Lyndon Oaks is the only development that adds site traffic along Old Faison Road, therefore this was the only development included in the analysis.

2029 and 2038 no-build traffic volumes were determined by adding the adjacent development trips to the correlating projected peak hour traffic volumes. Refer to Attachment B for illustration of the adjacent development trips and 2029/2038 no-build peak hour traffic volumes.

### Site Trip Generation

Average weekday daily, AM peak hour, and PM peak hour trips for the proposed development were estimated using methodology contained within the ITE Trip Generation Manual, 11.1 Edition. Table 2a provides a summary of the trip generation potential for the site under each phase.

**Table 2a: Site Trip Generation (Phase 1)**

Land Use (ITE Code)	Intensity	Daily Traffic (vpd)	Weekday AM Peak Hour Trips (vph)		Weekday PM Peak Hour Trips (vph)	
			Enter	Exit	Enter	Exit
Single-Family Detached (210)	12 DU	144	3	8	9	5
Single-Family Attached (215)	105 DU	750	12	37	35	24
Total Trips		894	15	45	44	29

**Table 2b: Site Trip Generation (Full Build)**

Land Use (ITE Code)	Intensity	Daily Traffic (vpd)	Weekday AM Peak Hour Trips (vph)		Weekday PM Peak Hour Trips (vph)	
			Enter	Exit	Enter	Exit
Single-Family Detached (210)	12 DU	144	3	8	9	5
Single-Family Attached (215)	105 DU	750	12	37	35	24
Fast-Food w/ Drive-Thru (934)	3.5 KSF	1,636	80	76	60	56
Total Trips		2,530	95	121	104	85
<i>Pass-By Trips: Fast-Food Restaurant with Drive-Through (50% AM, 55% PM)</i>			-39	-39	-32	-32
Total Primary Trips*			56	82	72	53

\*No internal capture assumed; 5% of regional distributions assumed to originate from proposed development.

### Trip Distribution and Assignment

The site trips were distributed based on existing traffic patterns, population centers adjacent to the study area, and engineering judgment. A summary of the residential regional distributions for Scenario 1 is shown below:

- 85% to/from the west via Old Faison Road
- 15% to/from the east via Old Faison Road

A summary of the residential regional distributions for Scenario 2 is shown below:

- 75% to/from the west via Old Faison Road
- 15% to/from the east via Old Faison Road
- 10% to/from the north via Mingo Bluff Boulevard

Primary (new) trips associated with the commercial parcel were distributed as follows under Scenario 2:

- 80% to/from the west via Old Faison Road
- 15% to/from the east via Old Faison Road
- 5% to/from within proposed Old Faison Place development OR within adjacent Mingo Bluff development (accessing via potential Mingo Bluff Boulevard connection)

Additionally, with the potential connection to Mingo Bluff Boulevard, trips from the existing Mingo Bluff development would be expected to be diverted from their current route (Mingo Bluff Boulevard-to-Hodge Road-to-Old Faison Road) to the new Mingo Bluff Boulevard connection directly to Old Faison Road (via proposed Site Access A). Traffic counts at the intersections of Hodge Road/Mingo Bluff Boulevard and Hodge Road/Old Faison Road were used to estimate the amount of Mingo Bluff Boulevard traffic that could be diverted with an extension connecting to Old Faison Road. The diverted peak hour traffic was only utilized under Scenario 2. Refer to Attachment B for illustrations of the site trip distributions and assignments, diverted trip distributions and assignments, and total trip assignments.

### 2029 (+1) and 2038 (+10) Build Traffic Conditions

To estimate the traffic conditions with the site built-out, the site trips were added to the no-build traffic volumes for each respective analysis year, scenario, and phase. Refer to Attachment B for an illustration of the 2029 and 2038 build peak hour traffic volumes for each scenario and phase.

### Traffic Capacity Analysis

Traffic capacity analysis for the study intersections was performed using Synchro 11.1 and SIDRA, which are comprehensive software packages that allows the user to model signalized, unsignalized, and roundabout intersections to determine levels-of-service based on the thresholds specified in the Highway Capacity Manual (HCM).

Refer to Table 3 for HCM levels of service and related average control delay per vehicle for signalized intersections, unsignalized intersections, and roundabouts.

**Table 3: Highway Capacity Manual – Levels-of-Service and Delay**

Unsignalized Intersections and Roundabouts		Signalized Intersections	
Level of Service	Average Control Delay per Vehicle (Seconds)	Level of Service	Average Control Delay per Vehicle (Seconds)
A	0-10	A	0-10
B	10-15	B	10-20
C	15-25	C	20-35
D	25-35	D	35-55
E	35-50	E	55-80
F	>50	F	>80

Old Faison Road and Site Access A

Refer to the table below for a summary of the capacity analysis of the subject intersection during the analysis scenarios.

**Table 4a: Analysis Summary for Old Faison Road and Site Access A**

ANALYSIS SCENARIO	A P P R O A C H	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2029 Build – Scenario 1 (Phase 1)	EB WB <b>SB</b>	1 <b>LT</b> -TH 1 TH- <b>RT</b> 1 <b>LT</b> , 1 <b>RT</b>	A (8) <sup>1</sup> -- B (12) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (15) <sup>2</sup>	N/A
2029 Build – Scenario 2a (Phase 1)	EB WB <b>SB</b>	1 <b>LT</b> , 1 TH 1 TH- <b>RT</b> 1 <b>LT</b> , 1 <b>RT</b>	A (8) <sup>1</sup> -- B (14) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (18) <sup>2</sup>	N/A
2029 Build – Scenario 2b* (Phase 1)	EB WB <b>SB</b>	1 <b>LT</b> -TH 1 TH- <b>RT</b> 1 <b>LT</b> - <b>RT</b>	A (9) A (6) A (5)	A (7)	A (7) A (9) A (6)	A (8)
2029 Build – Scenario 1 (Phase 2)	EB WB <b>SB</b>	1 <b>LT</b> -TH 1 TH- <b>RT</b> 1 <b>LT</b> , 1 <b>RT</b>	A (8) <sup>1</sup> -- C (17) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (19) <sup>2</sup>	N/A
2029 Build – Scenario 2a (Phase 2)	EB WB <b>SB</b>	1 <b>LT</b> , 1 TH 1 TH, 1 <b>RT</b> 1 <b>LT</b> , 1 <b>RT</b>	A (8) <sup>1</sup> -- C (18) <sup>2</sup>	N/A	A (10) <sup>1</sup> -- C (22) <sup>2</sup>	N/A
2029 Build – Scenario 2b* (Phase 2)	EB WB <b>SB</b>	1 <b>LT</b> -TH 1 TH- <b>RT</b> 1 <b>LT</b> - <b>RT</b>	A (10) A (6) A (6)	A (8)	A (8) B (10) A (7)	A (9)

Improvements/lane modifications by developer shown in bold.

\*Analyzed as roundabout per Town of Knightdale UDO.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

**Table 4b: Analysis Summary for Old Faison Road and Site Access A**

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2038 Build – Scenario 1 (Phase 1)	EB WB <b>SB</b>	1 <b>LT-TH</b> 1 TH- <b>RT</b> 1 <b>LT, 1 RT</b>	A (8) <sup>1</sup> -- B (13) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (16) <sup>2</sup>	N/A
2038 Build-Scenario 2a (Phase 1)	EB WB <b>SB</b>	1 <b>LT, 1 TH</b> 1 TH- <b>RT</b> 1 <b>LT, 1 RT</b>	A (8) <sup>1</sup> -- B (15) <sup>2</sup>	N/A	A (10) <sup>1</sup> -- C (19) <sup>2</sup>	N/A
2038 Build – Scenario 2b* (Phase 1)	EB WB <b>SB</b>	1 <b>LT-TH</b> 1 TH- <b>RT</b> 1 <b>LT-RT</b>	A (9) A (6) A (5)	A (8)	A (8) B (10) A (7)	A (9)
2038 Build – Scenario 1 (Phase 2)	EB WB <b>SB</b>	1 <b>LT-TH</b> 1 TH- <b>RT</b> 1 <b>LT, 1 RT</b>	A (8) <sup>1</sup> -- C (18) <sup>2</sup>	N/A	A (10) <sup>1</sup> -- C (21) <sup>2</sup>	N/A
2038 Build-Scenario 2a (Phase 2)	EB WB <b>SB</b>	1 <b>LT, 1 TH</b> 1 TH, <b>1 RT</b> 1 <b>LT, 1 RT</b>	A (9) <sup>1</sup> -- C (20) <sup>2</sup>	N/A	A (10) <sup>1</sup> -- C (24) <sup>2</sup>	N/A
2038 Build – Scenario 2b* (Phase 2)	EB WB <b>SB</b>	1 <b>LT-TH</b> 1 TH- <b>RT</b> 1 <b>LT-RT</b>	B (11) A (6) A (6)	A (9)	A (8) B (11) A (8)	A (10)

Improvements/lane modifications by developer shown in bold.

\*Analyzed as roundabout per Town of Knightdale UDO.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

Capacity analysis under all conditions indicates the major-street left-turn movement is expected to operate at LOS A. The minor-street approach of the proposed site access (and Mingo Bluff Boulevard Extension) is expected to operate at an overall LOS C or better during the AM and PM peak hours.

---

Turn lanes were considered based on the North Carolina Department of Transportation *Policy on Street and Driveway Access to North Carolina Highways*. An eastbound left-turn lane with 75 feet of storage is warranted and recommended by the developer under Phase 1 conditions. Under Phase 2 conditions, an eastbound left turn lane with 125 feet of storage and a westbound right turn lane with 50 feet of storage are warranted and recommended by the developer.

Per scoping with the Town of Knightdale, 8-hour, 4-hour, and peak hour warrants for signalization were analyzed at the intersection. Under phase 2 conditions with the connection to Mingo Bluff, 8-hour and 4-hour warrants for signalization are expected to be met. 50% reduction of right turns was assumed along the major and minor street; however, if ample storage is supplied along the minor-street, right-turns to be included in the signal warrant analysis could further be reduced resulting in warrants for signalization not being met. If connection to Mingo Bluff occurs, the intersection should be monitored for signalization in the future due to uncertainty of the commercial land use at this time.

Per the Town's Unified Development Ordinance (UDO) and coordination with the Town, Site Access A was also analyzed as a single-lane roundabout (Scenario 2b). When analyzed as a roundabout, the overall intersection and each approach are expected to operate at LOS B or better during the AM and PM peak hours. No significant queuing is expected at the approach under any conditions.

Due to acceptable operations (including insignificant queuing) without and with the connection to Mingo Bluff Boulevard, no roundabout appears to be necessary. Upon completion of the development, the intersection should be monitored for signalization in the future.

Old Faison Road and Site Access B

Refer to the table below for a summary of the capacity analysis of the subject intersection during the analysis scenarios.

**Table 5a: Analysis Summary of Old Faison Road and Site Access B**

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2029 Build – Scenario 1 (Phase 1)	EB WB <b>SB</b>	1 <b>LT-TH</b> 1 TH- <b>RT</b> 1 <b>LT-RT</b>	A (8) <sup>1</sup> -- C (15) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (18) <sup>2</sup>	N/A
2029 Build – Scenario 2 (Phase 1)	EB WB <b>SB</b>	1 <b>LT-TH</b> 1 TH- <b>RT</b> 1 <b>LT-RT</b>	A (8) <sup>1</sup> -- C (15) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (18) <sup>2</sup>	N/A
2029 Build – Scenario 1 (Phase 2)	EB WB <b>SB</b>	1 <b>LT-TH</b> 1 TH- <b>RT</b> 1 <b>LT-RT</b>	A (8) <sup>1</sup> -- C (15) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (19) <sup>2</sup>	N/A
2029 Build – Scenario 2 (Phase 2)	EB WB <b>SB</b>	1 <b>LT-TH</b> 1 TH- <b>RT</b> 1 <b>LT-RT</b>	A (8) <sup>1</sup> -- C (15) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (19) <sup>2</sup>	N/A

Improvements/lane modifications by developer shown in bold.

1. Level of service for major-street left-turn movement.
2. Level of service for minor-street approach.

**Table 5b: Analysis Summary of Old Faison Road and Site Access B**

ANALYSIS SCENARIO	APPROACH	LANE CONFIGURATIONS	WEEKDAY AM PEAK HOUR LEVEL OF SERVICE		WEEKDAY PM PEAK HOUR LEVEL OF SERVICE	
			Approach	Overall (seconds)	Approach	Overall (seconds)
2038 Build – Scenario 1 (Phase 1)	EB WB SB	1 LT-TH 1 TH-RT 1 LT-RT	A (8) <sup>1</sup> -- C (16) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (20) <sup>2</sup>	N/A
2038 Build-Scenario 2 (Phase 1)	EB WB SB	1 LT-TH 1 TH-RT 1 LT-RT	A (8) <sup>1</sup> -- C (16) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (20) <sup>2</sup>	N/A
2038 Build – Scenario 1 (Phase 2)	EB WB SB	1 LT-TH 1 TH-RT 1 LT-RT	A (8) <sup>1</sup> -- C (17) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (20) <sup>2</sup>	N/A
2038 Build-Scenario 2 (Phase 2)	EB WB SB	1 LT-TH 1 TH-RT 1 LT-RT	A (8) <sup>1</sup> -- C (17) <sup>2</sup>	N/A	A (9) <sup>1</sup> -- C (20) <sup>2</sup>	N/A

Capacity analysis under all conditions indicates the major-street left-turn movement is expected to operate at LOS A. The minor-street approach of the proposed site access is expected to operate at an overall LOS C during the AM and PM peak hours. Turn lanes were considered based on the NCDOT *Policy on Street and Driveway Access to North Carolina Highways*. No turn lanes are warranted at Site Access B.

Due to acceptable operations at the intersection, no improvements are recommended by the developer.

---

## **Findings and Summary**

Capacity analysis at all study intersections was completed in accordance with the Town of Knightdale UDO and NCDOT capacity analysis guidelines. All study area intersections are expected to operate at acceptable levels-of-service. Based on the findings of this study, it was determined that the proposed development would not have a major impact on traffic operations in this corridor. See below for a description of the recommended lane configuration and traffic control at the proposed access points along Old Faison Road. Refer to Attachment B for an illustration of the recommended lane configuration and traffic control.

### ***Phase 1***

#### ***Old Faison Road and Site Access A***

- Construct Site Access A as a full-movement access with one ingress lane and two egress lanes with approximately 100 feet of storage.
- Construct an exclusive eastbound left turn lane on Old Faison Road with approximately 75 feet of storage plus appropriate deceleration and taper.
- Provide stop control for Site Access A.

#### ***Old Faison Road and Site Access B***

- Construct Site Access B as a full-movement access with one ingress lane and one egress lane.
- Provide stop control for Site Access B.

### ***Phase 2***

#### ***Old Faison Road and Site Access A***

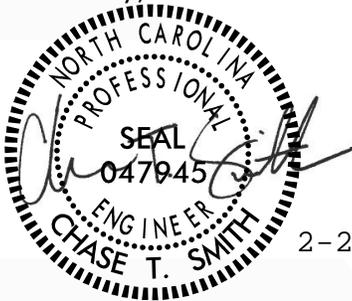
- Construct an exclusive westbound right turn lane with 50' of storage plus appropriate deceleration and taper.
- Monitor for signalization upon completion of Phase 2.

As mentioned, the land use for the commercial parcel is yet to be determined. Additionally, the developer of the residential parcel is unlikely to develop the commercial parcel, instead selling it to a separate entity exclusively for development of the parcel. At such time that a tenant is known, the aforementioned improvements recommended for Phase 2 (commercial parcel) should be verified, with new analysis and traffic provided when necessary.

---

If you have questions regarding information contained herein, feel free to contact me at (336) 714-0112.

Sincerely,



2-24-2025

Chase Smith, PE  
Traffic Analysis Project Manager  
**DRMP, Inc.**

#### Attachments

- Attachment A – Approved Scoping Document
- Attachment B – Figures
- Attachment C – Traffic Count Data
- Attachment D – Adjacent Development Information
- Attachment E – Synchro, SIDRA, and SimTraffic Reports
- Attachment F – Turn Lane Warrants
- Attachment G – Signal Warrant Analysis