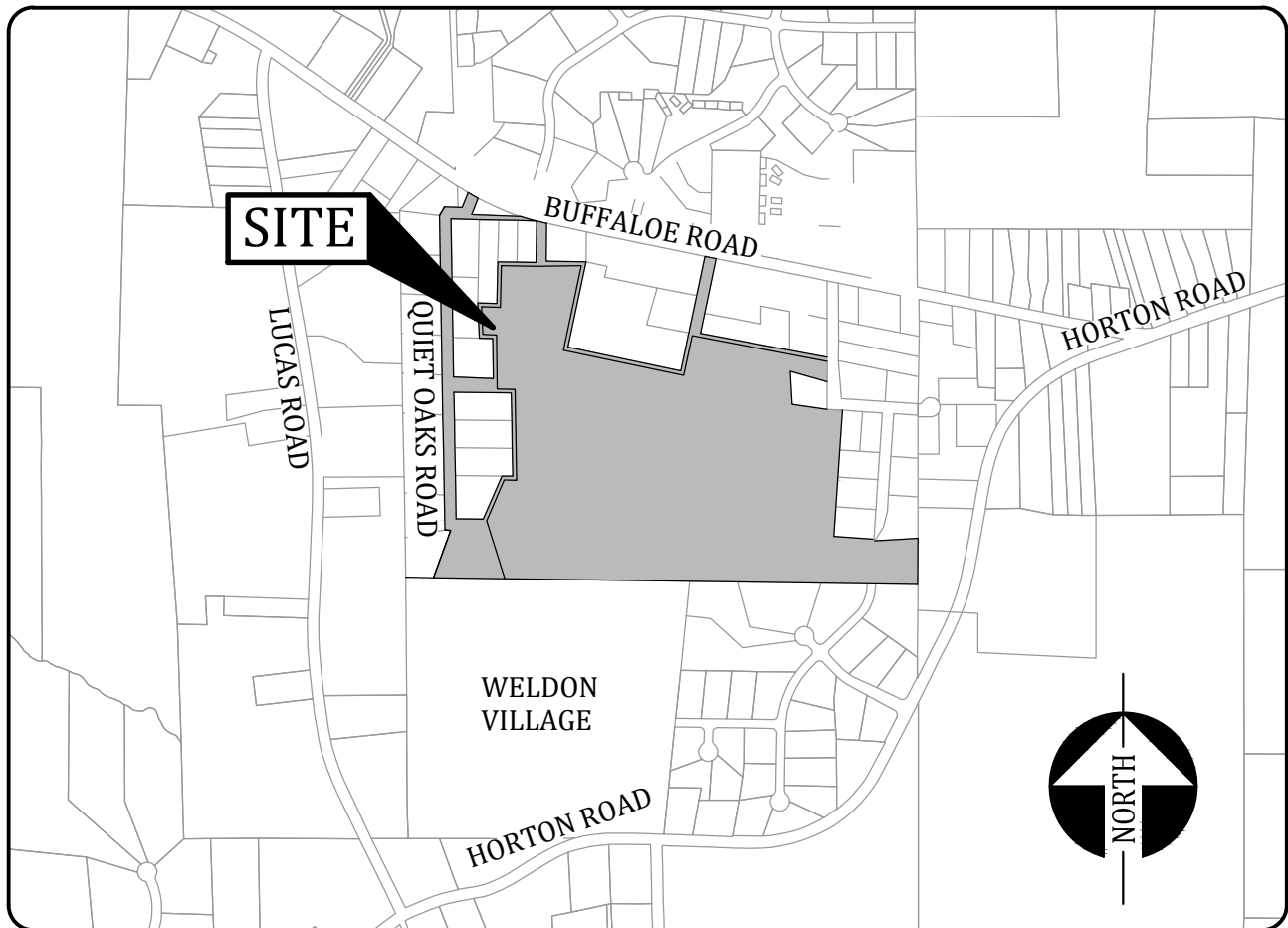


TERRAVITA

KNIGHTDALE, NC

MASTER PLAN REVIEW DRAWINGS FOR A RESIDENTIAL SUBDIVISION

Z M A - 4 - 2 3



VICINITY MAP

1"= 500'

SHEET LIST

SHEET #	SHEET TITLE
C0.00	COVER SHEET
C1.00	OVERALL EXISTING CONDITIONS ENVIRONMENTAL SURVEY PLAN
C1.01	EXISTING CONDITIONS PLAN ENLARGED AREA 1
C1.02	EXISTING CONDITIONS PLAN ENLARGED AREA 2
C1.03	EXISTING CONDITIONS PLAN ENLARGED AREA 3
C1.04	EXISTING CONDITIONS PLAN ENLARGED AREA 4
C2.00	OVERALL PRELIMINARY SITE LAYOUT PLAN
C2.01	PRELIMINARY SITE LAYOUT PLAN ENLARGED AREA 1
C2.02	PRELIMINARY SITE LAYOUT PLAN ENLARGED AREA 2
C2.03	PRELIMINARY SITE LAYOUT PLAN ENLARGED AREA 3
C2.04	PRELIMINARY SITE LAYOUT PLAN ENLARGED AREA 4
C2.10	OVERALL PRELIMINARY SITE SIGNAGE AND MARKING PLAN
C2.11	PRELIMINARY SITE SIGNAGE PLAN ENLARGED AREA 1
C2.12	PRELIMINARY SITE SIGNAGE PLAN ENLARGED AREA 2
C2.13	PRELIMINARY SITE SIGNAGE PLAN ENLARGED AREA 3
C2.14	PRELIMINARY SITE SIGNAGE PLAN ENLARGED AREA 4
C2.15	PRELIMINARY ROUNDABOUT SIGNAGE PLAN
C2.20	PRELIMINARY OPEN SPACE PLAN
C2.30	PRELIMINARY PHASING PLAN
C2.40	CONNECTIVITY INDEX EXHIBIT
C2.50	STREET SECTIONS
C3.00	PRELIMINARY OVERALL UTILITY PLAN
C3.01	PRELIMINARY UTILITY PLAN ENLARGED AREA 1
C3.02	PRELIMINARY UTILITY PLAN ENLARGED AREA 2
C3.03	PRELIMINARY UTILITY PLAN ENLARGED AREA 3
C3.04	PRELIMINARY UTILITY PLAN ENLARGED AREA 4
C4.00	PRELIMINARY STORM DRAINAGE PLAN
C5.00	PRELIMINARY POST-DEVELOPMENT STORMWATER MANAGEMENT PLAN
C6.00	SAMPLE UNITS
LS1.00	PRELIMINARY SITE LANDSCAPING PLAN
LS1.01	PRELIMINARY LANDSCAPE PLAN ENLARGED AREA 1
LS1.02	PRELIMINARY LANDSCAPE PLAN ENLARGED AREA 2
LS1.03	PRELIMINARY LANDSCAPE PLAN ENLARGED AREA 3
LS1.04	PRELIMINARY LANDSCAPE PLAN ENLARGED AREA 3
LT1.00	PRELIMINARY LIGHTING PLAN

PLANS PREPARED BY:

PRIEST, CRAVEN & ASSOCIATES, INC.

PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B COMPUTER DRIVE, SUITE 104, RALEIGH, N.C. 27609

PHONE 919 / 781-0300 FAX 919 / 782-1288

EMAIL PCA@PRIESTCRAVEN.COM FIRM#: C-0488



275 NORTH PEA RIDGE ROAD
PITTSBORO, NORTH CAROLINA 27312
PHONE: (919) 625-9760
EMAIL: CWALKER@EPGROUPONLINE.COM

GENERAL NOTES:

1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
2. THIS PLAN IS PRELIMINARY IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE PER BM2018 PG1383.
4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
5. PLANEMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, CITY OF RALEIGH, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY
8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ AND TOWN OF KNIGHTDALE.
10. WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.

RALEIGH CORPUD CONDITIONS OF APPROVAL

1. ALL WATER, SANITARY SEWER AND REUSE FACILITIES SHALL BE INSTALLED, INSPECTED, TESTED, AND ACCEPTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR OPERATIONS AND MAINTENANCE PRIOR TO 1ST CO.
2. A PETITION FOR ANNEXATION INTO THE CITY LIMITS SHALL BE SUBMITTED IN ACCORDANCE WITH CITY COUNCIL POLICY FOR EXTENSION OF UTILITY SERVICE TO PROPERTIES CURRENTLY OUTSIDE OF THE CITY LIMITS PRIOR TO PLAT RECORDATION.
3. A WATER MODEL IN COMPLIANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CD APPROVAL.
4. CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS PRIOR TO PLAT RECORDATION.
5. A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS PRIOR TO BUILDING PERMIT ISSUANCE

WATER ALLOCATION TABLE:

BASE POINTS	
MAJOR SUBDIVISION	15
CATEGORY 2 - GREEN DEVELOPMENT STANDARDS	
2A - CONSERVATION OF NATURAL HABITATE MEETING RECREATIONAL OPEN SPACE REQUIREMENTS (OPEN SPACE LOT 1009 PRESERVING EXISTING POND AND WETLANDS)	3
2B - FOUNTAIN WITHIN WET POND SCM	4
2C - IMPLEMENT AFFORDABLE KNIGHTDALE PLAN (EXPANDED HOUSING: TH/COTTAGE COURTS)	10
2C - EXCLUSIVE USE OF NATIVE LANDSCAPE SPECIES	5
CATEGORY 3 - OUTDOOR ENHANCEMENT	
3A - OUTDOOR DISPLAY OF PUBLIC ART (2 ART LOCATIONS)	8
3A - ENHANCED ROADSIDE LANDSCAPING (STREET "H")	2
CATEGORY 4 - AMENITIES	
4C - OUTDOOR DECK (AT GREENWAY & EXISTING POND)	3
4F - IPEMA CERTIFIED PLAYGROUND EQUIPMENT	4
TOTAL UDO ALLOWABLE POINTS	54

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY



VERTICAL DATUM - NAVD88
HORIZONTAL DATUM - NAD83

REVISIONS:	SUBMITTAL DATE:	11/25/2024	SHEET #
TOWN COMMENTS		1/16/2025	
TOWN COMMENTS		4/2/2025	
RELEASED FOR CONSTRUCTION DATE:			C0.00
NOT RELEASED			

PROJECT STATISTICS

PROPERTY OWNERS		SITE INVESTMENTS, LLC 933 OLD KNIGHT RD KNIGHTDALE, NC 27545 (919) 710-0669	
		12609 RICHMOND, LLC 4601 SIX FORKS RD, SUITE 400 RALEIGH, NC 27609 (919) 625-9681	

TABLE OF LAND OWNERS				TABLE C1.1		
PIN	OWNER	DEED BOOK	DEED PAGE	DEEDED ACRES	SURVEY ACRES	ZONING
1755863977	SITE INVESTMENTS LLC	19147	2336	52.99	53.00	RT
1755787080	12609 RICHMOND LLC	17274	2274	10.00	7.68	RT

PROPOSED ZONING	GR8-PUD
RIVER BASIN	NEUSE
WATERSHED	LOWER NEUSE RIVER

FEMA FLOOD PANEL	3720175500K 7/19/2022
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AREA CALCULATIONS			
GROSS SITE AREA			60.68 AC
AREA IN INTERNAL PUBLIC STREET RIGHT-OF-WAY			13.15 AC
AREA IN EXISTING ACCESS EASEMENTS/RIGHT-OF-WAYS			2.72 AC
NET SITE AREA			44.81 AC
AREA IN APPROX. 60'X120' SINGLE FAMILY RESIDENTIAL LOTS		9.67%	2.33 AC
AREA IN APPROX. 80'X120' SINGLE FAMILY RESIDENTIAL LOTS		4.68%	1.13 AC
AREA IN APPROX. 30'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS		35.59%	8.57 AC
AREA IN APPROX. 35'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS		19.86%	4.78 AC
AREA IN REAR-LOADED TOWNHOUSE LOTS		30.20%	7.27 AC
TOTAL UNITS PROPOSED	240		4.0 UN/AC
*60" SINGLE FAMILY (4 BEDROOM)		14	
*80" SINGLE FAMILY (4 BEDROOM)		5	
*30" REAR-LOADED SINGLE FAMILY (3 BEDROOM)		81	
*35" REAR-LOADED SINGLE FAMILY (3 BEDROOM)		39	
REAR-LOADED TOWNHOUSE (3 BEDROOM)		101	

*DRIVEWAYS/PARKING PADS TO BE 20" MIN. REAR LOADED/25" MIN. FRONT LOADED

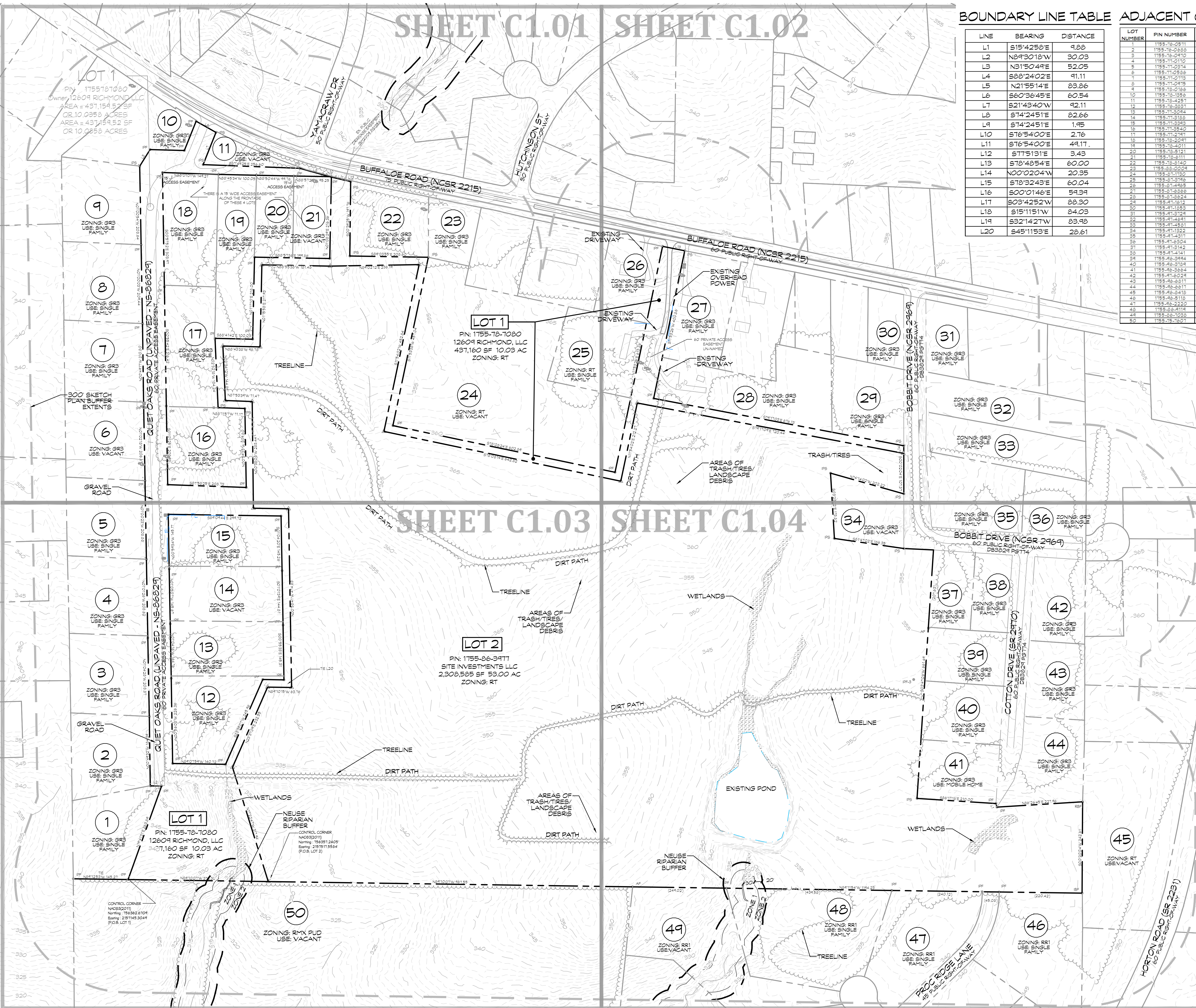
OPEN SPACE CALCULATIONS			
TOTAL NUMBER OF BEDROOMS		739	739
DEDICATION RATE (520/UNIT)	739 x 520		8.82 AC
TOTAL RECREATIONAL OPEN SPACE REQUIRED (BEFORE CREDITS)		384280	8.82 AC
CREDITS (PASSIVE OPEN SPACE)			
PARKWAY (PUB. ST. "A", 545 LF, 54' RW)	545 x 27	(14715)	(0.34) AC
TOTAL PASSIVE OPEN SPACE CREDITS		(14715)	(0.34) AC
ACTIVE RECREATIONAL SPACE REQ'D	50%		4.41 AC
PASSIVE RECREATIONAL SPACE REQ'D	50% MINUS CREDITS ABOVE		4.07 AC
ACTIVE RECREATIONAL SPACE PROVIDED			4.82 AC
PASSIVE RECREATIONAL SPACE PROVIDED			4.50 AC
TOTAL RECREATIONAL OPEN SPACE PROVIDED			9.31 AC
ADDITIONAL COMMON OPEN SPACE (DOES NOT COUNT TOWARDS REQUIREMENTS)			11.42 AC
AREA IN COMMON AREA OPEN SPACE			7.74 AC
AREA IN PRIVATE ALLEY EASEMENTS			3.68 AC

PARKING CALCULATIONS			
TOTAL PARKING REQUIRED FOR RESIDENTIAL			480 SPACES
*60" SINGLE FAMILY (4 BEDROOM)	14 UNITS	(1/BEDROOM UP TO 2)	28 SPACES
*80" SINGLE FAMILY (4 BEDROOM)	5 UNITS	(1/BEDROOM UP TO 2)	10 SPACES
*30" REAR-LOADED SINGLE FAMILY (3 BEDROOM)	81 UNITS	(1/BEDROOM UP TO 2)	162 SPACES
*35" REAR-LOADED SINGLE FAMILY (3 BEDROOM)	39 UNITS	(1/BEDROOM UP TO 2)	78 SPACES
REAR-LOADED TOWNHOUSE (3 BEDROOM)	101 UNITS	(1/BEDROOM UP TO 2)	202 SPACES
*REAR-LOADED TOWNHOUSE REQUIREMENTS ACCOUNT FOR BOTH "4UN/BLDG OR LESS", AND FOR "GREATER THAN 4UN/BLDG" SINCE THE CALCULATION IS THE SAME PER UDO 7.1.G.2			
TOTAL PARKING REQUIRED FOR MAIL KIOSK LOCATIONS			13 SPACES
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
MAIL KIOSK #2 (150 CBU)	(GREATER OF 3 OR 1/2 MAX.)		4 SPACES
MAIL KIOSK #3 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
MAIL KIOSK #4 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
TOTAL PARKING PROVIDED FOR RESIDENTIAL			758 SPACES
*60" SINGLE FAMILY (4 BEDROOM)	(2 GARAGE, 2 DRIVEWAY)		56 SPACES
*80" SINGLE FAMILY (4 BEDROOM)	(2 GARAGE, 2 DRIVEWAY)		20 SPACES
*30" REAR-LOADED SINGLE FAMILY (3 BEDROOM)	(2 GARAGE, 2 DRIVEWAY)		324 SPACES
*35" REAR-LOADED SINGLE FAMILY (3 BEDROOM)	(2 GARAGE, 2 DRIVEWAY)		156 SPACES
REAR-LOADED TOWNHOUSE (3 BEDROOM)	(1 GARAGE, 1 DRIVEWAY)		202 SPACES
TOTAL PARKING PROVIDED FOR MAIL KIOSK LOCATIONS			13 SPACES
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
MAIL KIOSK #1 (150 CBU)	(GREATER OF 3 OR 1/2 MAX.)		4 SPACES
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
*QUANTITY SHOWN INCLUDES 1 ADA ACCESSIBLE SPACE PER LOCATION			

ADDITIONAL PARKING PROVIDED			194 SPACES
ON-STREET PARALLEL PARKING			144 SPACES
VISITOR/OPEN SPACE PARKING			50 SPACES

TOTAL PARKING PROVIDED			965 SPACES
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TREE COVER CALCULATIONS			
TOTAL PERIMETER OF SITE			10,120 LF
TREE COVER AREA REQUIRED (PERIMETER x 20)			202,400 SF
TOTAL TREE COVER AREA PROVIDED		±	202,400 SF
TREE COVER AREA IN PERIMETER BUFFER/ENHANCE ROADWAY PLANTINGS		±	171,040 SF
NEUSE RIVER BUFFER AREA		±	11,370 SF
AREA ADJACENT TO EXISTING POND TO BE PLANTED/SAVED		±	19,990 SF



BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	S15°42'58"E	9.88
L2	N08°30'18"W	30.03
L3	N31°50'49"E	52.05
L4	S88°24'02"E	91.11
L5	N21°55'14"E	83.86
L6	S60°36'45"E	60.54
L7	S21°49'40"W	92.11
L8	S74°24'51"E	82.66
L9	S74°24'51"E	1.95
L10	S76°54'00"E	2.76
L11	S76°54'00"E	49.17
L12	S77°51'31"E	3.43
L13	S78°48'54"E	60.00
L14	N00°02'04"W	20.35
L15	S78°32'43"E	60.04
L16	S00°01'46"E	59.39
L17	S03°42'52"W	88.30
L18	S15°11'51"W	84.03
L19	S92°14'21"W	83.48
L20	S45°11'53"E	28.61

LOT NUMBER	PIN NUMBER	OWNER	ADDRESS	DEED BOOK	DEED PAGE
1	1755-78-2971	LOGAN, ANNE MAE LOGAN, ERNEST JR	1628 QUIET OAKS RD KNIGHTDALE NC 27845-8312	18159	219
2	1755-78-2983	HANNING, JONATHAN D	2022 13TH ST SE WASHINGTON NC 27202-2416	12384	1743
3	1755-78-2910	EDWARDS, PAUL EDWARDS, CYNTHIA S	1618 QUIET OAKS RD KNIGHTDALE NC 27845-8312	3644	238
4	1755-77-2170	BROWN, THEODORE BROWN, DEBRA A	1608 QUIET OAKS RD KNIGHTDALE NC 27845-8312	3393	452
5	1755-77-2374	BOYAL, JENNIFER S	1604 QUIET OAKS RD KNIGHTDALE NC 27845-8312	7355	785
6	1755-77-2936	PERRY, HENRY O	HAL O PERRY 471 WALDEN PARK DR APT D RALEIGH NC 27604-4021	05-E	211
7	1755-77-2173	MIGUEL, MANUEL MIGUEL, HELENA	501 PROSITY WAY ZEBULON NC 27841-5551	16471	1051
8	1755-77-2915	MONTAGUE, ELIOT MONTAGUE, CANDORA S	1509 QUIET OAKS RD KNIGHTDALE NC 27845-8310	4370	341
9	1755-78-2166	KAMEL, WAFAR KAMEL, MEDHAT	8056 REMINGTON HEIGHTS DR RALEIGH NC 27616-4919	14061	1119
10	1755-73-1956	WATSON, JOHN WILLIAM WATSON, SHIRLEY O	5720 BUFFALO RD KNIGHTDALE NC 27845-8553	11454	2522
11	1755-78-4251	BOYERS, PATRICK BOYERS, HARRY T	5709 YAMAHARA DR KNIGHTDALE NC 27845-7470	18021	261
12	1755-76-5557	COCHA, JOSE COCHA, S-RILEY B	1621 QUIET OAKS RD KNIGHTDALE NC 27845-8313	5011	502
13	1755-77-3044	KING, ALPHONSA B	1618 QUIET OAKS RD KNIGHTDALE NC 27845-8313	3394	502
14	1755-77-3130	POSTER, WILLIAM POSTER, SELMA	8032 LORELA PARK DR RALEIGH NC 27607-8006	9421	416
15	1755-77-3349	HAWKINS, TIGIE HAWKINS, PATRICIA A	1608 QUIET OAKS RD KNIGHTDALE NC 27845-8313	4934	1126
16	1755-77-3542	LEGETTE, WILLIE MCANLEY LEGETTE, CASANDRA	1601 QUIET OAKS RD KNIGHTDALE NC 27845-8313	11455	1170
17	1755-77-2167	PERRY, HENRY O	HAL O PERRY 471 WALDEN PARK DR APT D RALEIGH NC 27604-4021	05-E	211
18	1755-78-2047	WATKINS, WILEE JEAN DEWBERRY BULLY WAYNE	1508 QUIET OAKS RD KNIGHTDALE NC 27845-8311	15461	840
19	1755-78-4011	HINTON, JULIA MAE	5724 BUFFALO RD KNIGHTDALE NC 27845-8553	2524	844
20	1755-78-4252	NAP, ANGELO NAP, JERRY M	5604 COTTON DR RALEIGH NC 27604-4021	12205	275
21	1755-78-6111	ADD HOME IMPROVEMENT LLC	6008 PADUCAH DR RALEIGH NC 27610-1116	11703	2235
22	1755-78-3142	MOORE, JULEN L MOORE, MICHAEL P	G/O WILCO MOORE 1808 YAMAHARA DR KNIGHTDALE NC 27845-7472	233	202-E
23	1755-80-2024	DEWBERRY, HARRY JEAN DEWBERRY, MICHAEL P	5604 COTTON DR RALEIGH NC 27604-4021	12205	275
24	1755-81-1130	HART, ARCHULE L HART, SHARON J	5524 BUFFALO RD KNIGHTDALE NC 27845-8553	19240	1768
25	1755-81-3186	PERRY, BONNIE JONES	50 BOX 1211 KNIGHTDALE NC 27845-1211	19240	1770
26	1755-81-4885	HART, ARCHULE L HART, SHARON J	5524 BUFFALO RD KNIGHTDALE NC 27845-8553	19240	1768
27	1755-81-6366	WINSTON, SHANAE D	3015 ROSBURY RD ZEBULON NC 27841-1706	11943	2634
28	1755-81-6624	CARPENTER, DOROTHY W	5524 BUFFALO RD KNIGHTDALE NC 27845-8553	11953	1263
29	1755-81-6912	MICHELLE, Gwendolyn W	1509 QUIET OAKS RD KNIGHTDALE NC 27845-8313	1095	208
30	1755-81-1553	PERRY, BONNIE J	50 BOX 1211 KNIGHTDALE NC 27845-1211	1941	00-E
31	1755-81-3129	POST NC PROPERTIES LLC	3137 SUNCREST VILLAGE LN RALEIGH NC 27616-3362	19274	461
32	1755-81-4161	HARRIS, LINDA E	1509 QUIET OAKS RD KNIGHTDALE NC 27845-8313	09-E	44
33	1755-81-4501	PERRELL, CHARLES E PERRELL, DOROTHY	1509 QUIET OAKS RD KNIGHTDALE NC 27845-8313	2011	132
34	1755-81-3222	MICHELLE, GWENDOLYN	1509 QUIET OAKS RD KNIGHTDALE NC 27845-8313	10-E	326-9
35	1755-81-4317	HARRIS, LINDA E	1509 QUIET OAKS RD KNIGHTDALE NC 27845-8313	09-E	44
36	1755-81-6304	BOBBITT, GLADYS JONES	2313 HORTON RD KNIGHTDALE NC 27845-8342	14-E	4333
37	1755-81-3142	ARRINGTON, CHARLENE SMITH	5100 N HILLS DR RALEIGH NC 27612-4010	12302	486
38	1755-81-4141	BOBBITT, CHARLENE SMITH	2313 HORTON RD KNIGHTDALE NC 27845-8342	14-E	4333
39	1755-86-3444	BOBBITT, DOUGLAS WAYNE BOBBITT, ANN J	1609 COTTON DR KNIGHTDALE NC 27845-8600	15334	64
40	1755-86-3159	MAGEL, SERGIO QUINTO-CORVANTES, MARYLUA A	5725 WOOLF PL KNIGHTDALE NC 27845-7474	16160	1231
41	1755-86-3444	MAGEL, SERGIO QUINTO-CORVANTES, MARYLUA A	5725 WOOLF PL KNIGHTDALE NC 27845-7474	16160	1234
42	1755-81-8024	KING, MARY FRANCES HERB	1609 COTTON DR KNIGHTDALE NC 27845-8600	11-E	3261
43	1755-86-6617	BARNES, JAMES R BARNES, JANET D	1604 COTTON DR KNIGHTDALE NC 27845-8600	2223	525
44	1755-86-6617	RUBIO, LUCO G RUBIO, RAFAEL E RUBIO, NOELIA	1611 COTTON DR KNIGHTDALE NC 27845-8600	15334	71
45	1755-86-6419	ORLAND, JOHN W ORLAND, ANGELA	2204 HORTON RD KNIGHTDALE NC 27845-8564	8471	1251
46	1755-86-5119	ARRINGTON, WARREN JR	1701 PROCC RIDGE LN KNIGHTDALE NC 27845-7916	14509	1553
47	1755-86-2222	WARRIOR, MATTHEW E WARRIOR, TRACY LANE	1701 PROCC RIDGE LN KNIGHTDALE NC 27845-7916	15302	824
48	1755-86-4114	RUSCO, JOSEPH L RUSCO, MICHELLE W	4201 HORTON HILL DR KNIGHTDALE NC 27845-8185	12416	1404
49	1755-86-7059	WILLIAMS, WARMY	4548 WINTERWOOD DR RALEIGH NC 27813-5811	16040	2153
50	1755-78-1607	PERRELL, FARRIS LLC	3117 N 15TH AVE KNIGHTDALE NC 27845-8554	17019	3247

SURVEY LINETYPES


---	PROPERTY LINE	---	UPL	---	UNDERGROUND POWER
---	P/L NOT SURVEYED	---	XFO	---	FIBER OPTIC/COMMUNICATION
---	EASEMENT	---	TS	---	TRAFFIC SIGNAL
---	ADJOINER	---	XWL	---	WATERLINE
-X-	FENCE LINE	---	UT	---	UNDERGROUND TELEPHONE
-XSS-	SANITARY SEWER	---		---	100 YR FLOODPLAIN
-XST-	STORM SEWER	---		---	GUARD RAIL

SURVEY SYMBOL LEGEND

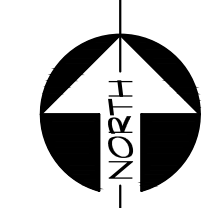
□	AC UNIT	GW	GUY WIRE	WL	WATER LINE
BFV	BACK FLOW VALVE	IV	IRRIGATION VALVE	HB	WATER LINE HOTBOX
○	BOLLARD	☆	LIGHT POLE	⊗	WATER LINE MANHOLE
□	CABLE PEDESTAL	OH	OVERHANG	⊕	WATER METER
CV	CABLE VAULT	OE	OVERHEAD ELECTRIC	⊗	WATER VALVE
□	CATCH BASIN	RCP	REINFORCED CONCRETE DRAINAGE PIPE	W	WELL
⊗	CLEAN OUT	⊗	SEWER MANHOLE	□	YARD INLET
CB	COMMUNICATION BOX	⊗	STORM MANHOLE	PROPERTY CORNERS	
□	CURB INLET	⊗	STORM JUNCTION BOX	⊗	CONC MONUMENT SET
□	ELECTRIC BOX	⊗	SWAMP	■	CONC MONUMENT FOUND
EV	ELECTRICAL VAULT	⊗	TELEPHONE PEDESTAL	●	PROP CORNER FOUND
⊗	FIRE HYDRANT	⊗	TELEPHONE MANHOLE	⊗	COMPUTED POINT
FL	FENCE LINE	⊗	TEMPORARY BENCHMARK	⊗	CONTROL CORNER
FO	FIBER OPTIC	⊗	TREE	○	IRON PIPE SET
FOV	FIBER OPTIC VAULT	⊗	UNDERGROUND ELECTRIC	⊗	IRON PIPE FOUND
⊗	FLARED END SECTION	⊗	UNDERGROUND POWER	⊗	HATCH LEGEND
G	GAS	⊗	UNDERGROUND TELEPHONE	⊗	TRASH/DEBRIS
⊗	GAS VALVE	⊗	UTILITY POLE	⊗	EXISTING RIPRAP
⊗	GRATED INLET				

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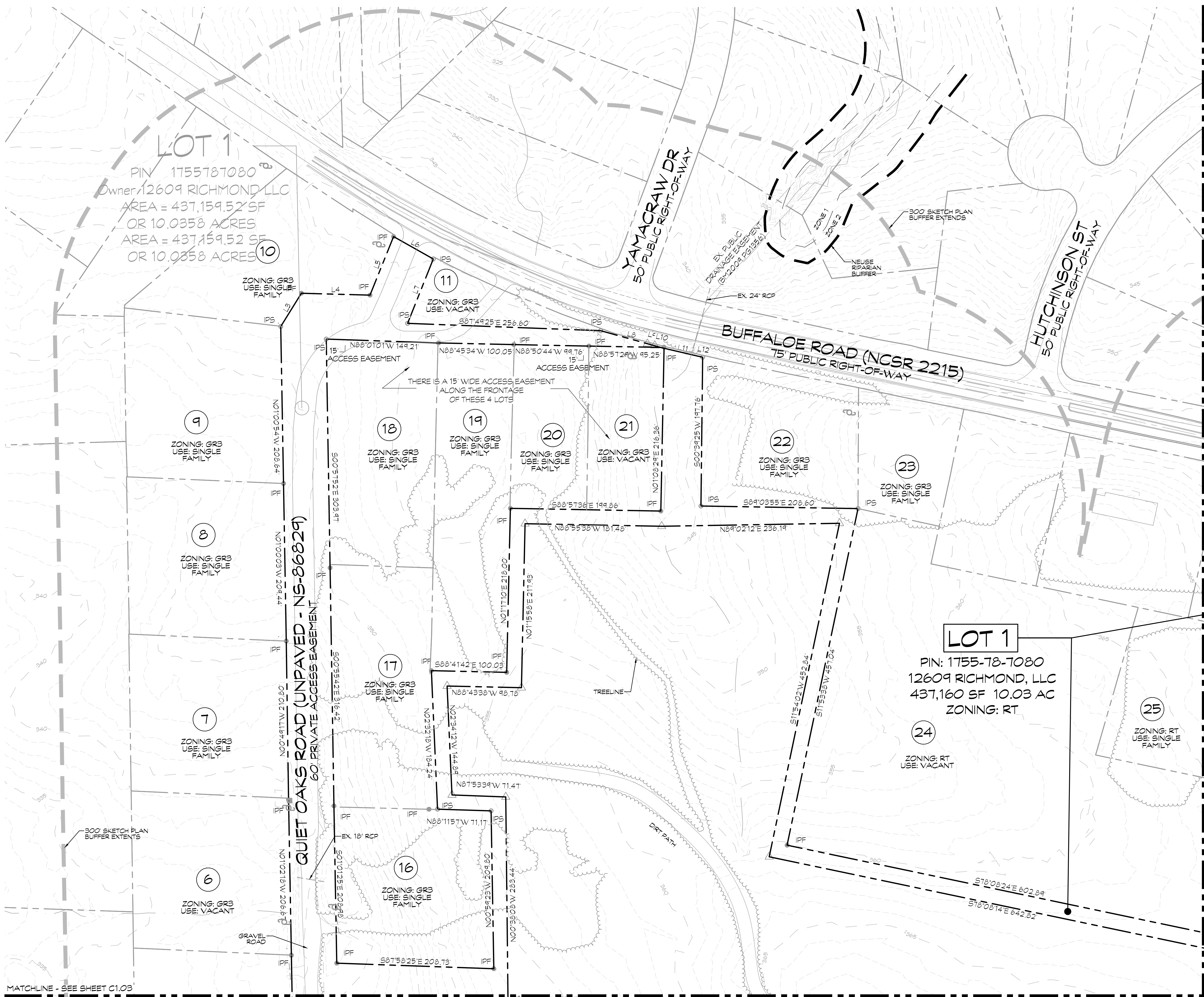
Know what's below.
Call before you dig.



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SURVEY LINETYPES

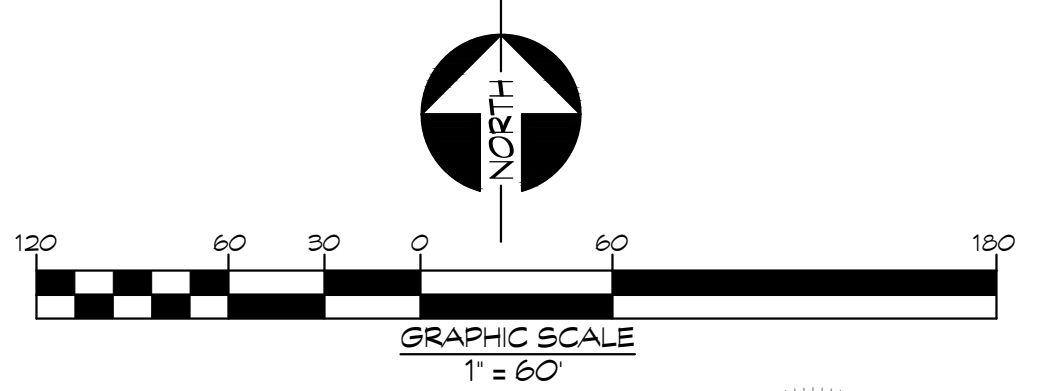
---	PROPERTY LINE
- - -	P/L NOT SURVEYED
- - - -	EASEMENT
- - - - -	ADJOINER
- x - x -	FENCE LINE
- x s s -	SANITARY SEWER
- x s t -	STORM SEWER
- u p l -	UNDERGROUND POWER
- x f o -	FIBER OPTIC/COMMUNICATION
- t s -	TRAFFIC SIGNAL
- x w l -	WATERLINE
- u t -	UNDERGROUND TELEPHONE
- - -	100 YR FLOODPLAIN
- -	GUARD RAIL

SURVEY SYMBOL LEGEND

AC UNIT	GUY WIRE	WATER LINE
BACK FLOW VALVE	IRRIGATION VALVE	WATER LINE HOTBOX
BOLLARD	LIGHT POLE	WATER LINE MANHOLE
CABLE PEDESTAL	OVERHANG	WATER METER
CABLE VAULT	OVERHEAD ELECTRIC	WATER VALVE
CATCH BASIN	REINFORCED CONCRETE DRAINAGE PIPE	WELL
CLEAN OUT	SEWER MANHOLE	YARD INLET
COMMUNICATION BOX	STORM MANHOLE	PROPERTY CORNERS
CURB INLET	STORM JUNCTION BOX	CONC MONUMENT SET
ELECTRIC BOX	SWAMP	CONC MONUMENT FOUND
ELECTRICAL VAULT	TELEPHONE PEDESTAL	PROP CORNER FOUND
FIRE HYDRANT	TELEPHONE MANHOLE	COMPUTED POINT
FENCE LINE	TEMPORARY BENCHMARK	CONTROL CORNER
FIBER OPTIC	TREE	IRON PIPE SET
FIBER OPTIC VAULT	UNDERGROUND ELECTRIC	IRON PIPE FOUND
FLARED END SECTION	UNDERGROUND POWER	HATCH LEGEND
GAS	UNDERGROUND TELEPHONE	TRASH/DEBRIS
GAS VALVE	UTILITY POLE	EXISTING RIPRAP
GRATED INLET		

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SURVEY LINETYPES

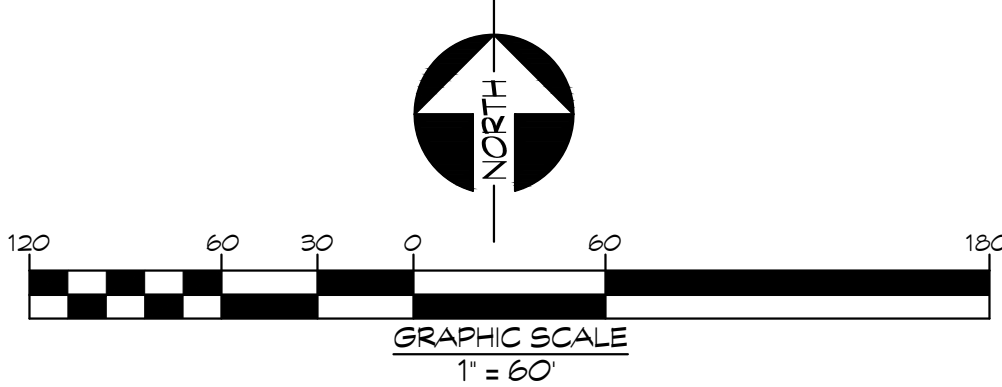
---	PROPERTY LINE
- - - -	P/L NOT SURVEYED
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- X - - - X -	FENCE LINE
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- UPL -	UNDERGROUND POWER
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- TS -	TRAFFIC SIGNAL
- XLWL -	WATERLINE
- UT -	UNDERGROUND TELEPHONE
- -	100 YR FLOODPLAIN
- O O O O -	GUARD RAIL

SURVEY SYMBOL LEGEND

AC UNIT	GUY WIRE	WL WATER LINE
BACK FLOW VALVE	IRRIGATION VALVE	WB WATER LINE HOTBOX
BOLLARD	LIGHT POLE	WM WATER LINE MANHOLE
CABLE PEDESTAL	OVERHANG	WM WATER METER
CABLE VAULT	OVERHEAD ELECTRIC	WM WATER VALVE
CATCH BASIN	REINFORCED CONCRETE DRAINAGE PIPE	W WELL
CLEAN OUT	SEWER MANHOLE	YI YARD INLET
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FIBER OPTIC	TREE	IRON PIPE SET
FIBER OPTIC VAULT	UNDERGROUND ELECTRIC	IPF IRON PIPE FOUND
FLARED END SECTION	UNDERGROUND POWER	HATCH LEGEND
GAS	UNDERGROUND TELEPHONE	TRASH/DEBRIS
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GRATED INLET		

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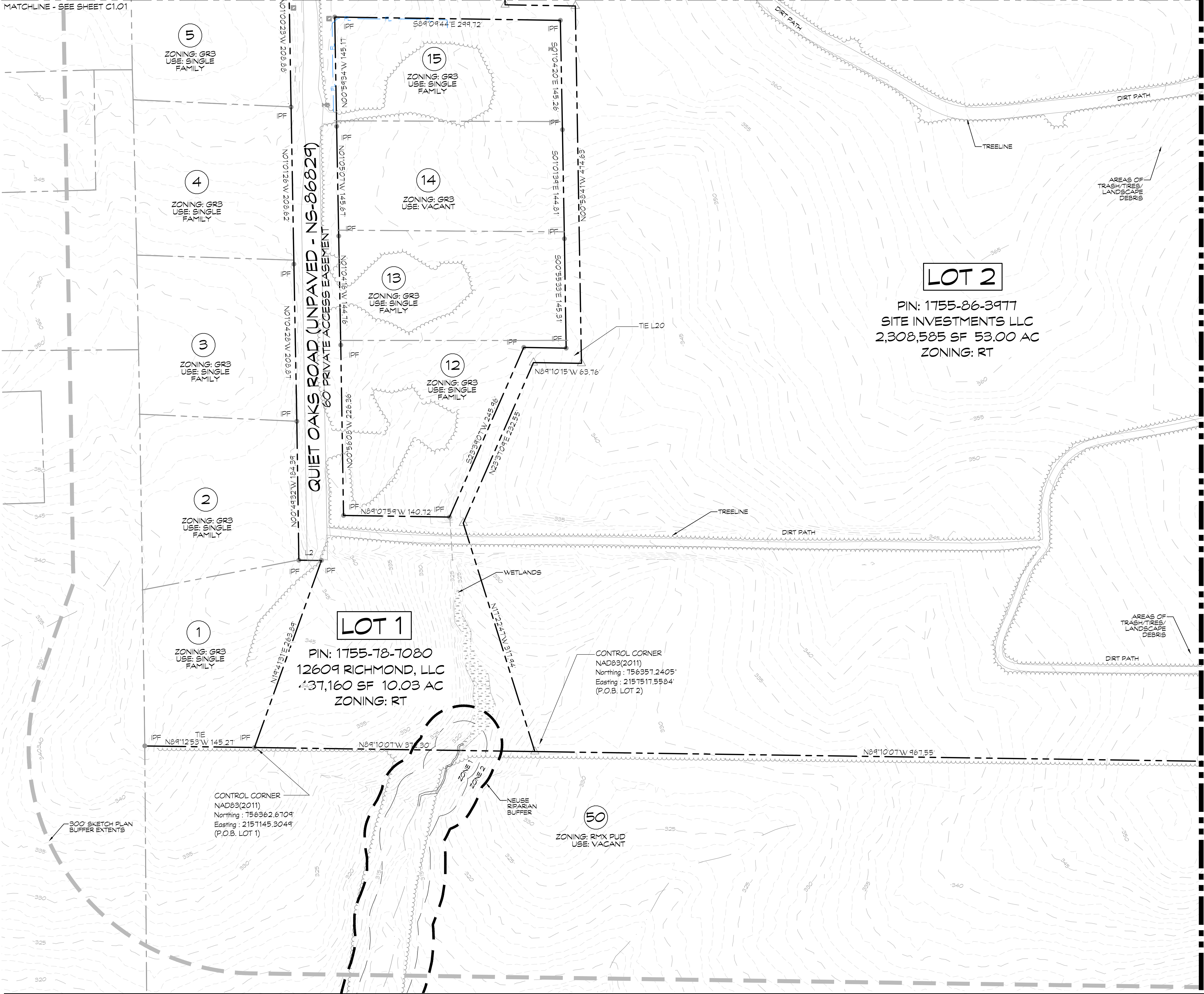


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MATCHLINE - SEE SHEET C1.01



SURVEY LINETYPES

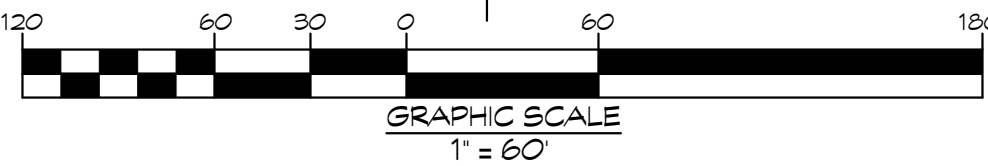
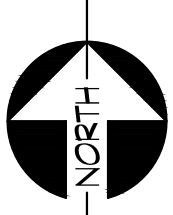
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TERRAVITA

MASTER PLAN REVIEW DRAWINGS

TOWN OF KNIGHTDALE

NORTH CAROLINA

SCALE:	1"=60'
DATE:	NOVEMBER 25, 2024
PROJECT NUMBER:	2023-002.001
CLIENT:	SITE INVESTMENTS, LLC
PLAN TYPE:	MASTER PLAN REVIEW

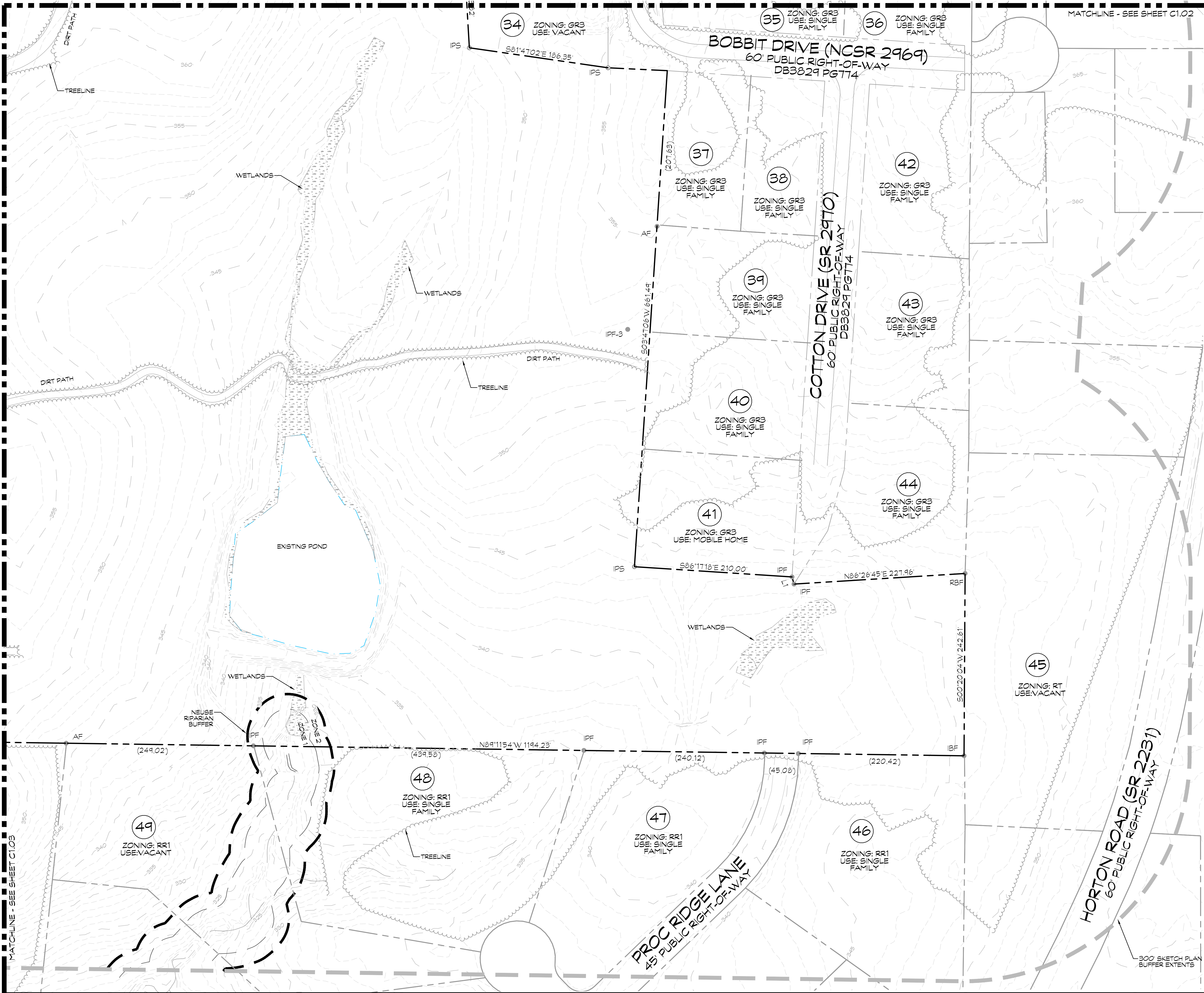
EXISTING CONDITIONS PLAN
ENLARGED AREA 3

TOWN COMMENTS	1/16/2025
TOWN COMMENTS	4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER)	NO DYES

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #
C1.03



SURVEY LINETYPES

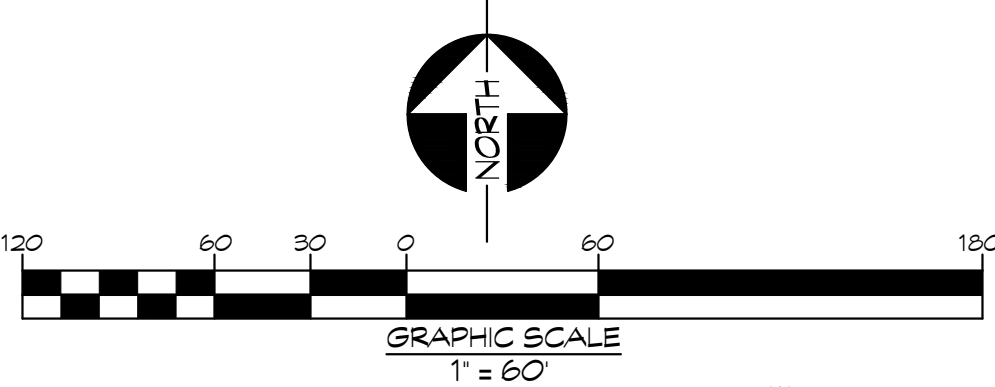
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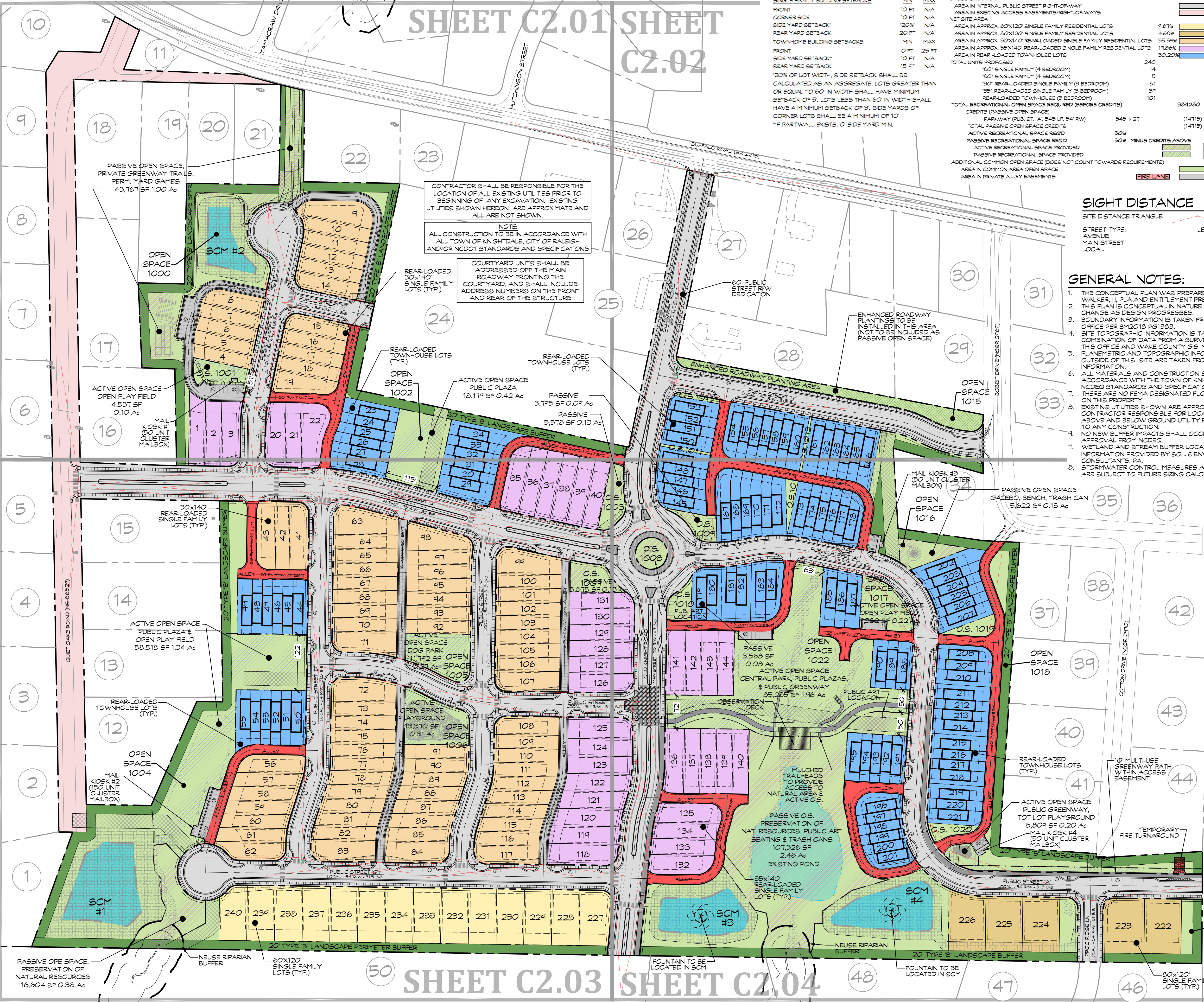
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BUILDING SETBACK TABLE

SINGLE BUILDING SETBACKS	MIN	MAX
FRONT	10 FT	N/A
CORNER SIDE	10 FT	N/A
SIDE YARD SETBACK	20 FT	N/A
REAR YARD SETBACK	20 FT	N/A
TOWNHOME BUILDING SETBACKS	MIN	MAX
FRONT	0 FT	25 FT
SIDE YARD SETBACK	10 FT	N/A
REAR YARD SETBACK	15 FT	N/A

20% OF LOT WIDTH, SIDE SETBACK SHALL BE CALCULATED AS AN AGGREGATE. LOTS GREATER THAN OR EQUAL TO 60' IN WIDTH SHALL HAVE MINIMUM SETBACK OF 5'. LOTS LESS THAN 60' IN WIDTH SHALL HAVE A MINIMUM SETBACK OF 3'. SIDE YARDS OF CORNER LOTS SHALL BE A MINIMUM OF 10' IF PARTWALL EXISTS, 0' SIDE YARD MIN.

LOT NO.	TOTAL OPEN SPACE (SF)	ACTIVE OPEN SPACE (SF)	MINIMUM ACTIVE SPACE ELEMENTS	PASSIVE OPEN SPACE (SF)	MINIMUM PASSIVE SPACE ELEMENTS	COMMON OPEN SPACE (SF)
1000	5,300	0	0	43,761	0	35,108
1001	5,300	4,537	OPEN PLAY FIELD, BENCH, TRASH CAN	0	0	763
1002	5,300	18,171	PUBLIC PLAZA	0	0	15,094
1003	5,300	0	0	0	0	0
1004	174,050	55,515	PUBLIC PLAZA & OPEN PLAY FIELD	16,604	0	145,925
1005	11,742	11,742	DOG PARK	0	0	0
1006	13,370	13,370	PLAY EQUIPMENT	0	0	0
1007	5,575	0	0	5,575	0	0
1008	3,794	0	0	3,794	0	0
1009	3,794	0	0	3,794	0	0
1010	3,794	0	0	3,794	0	0
1011	554	0	0	554	0	0
1012	410	0	0	410	0	0
1013	600	0	0	600	0	0
1014	1,656	0	0	1,656	0	0
1015	19,865	0	0	19,865	0	0
1016	2,149	0	0	2,149	0	0
1017	4,233	4,233	OPEN PLAY FIELD, 1 BENCH, 1 TRASH CAN	0	0	0
1018	41,104	8,604	PUBLIC GREENWAY, TOT LOT PLAY EQUIPMENT, 1 BENCH, 1 TRASH CAN	0	0	0
1019	2,870	0	0	2,870	0	0
1020	2,531	0	0	2,531	0	0
1021	6,662	0	0	6,662	0	0
1022	288,236	85,285	CENTRAL PARK, OPEN PLAY FIELD, PUBLIC PLAZA, GREENWAY	107,326	0	180,810
TOTALS (SF)	742,822	204,872		115,814	0	337,076
TOTALS (AC)	17.08	4.62		2.65	0	7.74

SIGHT DISTANCE



GENERAL NOTES:

- THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, P.E. AND ENTITLEMENT PRESERVATION GROUP.
- THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
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OPEN SPACE AREA TABLE

LOT NO.	TOTAL OPEN SPACE (SF)	ACTIVE OPEN SPACE (SF)	MINIMUM ACTIVE SPACE ELEMENTS	PASSIVE OPEN SPACE (SF)	MINIMUM PASSIVE SPACE ELEMENTS	COMMON OPEN SPACE (SF)
1000	5,300	0	0	43,761	0	35,108
1001	5,300	4,537	OPEN PLAY FIELD, BENCH, TRASH CAN	0	0	763
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1006	13,370	13,370	PLAY EQUIPMENT	0	0	0
1007	5,575	0	0	5,575	0	0
1008	3,794	0	0	3,794	0	0
1009	3,794	0	0	3,794	0	0
1010	3,794	0	0	3,794	0	0
1011	554	0	0	554	0	0
1012	410	0	0	410	0	0
1013	600	0	0	600	0	0
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1016	2,149	0	0	2,149	0	0
1017	4,233	4,233	OPEN PLAY FIELD, 1 BENCH, 1 TRASH CAN	0	0	0
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TOTALS (SF)	742,822	204,872		115,814	0	337,076
TOTALS (AC)	17.08	4.62		2.65	0	7.74

LOT AREA TABLE

LOT #	(AC)	(SF)	LOT #	(AC)	(SF)	LOT #	(AC)	(SF)	LOT #	(AC)	(SF)	LOT #	(AC)	(SF)
1	0.12	5,335	57	0.10	4,990	114	0.10	4,144	169	0.07	3,124	1000	1.88	81,875
2	0.11	4,906	58	0.10	4,935	115	0.10	4,155	170	0.07	3,013	1001	0.12	5,300
3	0.13	5,742	59	0.10	4,955	116	0.10	4,162	171	0.07	2,873	1002	0.16	39,238
4	0.09	3,862	60	0.10	4,982	117	0.13	5,466	172	0.09	3,965	1003	0.13	5,510
5	0.09	3,932	61	0.11	7,304	118	0.16	6,795	173	0.06	2,611	1004	4.00	174,050
6	0.09	3,990	64	0.10	4,200	119	0.13	5,745	174	0.06	2,543	1005	0.21	11,742
7	0.09	3,990	65	0.10	4,200	120	0.13	5,543	175	0.06	2,599	1006	0.31	13,370
8	0.11	4,578	66	0.10	4,200	121	0.12	5,438	176	0.06	2,611	1007	0.15	5,575
9	0.16	6,998	67	0.10	4,200	122	0.12	5,353	177	0.06	2,614	1008	0.09	3,794
10	0.10	4,390	68	0.10	4,200	123	0.12	5,318	178	0.06	2,580	1009	0.09	3,794
11	0.10	4,241	69	0.10	4,200	124	0.12	5,320	179	0.06	2,580	1010	0.06	3,565
12	0.10	4,230	70	0.10	4,200	125	0.14	6,306	180	0.09	3,710	1011	0.01	954
13	0.10	4,230	71	0.15	6,455	126	0.13	5,746	181	0.09	3,716	1012	0.02	410
14	0.12	5,033	72	0.16	6,862	127	0.11	4,900	182	0.09	3,941	1013	0.01	600
15	0.11	4,974	73	0.10	4,200	128	0.11	4,900	183	0.09	4,135	1014	0.04	1,656
16	0.10	4,170	74	0.10	4,200	129	0.11	4,900	184	0.10	4,232	1015	0.03	1,565
17	0.10	4,170	75	0.10	4,200	130	0.11	4,900	185	0.09	4,005	1016	0.06	3,565
18	0.10	4,170	76	0.10	4,200	131	0.11	4,751	186	0.06	2,611	1017	0.04	4,109
19	0.12	5,333	77	0.10	4,198	132	0.12	5,413	187	0.09	3,712	1018	0.01	2,870
20	0.13	5,774	78	0.10	4,175	133	0.11	4,884	188	0.06	2,611	1019	0.01	954
21	0.11	4,865	79	0.10	4,148	134	0.11	4,947	189	0.05	2,288	1020	0.06	3,565
22	0.16	6,800	80	0.10	4,144	135	0.14	5,903	190	0.06	3,328	1021	0.22	9,862
23	0.09	3,840	81	0.10	4,150	136	0.14	5,935	191	0.07	3,208	1022	6.62	288,236
24	0.06	2,641	82	0.10	4,184	137	0.11	4,900	192	0.05	2,288			
25	0.06	2,644	83	0.15	6,446	138	0.11	4,900	193	0.01	3,002			
26	0.06	2,765	84	0.14	6,308	139	0.11	4,900	194	0.05	2,174			
27	0.06	2,741	85	0.10	4,184	140	0.11	4,900	195	0.05	2,112			
28	0.10	4,274	86	0.10	4,153	141	0.13	5,870	196	0.05	2,100			
29	0.12	5,323	87	0.10	4,148	142	0.11	4,900	197	0.05	2,111			
30	0.06	2,618	88	0.10	4,148	143	0.11	4,900	198	0.07	3,228			
31	0.06	2,618	89	0.10	4,168	144	0.11	4,900	199	0.11	4,740			
32	0.06	2,618	90	0.10	4,195	145	0.08	3,377	200	0.06	2,801			
33	0.06	2,686	91	0.10	4,200	146	0.06	2,416	201	0.06	2,565			
34	0.10	4,531	92	0.10	4,200	147	0.06	2,416	202	0.06	2,523			
35	0.13	5,562	93	0.10	4,200	148	0.06	2,428	203	0.06	2,555			
36	0.12	5,178	94	0.10	4,200	149	0.08	3,556	204	0.06	2,565			
37	0.12	5,178	95	0.10	4,200	150	0.08	3,534	205	0.22	9,522			
38	0.12	5,178	96	0.10	4,200	151	0.06	2,417	206	0.06	2,555			
39	0.12	5,178	97	0.10	4,216	152	0.06	2,403	207	0.04	3,845			
40	0.13	5,871	98	0.15	6,474	153	0.08	3,460	208	0.22	9,528			
41	0.10	4,400	99	0.15	6,755	154	0.08	3,668	209	0.23	9,901			
42	0.13	5,834	100	0.10	4,200	155	0.06	2,640	210	0.18	8,038			
43	0.09	3,760	101	0.10	4,200	156	0.06	2,640	211	0.11	7,228			
44	0.06	2,596	102	0.10	4,200	157	0.06	2,640	212	0.17	7,291			
45	0.06	2,596	103	0.10	4,200	158	0.06	2,640	213	0.17	7,166			
46	0.06	2,596	104	0.10	4,200	159	0.06	2,640	214	0.17	7,207			
47	0.06	2,596	105	0.10	4,200	160	0.04	3,840	215	0.17	7,188			
48	0.09	3,774	106	0.10	4,200	161	0.04	3,840	216	0.17	7,215			
49	0.09	3,760	107	0.14	6,028	162	0.06	2,640	217	0.17	7,214			
50	0.06	2,596	108	0.13	5,466	163	0.06	2,640	218	0.17	7,213			
51	0.06	2,596	109	0.10	4,200	164	0.06	2,640	219	0.17	7,212			
52	0.06	2,596	110	0.10	4,200	165	0.06	2,643	220	0.17	7,211			
53	0.06	2,602	111	0.10	4,191	166	0.04	4,084	221	0.17	7,210			
54	0.09	4,034	112	0.10	4,165	167	0.12	5,012	222	0.17	7,207			
55	0.12	5,341	113	0.10	4,148	168	0.06	3,368	223	0.16	6,791			



NOT FOR CONSTRUCTION FOR REVIEW ONLY

TERRAVITA
MASTER PLAN REVIEW DRAWINGS

SCALE: 1"=100'
DATE: NOVEMBER 25, 2024
PROJECT NUMBER: 2023-002.001
CLIENT: SITE INVESTMENTS, LLC
PLAN TYPE: MASTER PLAN REVIEW

OVERALL PRELIMINARY SITE LAYOUT PLAN

TOWN COMMENTS: 1/16/2025
TOWN COMMENTS: 4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER) NO TIES

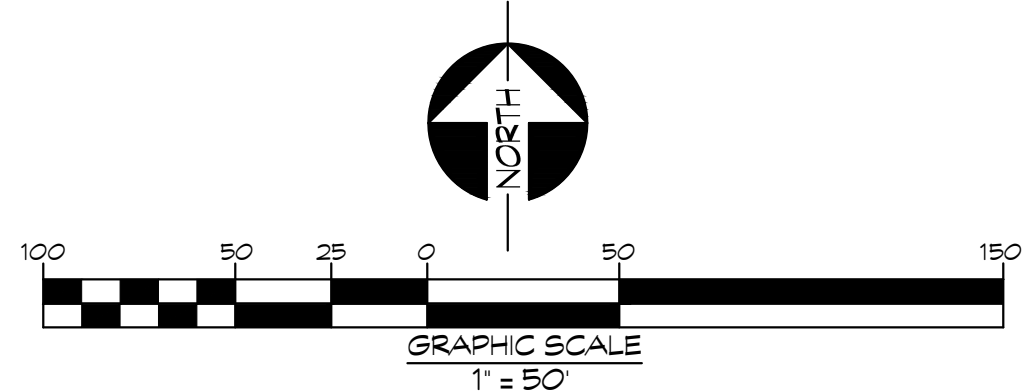
PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, NC 27609. Phone 919 / 781-0300. Fax 919 / 782-1288. Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #
C2.00



HATCH LEGEND:	
	INTERNAL PUBLIC STREET RIGHT-OF-WAY
	PUBLIC STREET RIGHT-OF-WAY DEDICATION
	EXISTING ACCESS EASMENT
	60X120 SINGLE FAMILY RESIDENTIAL LOT
	80X120 SINGLE FAMILY RESIDENTIAL LOT
	30X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
	35X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
	REAR-LOADED TOWNHOUSE LOT
	ACTIVE RECREATIONAL OPEN SPACE
	PASSIVE RECREATIONAL OPEN SPACE
	COMMON OPEN SPACE
	PRIVATE ALLEY EASEMENT (FIRE LANE)
	PRIVATE ALLEY EASEMENT
	ENHANCED ROADSIDE PLANTED AREA
	20' TYPE 'B' LANDSCAPE BUFFER
	STORMWATER CONTROL MEASURE
	STORMWATER MAINTENANCE & ACCESS EASEMENT
	DRAINAGE EASEMENT
	CORPLD PUBLIC SEWER EASEMENT

- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
 2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
 3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
 4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
 5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
 6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
 7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
 8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
 9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
 10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
 11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



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NOTE:
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FOR REVIEW
ONLY

MATCHLINE - SEE SHEET C2.01

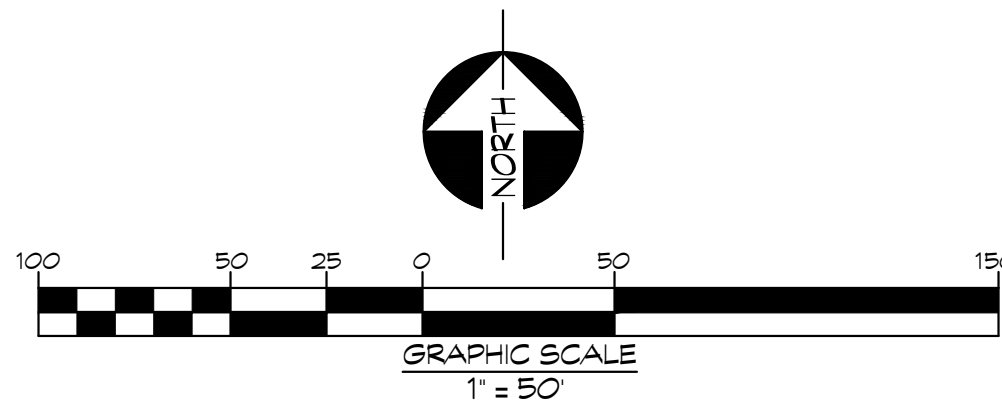


HATCH LEGEND:

	INTERNAL PUBLIC STREET RIGHT-OF-WAY
	PUBLIC STREET RIGHT-OF-WAY DEDICATION
	EXISTING ACCESS EASEMENT
	60X120 SINGLE FAMILY RESIDENTIAL LOT
	80X120 SINGLE FAMILY RESIDENTIAL LOT
	30X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
	35X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
	REAR-LOADED TOWNHOUSE LOT
	ACTIVE RECREATIONAL OPEN SPACE
	PASSIVE RECREATIONAL OPEN SPACE
	COMMON OPEN SPACE
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	STORMWATER CONTROL MEASURE
	STORMWATER MAINTENANCE & ACCESS EASEMENT
	DRAINAGE EASEMENT
	CORPUTD PUBLIC SEWER EASEMENT

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CONSTRUCTION
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TERRAVITA

MASTER PLAN REVIEW DRAWINGS

TOWN OF KNIGHTDALE

NORTH CAROLINA

SCALE:	1"=50'
DATE:	NOVEMBER 25, 2024
PROJECT NUMBER:	2023-002.001
CLIENT:	SITE INVESTMENTS, LLC
PLAN TYPE:	MASTER PLAN REVIEW

PRELIMINARY SITE LAYOUT PLAN ENLARGED AREA 2

TOWN COMMENTS	1/16/2025
TOWN COMMENTS	4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER)	NO DYES

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #
C2.02

MATCHLINE - SEE SHEET C2.01

- 5
ZONING: GR3
USE: SINGLE
FAMILY
- 4
ZONING: GR3
USE: SINGLE
FAMILY
- 3
ZONING: GR3
USE: SINGLE
FAMILY
- 2
ZONING: GR3
USE: SINGLE
FAMILY
- 1
ZONING: GR3
USE: SINGLE
FAMILY

QUIET OAKS ROAD (NS-86829)

15
ZONING: GR3
USE: SINGLE
FAMILY

30X140
REAR-LOADED
SINGLE FAMILY
LOTS (TYP.)

14
ZONING: GR3
USE: VACANT

ACTIVE OPEN SPACE
PUBLIC PLAZA &
OPEN PLAY FIELD
58,518 SF 1.34 Ac

13
ZONING: GR3
USE: SINGLE
FAMILY

COURTYARD UNITS SHALL BE
ADDRESSED OFF THE MAIN
ROADWAY FRONTING THE
COURTYARD, AND SHALL INCLUDE
ADDRESS NUMBERS ON THE FRONT
AND REAR OF THE STRUCTURE

12
ZONING: GR3
USE: SINGLE
FAMILY

OPEN
SPACE
1004

MAIL
KIOSK #2
(150 UNIT
CLUSTER
MAILBOX)

SCM 1

NEUSE RIPARIAN
BUFFER

50
ZONING: RMX PUD
USE: VACANT

60X120
SINGLE FAMILY
LOTS (TYP.)

60X120
SINGLE FAMILY
LOTS (TYP.)

20' TYPE 'B' LANDSCAPE BUFFER

20' TYPE 'B' LANDSCAPE BUFFER

PUBLIC STREET 'G'
LOCAL - 54' R/W - 31.5' B-B

PUBLIC STREET 'D'
LOCAL - 54' R/W - 31.5' B-B

PUBLIC STREET 'F'
LOCAL - 54' R/W - 31.5' B-B

ACTIVE OPEN SPACE
DOG PARK
11,742 SF
0.27 Ac

ACTIVE OPEN SPACE
PLAYGROUND
13,370 SF
0.31 Ac

OPEN SPACE
1005

OPEN SPACE
1006

MOUNTABLE
ISLANDS
(TYP.)

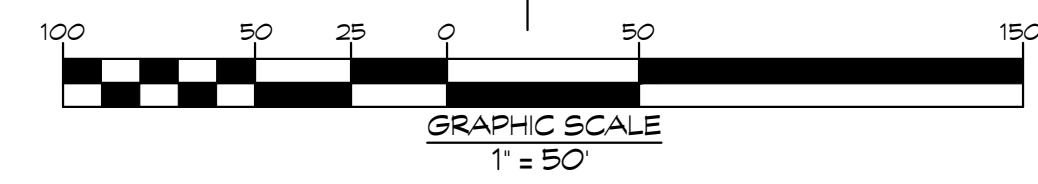
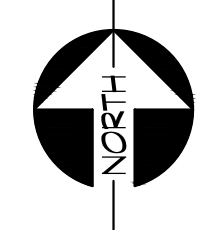
REAR-LOADED
35X140'
SINGLE FAMILY
LOTS (TYP.)

HATCH LEGEND:

- INTERNAL PUBLIC STREET RIGHT-OF-WAY
PUBLIC STREET RIGHT-OF-WAY DEDICATION
EXISTING ACCESS EASEMENT
60X120' SINGLE FAMILY RESIDENTIAL LOT
80X120' SINGLE FAMILY RESIDENTIAL LOT
30X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
35X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
REAR-LOADED TOWNHOUSE LOT
ACTIVE RECREATIONAL OPEN SPACE
PASSIVE RECREATIONAL OPEN SPACE
COMMON OPEN SPACE
PRIVATE ALLEY EASEMENT (FIRE LANE)
PRIVATE ALLEY EASEMENT
ENHANCED ROADSIDE PLANTED AREA
20' TYPE 'B' LANDSCAPE BUFFER
STORMWATER CONTROL MEASURE
STORMWATER MAINTENANCE & ACCESS EASEMENT
DRAINAGE EASEMENT
CORPUS PUBLIC SEWER EASEMENT

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NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

TERRAVITA
MASTER PLAN REVIEW DRAWINGS

TOWN OF KNIGHTDALE

NORTH CAROLINA

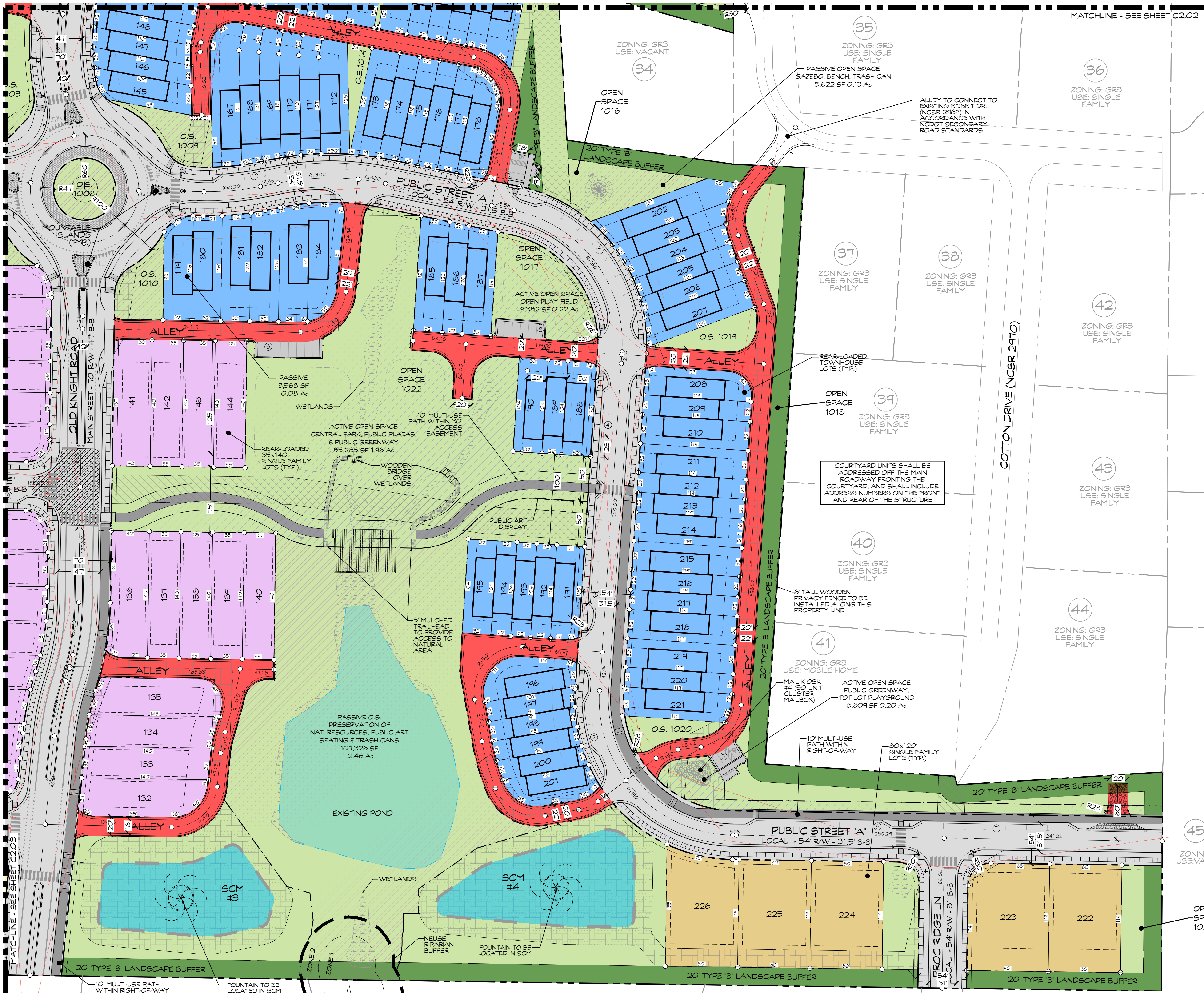
SCALE: 1"=50'
DATE: NOVEMBER 25, 2024
PROJECT NUMBER: 2023-002.001
CLIENT: SITE INVESTMENTS, LLC
PLAN TYPE: MASTER PLAN REVIEW

**PRELIMINARY SITE LAYOUT PLAN
ENLARGED AREA 3**

TOWN COMMENTS: 1/16/2025
TOWN COMMENTS: 4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER) NO DYES

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 • Phone 919 / 781-0300, Fax 919 / 782-1288, Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #
C2.03



HATCH LEGEND:

[Hatch Pattern]	INTERNAL PUBLIC STREET RIGHT-OF-WAY
[Hatch Pattern]	PUBLIC STREET RIGHT-OF-WAY DEDICATION
[Hatch Pattern]	EXISTING ACCESS EASEMENT
[Hatch Pattern]	60X120 SINGLE FAMILY RESIDENTIAL LOT
[Hatch Pattern]	80X120 SINGLE FAMILY RESIDENTIAL LOT
[Hatch Pattern]	30X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatch Pattern]	35X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatch Pattern]	REAR-LOADED TOWNHOUSE LOT
[Hatch Pattern]	ACTIVE RECREATIONAL OPEN SPACE
[Hatch Pattern]	PASSIVE RECREATIONAL OPEN SPACE
[Hatch Pattern]	COMMON OPEN SPACE
[Hatch Pattern]	PRIVATE ALLEY EASEMENT (FIRE LANE)
[Hatch Pattern]	PRIVATE ALLEY EASEMENT
[Hatch Pattern]	ENHANCED ROADSIDE PLANTED AREA
[Hatch Pattern]	20' TYPE 'B' LANDSCAPE BUFFER
[Hatch Pattern]	STORMWATER CONTROL MEASURE
[Hatch Pattern]	STORMWATER MAINTENANCE & ACCESS EASEMENT
[Hatch Pattern]	DRAINAGE EASEMENT
[Hatch Pattern]	CORPUS PUBLIC SEWER EASEMENT

- GENERAL NOTES:**
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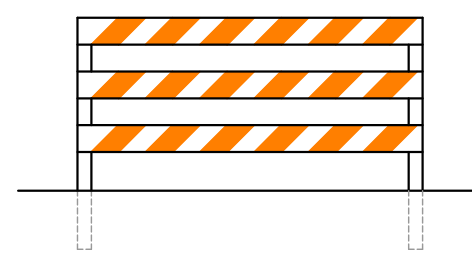

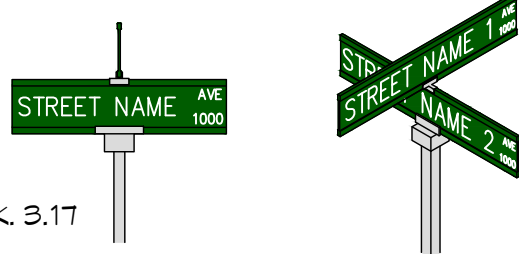
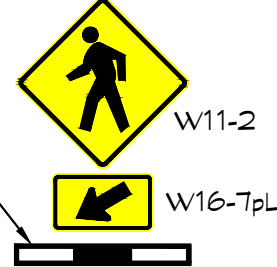
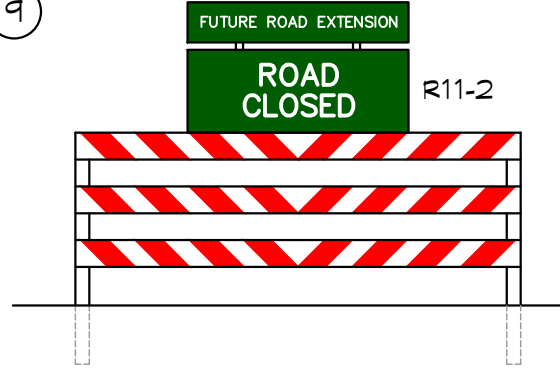
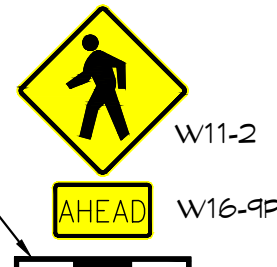
NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

SHEET C2.11

SHEET C2.12

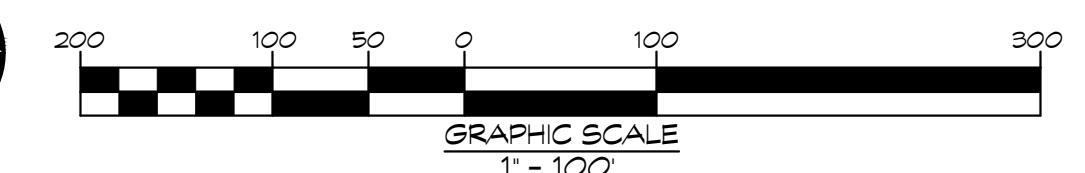
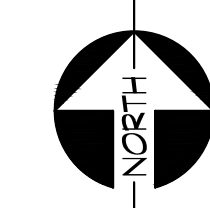


SIGN LEGEND:

<p>①</p>  <p>R1-1</p> <p>R1-3P (TO BE USED ONLY AT ALL WAY INTERSECTIONS AS INDICATED ON PLAN)</p>	<p>⑦</p>  <p>R7-8A (TO BE USED WITH SPACES INDICATED AS VAN ACCESSIBLE)</p> <p>R7-8E</p>
<p>②</p>  <p>R1-2</p>	<p>⑧</p>  <p>TYPE III BARRICADE PER MUTCD 6F-7</p>
<p>③</p>  <p>R2-1</p>	
<p>④</p>  <p>PER T.O.K. 3.17</p>	
<p>⑤</p>  <p>W11-2</p> <p>W16-7PL</p> <p>RECTANGULAR RAPID FLASHING BEACON (RRFB) WHERE SHOWN ON PLAN</p>	<p>⑨</p>  <p>R11-2</p> <p>TEMPORARY BARRICADE FOR DEAD END ROADS PER T.O.K. STD. DETAIL 3.18</p>
<p>⑥</p>  <p>W11-2</p> <p>W16-9P</p> <p>RECTANGULAR RAPID FLASHING BEACON (RRFB) WHERE SHOWN ON PLAN</p>	

SIGNAGE AND MARKING NOTES:

1. THE DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL STREET IDENTIFICATION (NAME) AND REGULATORY SIGNS. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR STRIPING ON ALL PUBLIC STREETS CONSTRUCTED WITH DEVELOPMENT AS FOLLOWS:
 - STOP BARS AND CROSSWALKS - ALL STREETS - PER DETAIL 4.06
 - CONTINUOUS CENTERLINE STRIPING - DOUBLE YELLOW LINE ON CATEGORY TWO AND CATEGORY THREE STREETS.
 - PARKING STALLS - WHERE APPLICABLE (ON-STREET).
2. ALL PAVEMENT MARKINGS INCLUDING TRAFFIC CONTROL, STOP BARS FIRE LANES AND CROSS WALKS SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL LETTERINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 40 MIL THICK. PARKING STALL STRIPING IN A PRIVATE PARKING LOT IS EXEMPT FROM USE OF THERMOPLASTICS, THE THERMOPLASTIC STRIPING TYPE OF MARKING MATERIAL SHALL BE APPLIED BY FUSING TO THE PAVEMENT SURFACE BY APPLICATION OF HEAT. MATERIALS SHALL COMPLY FULLY WITH THE REQUIREMENTS SET FORTH IN SECTION 1087 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDDOT. APPLICATION OF SYMBOLS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN SECTION 1205 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDDOT FOR PERMANENT MARKING.
3. STREET IDENTIFICATION SIGNS SHALL IDENTIFY ALL STREETS AT EACH INTERSECTION. SUCH SIGNS SHALL BE COSTAINING SHEETS, SIX (6) INCHES BY 24 INCHES THICK AND LENGTH AS NEEDED TO HAVE A TWO (2) INCH MARGIN BEFORE AND AFTER THE LETTERING. THE BACKGROUND SHALL BE REFLECTORIZED GREEN MEETING THE REQUIREMENTS SET FORTH IN SECTION 1049B THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDDOT. STREET NAME LETTERING SHALL BE WHITE, UPPER CASE, BLOCK LETTERS FOUR (4) INCHES IN HEIGHT. STREET CLASSIFICATION (I.E. STREET, AVENUE, ETC.) SHALL BE WHITE, UPPER CASE BLOCK LETTERING, TWO (2) INCHES IN HEIGHT. STREET SIGNS SHALL BE MOUNTED AT A NOMINAL HEIGHT OF SIX (6) FEET ABOVE GRADE. THE SIGN SHALL COMPLY WITH THE TOWN OF KNIGHTDALE STANDARD DETAIL 3.16 AND 17.
4. REGULATORY SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY MODIFICATIONS THERETO ESTABLISHED BY NCDDOT. MATERIALS SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 1049C OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDDOT. THE LOCATION AND TYPES OF REGULATORY SIGNS SHALL BE INDICATED ON THE CONSTRUCTION DRAWINGS.
5. ALL SIGNS SHALL BE MOUNTED ON A GALVANIZED STEEL SQUARE TUBE POST WITH A MINIMUM 14 GAUGE STEEL AS SPECIFIED IN SECTION 1094 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES.
6. REFER TO TOWN OF KNIGHTDALE DETAILS 3.16 & 3.17 FOR TYPICAL STREET SIGN LOCATIONS AND INFORMATION.
7. TWO STREET NAME MARKERS ARE REQUIRED IF THE MAJOR STREET HAS 3 OR MORE LANES.
8. ALL STREET NAME SIGNS ARE SUBJECT TO APPROVAL BY THE TOWN. BLOCK NUMBERS SHALL BE PROVIDED ON SIGNS AND CORRESPOND TO OFFICIALLY APPROVED ADDRESSES.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOT FOR
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ONLY

SHEET #
C2.10

TERRAVITA
MASTER PLAN REVIEW DRAWINGS

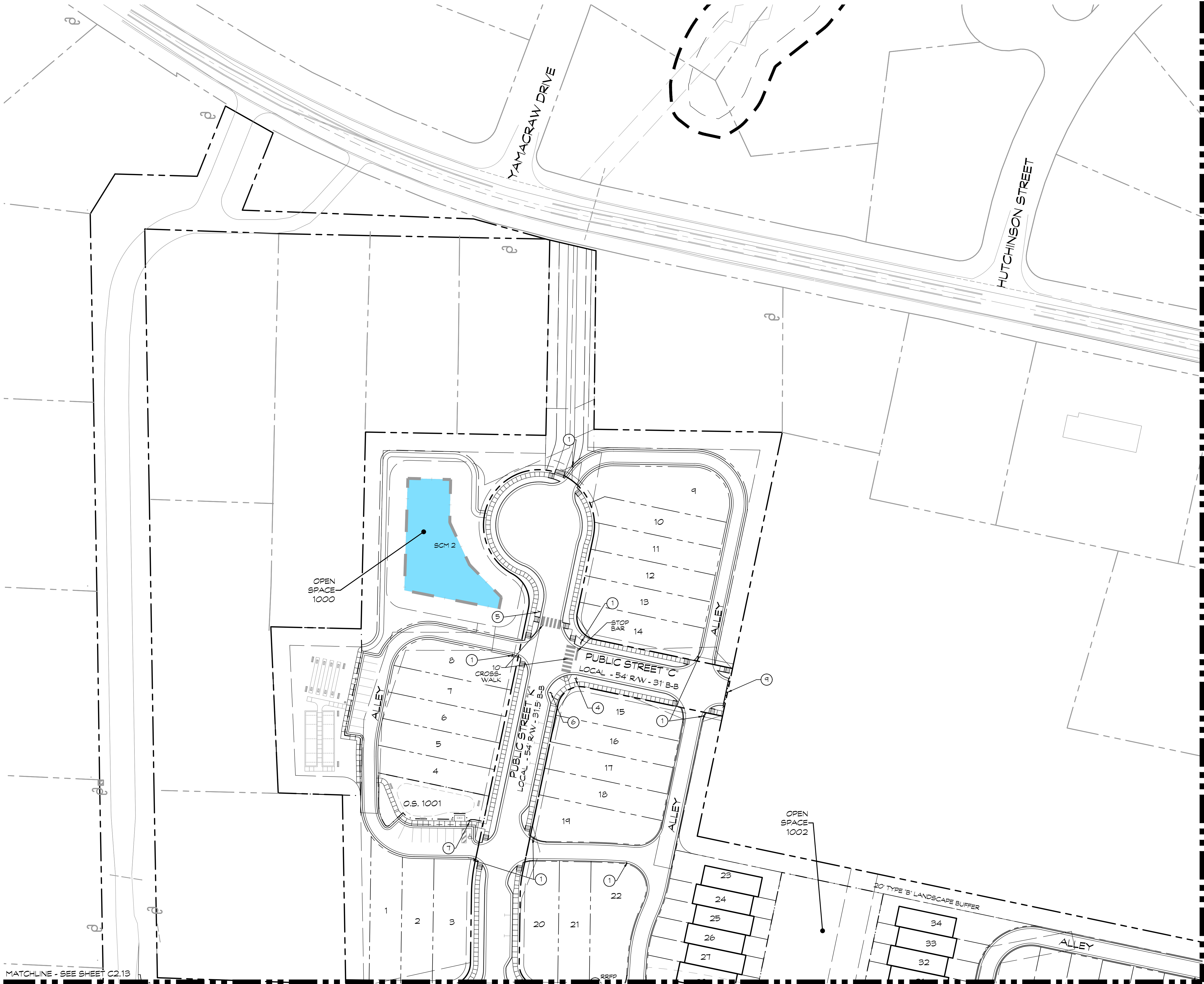
NORTH CAROLINA

SCALE:	1"=100'
DATE:	NOVEMBER 25, 2024
PROJECT NUMBER:	2023-002.001
CLIENT:	SITE INVESTMENTS, LLC
PLAN TYPE:	MASTER PLAN REVIEW

OVERALL PRELIMINARY SITE SIGNAGE AND MARKING PLAN

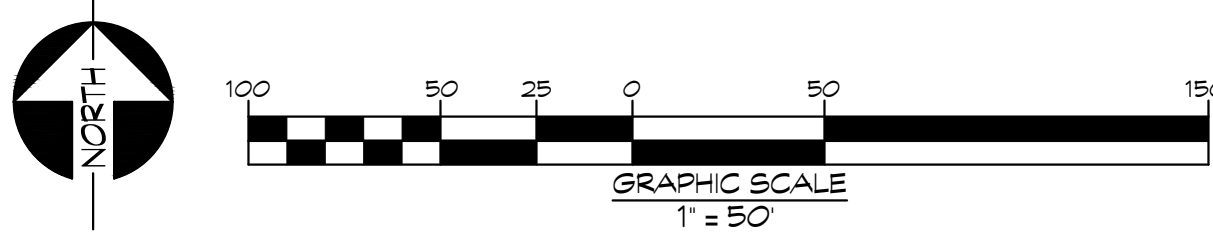
TOWN COMMENTS	1/16/2025
TOWN COMMENTS	4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER)	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488



SIGN LEGEND:	
① R1-1 R1-3P TO BE USED ONLY AT ALL WAY INTERSECTIONS AS INDICATED ON PLAN	⑦ R7-8A (TO BE USED WITH SPACES INDICATED AS VAN ACCESSIBLE) R7-8E
② R1-2	⑧ TYPE III BARRICADE PER MUTCD 6F-7
③ R2-1	⑨ R11-2 TEMPORARY BARRICADE FOR DEAD END ROADS PER T.O.K. STD. DETAIL 3.18
④ STREET NAME Ave 100 PER T.O.K. 3.17	
⑤ RECTANGULAR RAPID FLASHING BEACON (RRFB) WHERE SHOWN ON PLAN W11-2 W16-7pL	
⑥ RECTANGULAR RAPID FLASHING BEACON (RRFB) WHERE SHOWN ON PLAN W11-2 W16-9p	

- SIGNAGE AND MARKING NOTES:**
- THE DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL STREET IDENTIFICATION (NAME) AND REGULATORY SIGNS. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR STRIPING ON ALL PUBLIC STREETS CONSTRUCTED WITH DEVELOPMENT AS FOLLOWS:
 - STOP BARS AND CROSSWALKS - ALL STREETS - PER DETAIL 4.06
 - CONTINUOUS CENTERLINE STRIPING - DOUBLE YELLOW LINE ON CATEGORY TWO AND CATEGORY THREE STREETS.
 - PARKING STALLS - WHERE APPLICABLE (ON-STREET).
 - ALL PAVEMENT MARKINGS INCLUDING TRAFFIC CONTROL, STOP BARS FIRE LANES AND CROSS WALKS SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL MARKINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 90 MIL THICK. PARKING STALL STRIPING IN A PRIVATE PARKING LOT IS EXEMPT FROM USE OF THERMOPLASTICS. THE THERMOPLASTIC STRIPING TYPE OF MARKING MATERIAL SHALL BE APPLIED BY FUSING TO THE PAVEMENT SURFACE BY APPLICATION OF HEAT. MATERIALS SHALL COMPLY FULLY WITH THE REQUIREMENTS SET FORTH IN SECTION 1087 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. APPLICATION OF MARKINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN SECTION 1205 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT FOR PERMANENT MARKING.
 - STREET IDENTIFICATION SIGNS SHALL IDENTIFY ALL STREETS AT EACH INTERSECTION. SUCH SIGNS SHALL BE CONSTRUCTED OF ALUMINUM SHEETS, SIX (6) INCH HIGH, 0.063 INCH THICK AND LENGTH AS NEEDED TO HAVE A TWO (2) INCH MARGIN BEFORE AND AFTER THE LETTERING. THE BACKGROUND SHALL BE REFLECTORIZED GREEN MEETING THE REQUIREMENTS SET FORTH IN SECTION 1093 THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. STREET NAME LETTERING SHALL BE WHITE, UPPER CASE, BLOCK LETTERS FOUR (4) INCHES IN HEIGHT. STREET CLASSIFICATION (I.E. STREET, AVENUE, ETC.) SHALL BE WHITE, UPPER CASE BLOCK LETTERING, TWO (2) INCHES IN HEIGHT. STREET SIGNS SHALL BE MOUNTED AT A NOMINAL HEIGHT OF EIGHT (8) FEET ABOVE GRADE. THE SIGN SHALL COMPLY WITH THE TOWN OF KNIGHTDALE STANDARD DETAIL 3.16 AND 17.
 - REGULATORY SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY MODIFICATIONS THERETO ESTABLISHED BY NCDOT. MATERIALS SHALL MEET THE REQUIREMENTS SET FORTH IN SECTIONS 1012 AND 1013 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. THE LOCATION AND TYPES OF REGULATORY SIGNS SHALL BE INDICATED ON THE CONSTRUCTION DRAWINGS.
 - ALL SIGNS SHALL BE MOUNTED ON A GALVANIZED STEEL SQUARE TUBE POST WITH A MINIMUM 14 GAUGE STEEL AS SPECIFIED IN SECTION 1094 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES.
 - REFER TO TOWN OF KNIGHTDALE DETAILS 3.16 & 3.17 FOR TYPICAL STREET SIGN LOCATIONS AND INFORMATION.
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CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

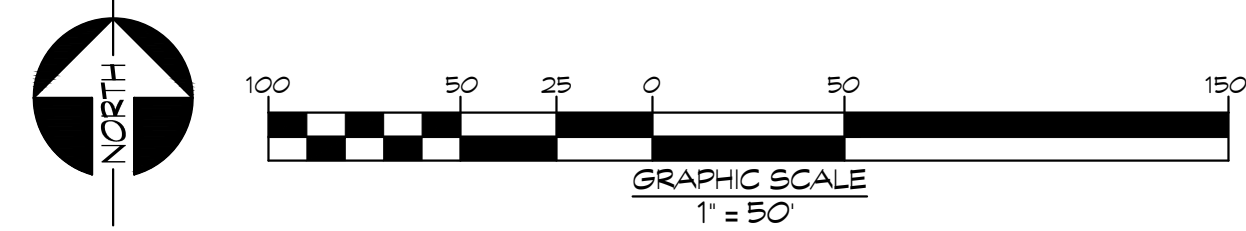
NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY



SIGN LEGEND:	
① R1-1 R1-3P (TO BE USED ONLY AT ALL WAY INTERSECTIONS AS INDICATED ON PLAN)	⑦ R7-8A (TO BE USED WITH SPACES INDICATED AS VAN ACCESSIBLE) R7-8E MAXIMUM PENALTY \$250
② R1-2	⑧ TYPE III BARRICADE PER MUTCD 6F.7
③ R2-1	⑨ R11-2 FUTURE ROAD EXTENSION ROAD CLOSED TEMPORARY BARRICADE FOR DEAD END ROADS PER T.O.K. STD. DETAIL 3.18
④ STREET NAME 1 STREET NAME 2 PER T.O.K. 3.17	
⑤ RECTANGULAR RAPID FLASHING BEACON (RRFB) WHERE SHOWN ON PLAN W11-2 W16-7pL	
⑥ RECTANGULAR RAPID FLASHING BEACON (RRFB) WHERE SHOWN ON PLAN W11-2 W16-9P	

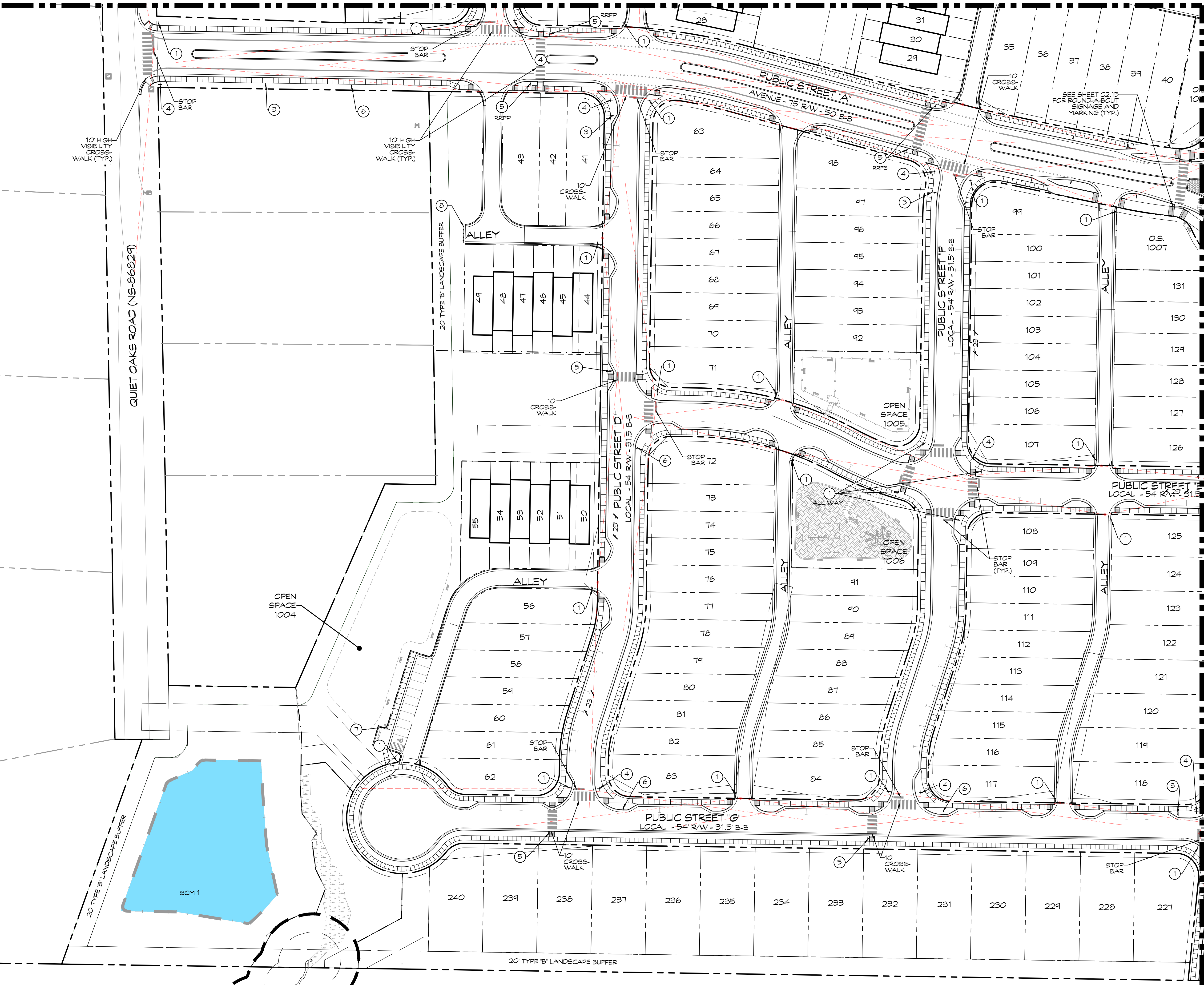
- SIGNAGE AND MARKING NOTES:**
- THE DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL STREET IDENTIFICATION (NAME) AND REGULATORY SIGNS. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR STRIPING ON ALL PUBLIC STREETS CONSTRUCTED WITH DEVELOPMENT AS FOLLOWS:
 - STOP BARS AND CROSSWALKS - ALL STREETS - PER DETAIL 4.06
 - CONTINUOUS CENTERLINE STRIPING - DOUBLE YELLOW LINE ON CATEGORY TWO AND CATEGORY THREE STREETS.
 - PARKING STALLS - WHERE APPLICABLE (ON-STREET).
 - ALL PAVEMENT MARKINGS INCLUDING TRAFFIC CONTROL, STOP BARS FIRE LANES AND CROSS WALKS SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL MARKINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 90 MIL THICK. PARKING STALL STRIPING IN A PRIVATE PARKING LOT IS EXEMPT FROM USE OF THERMOPLASTICS. THE THERMOPLASTIC STRIPING TYPE OF MARKING MATERIAL SHALL BE APPLIED BY FUSING TO THE PAVEMENT SURFACE BY APPLICATION OF HEAT. MATERIALS SHALL COMPLY FULLY WITH THE REQUIREMENTS SET FORTH IN SECTION 1087 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. APPLICATION OF MARKINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN SECTION 1205 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT FOR PERMANENT MARKING.
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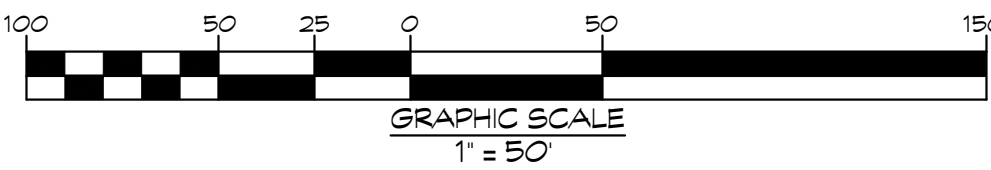
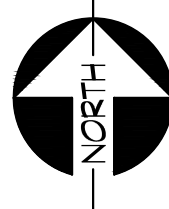


SIGN LEGEND:

①	 R1-1 STOP R1-3P TO BE USED ONLY AT ALL WAY INTERSECTIONS AS INDICATED ON PLAN	⑦	 R7-8A (TO BE USED WITH SPACES INDICATED AS VAN ACCESSIBLE) R7-8E
②	 R1-2	⑧	 TYPE III BARRICADE PER MUTCD 6F.7
③	 R2-1 SPEED LIMIT 25	⑨	 R11-2 FUTURE ROAD EXTENSION ROAD CLOSED
④	 R2-2 STREET NAME PER T.O.K. 3.17		
⑤	 RRFB RECTANGULAR RAPID FLASHING BEACON (RRFB) WHERE SHOWN ON PLAN		
⑥	 RRFB RECTANGULAR RAPID FLASHING BEACON (RRFB) WHERE SHOWN ON PLAN		

SIGNAGE AND MARKING NOTES:

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 - STOP BARS AND CROSSWALKS - ALL STREETS - PER DETAIL 4.06
 - CONTINUOUS CENTERLINE STRIPING - DOUBLE YELLOW LINE ON CATEGORY TWO AND CATEGORY THREE STREETS.
 - PARKING STALLS - WHERE APPLICABLE (ON-STREET).
- ALL PAVEMENT MARKINGS INCLUDING TRAFFIC CONTROL, STOP BARS FIRE LANES AND CROSS WALKS SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL MARKINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 90 MIL THICK. PARKING STALL STRIPING IN A PRIVATE PARKING LOT IS EXEMPT FROM USE OF THERMOPLASTICS. THE THERMOPLASTIC STRIPING TYPE OF MARKING MATERIAL SHALL BE APPLIED BY FUSING TO THE PAVEMENT SURFACE BY APPLICATION OF HEAT. MATERIALS SHALL COMPLY FULLY WITH THE REQUIREMENTS SET FORTH IN SECTION 1087 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. APPLICATION OF MARKINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN SECTION 1205 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT FOR PERMANENT MARKING.
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- REGULATORY SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY MODIFICATIONS THERETO ESTABLISHED BY NCDOT. MATERIALS SHALL MEET THE REQUIREMENTS SET FORTH IN SECTIONS 1092 AND 1093 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. THE LOCATION AND TYPES OF REGULATORY SIGNS SHALL BE INDICATED ON THE CONSTRUCTION DRAWINGS.
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TERRAVITA

MASTER PLAN REVIEW DRAWINGS

TOWN OF KNIGHTDALE

NORTH CAROLINA

SCALE:	1"=100'
DATE:	NOVEMBER 25, 2024
PROJECT NUMBER:	2023-002.001
CLIENT:	SITE INVESTMENTS, LLC
PLAN TYPE:	MASTER PLAN REVIEW

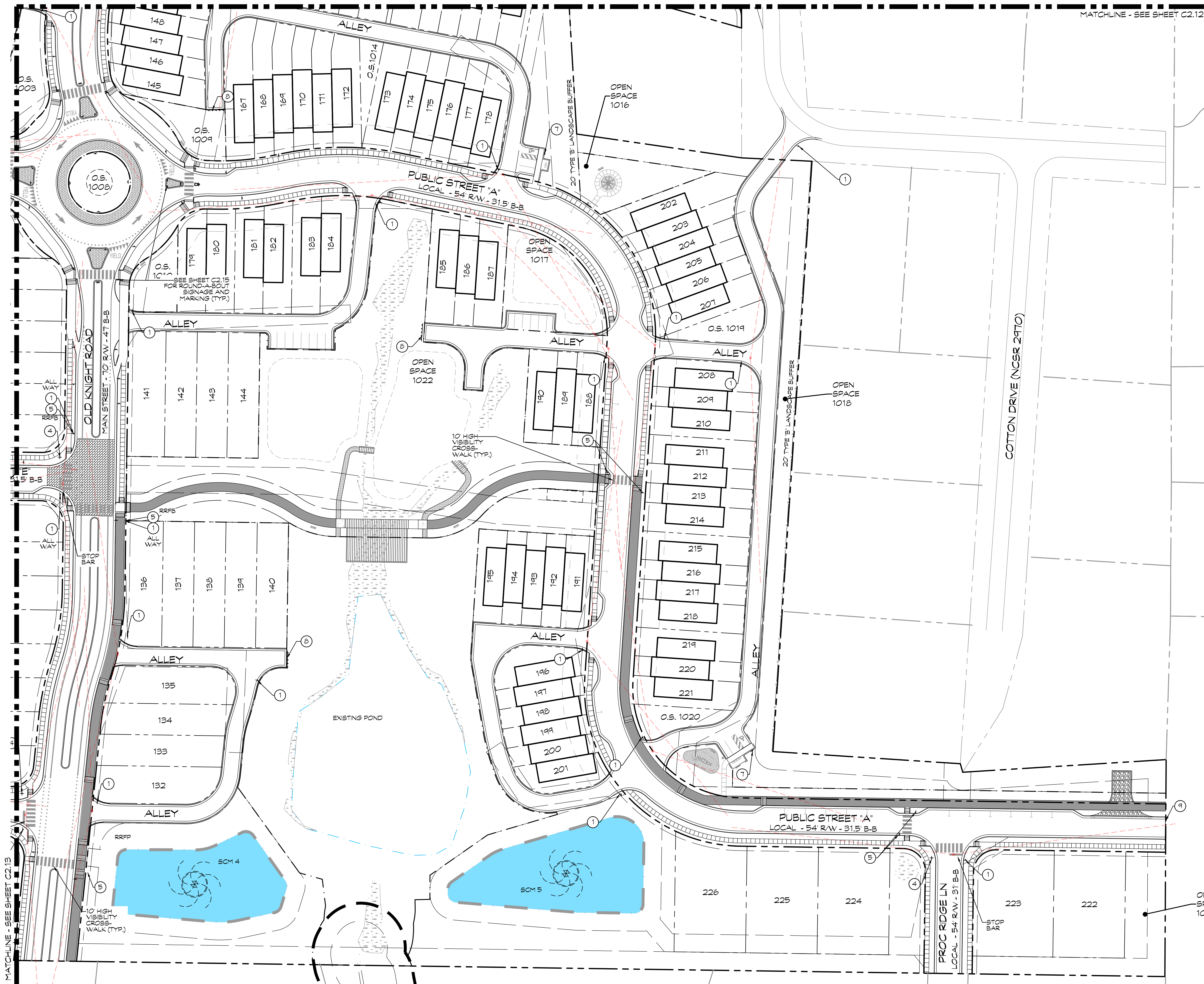
PRELIMINARY SITE SIGNAGE PLAN
ENLARGED AREA 3

TOWN COMMENTS	1/16/2025
TOWN COMMENTS	4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER)	NO DYES

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 782-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

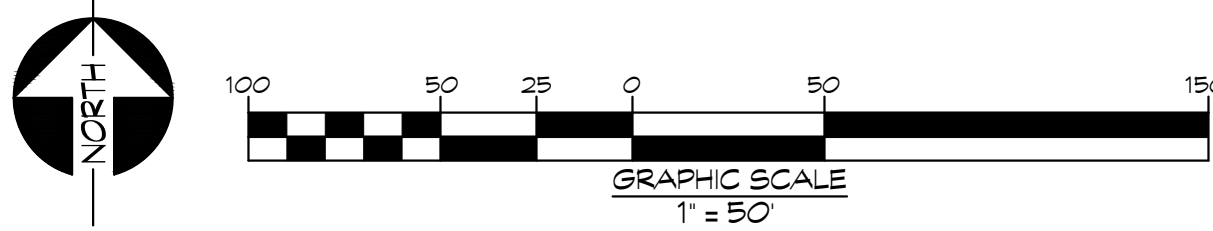
SHEET #
C2.13



SIGN LEGEND:				
①	<p>R1-1 R1-3P (TO BE USED ONLY AT ALL WAY INTERSECTIONS AS INDICATED ON PLAN)</p>		⑦	<p>RT-8A (TO BE USED WITH SPACES INDICATED AS VAN ACCESSIBLE)</p> <p>RT-8E</p>
②	<p>R1-2</p>		⑧	
③	<p>R2-1</p>		⑨	<p>R11-2</p>
④	<p>PER T.O.K. 3.17</p>			TYPE III BARRICADE PER MUTCD 6F-7
⑤	<p>W11-2 W16-7p</p>			
⑥	<p>W11-2 W16-9p</p>			TEMPORARY BARRICADE FOR DEAD END ROADS PER T.O.K. STD. DETAIL 3.18

SIGNAGE AND MARKING NOTES:

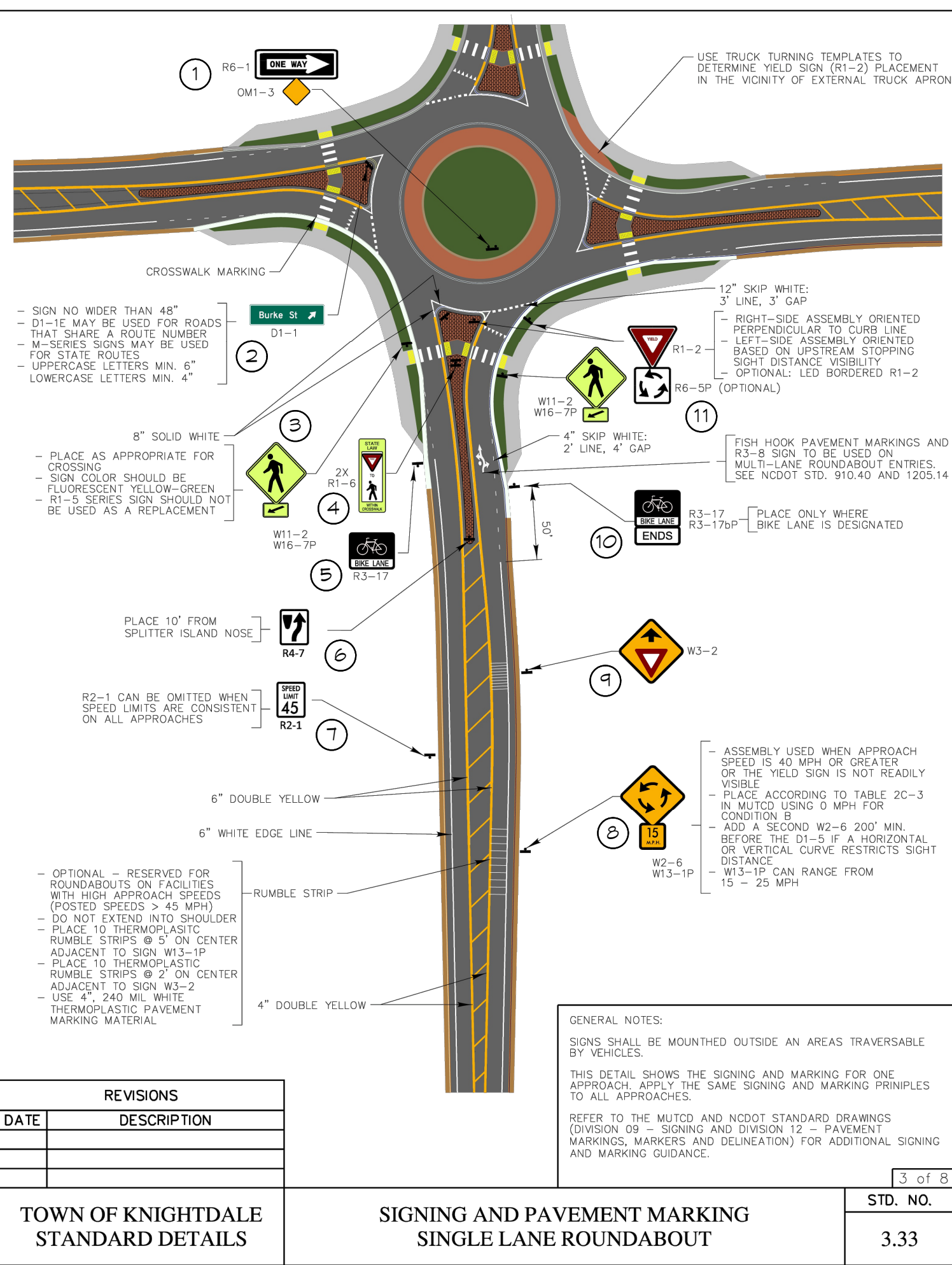
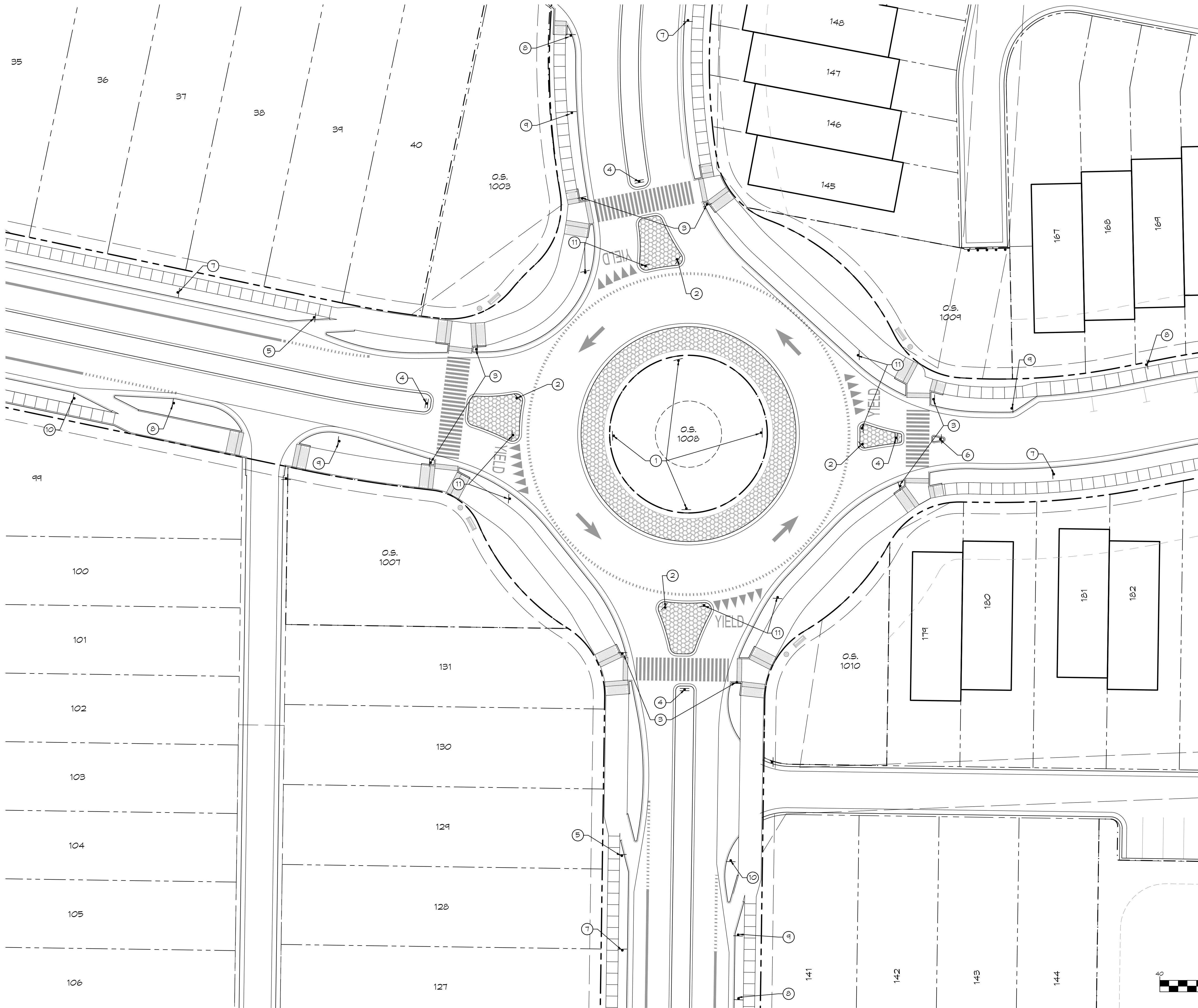
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- TWO STREET NAME MARKERS ARE REQUIRED IF THE MAJOR STREET HAS 3 OR MORE LANES.
- ALL STREET NAME SIGNS ARE SUBJECT TO APPROVAL BY THE TOWN. BLOCK NUMBERS SHALL BE PROVIDED ON SIGNS AND CORRESPOND TO OFFICIALLY APPROVED ADDRESSES.

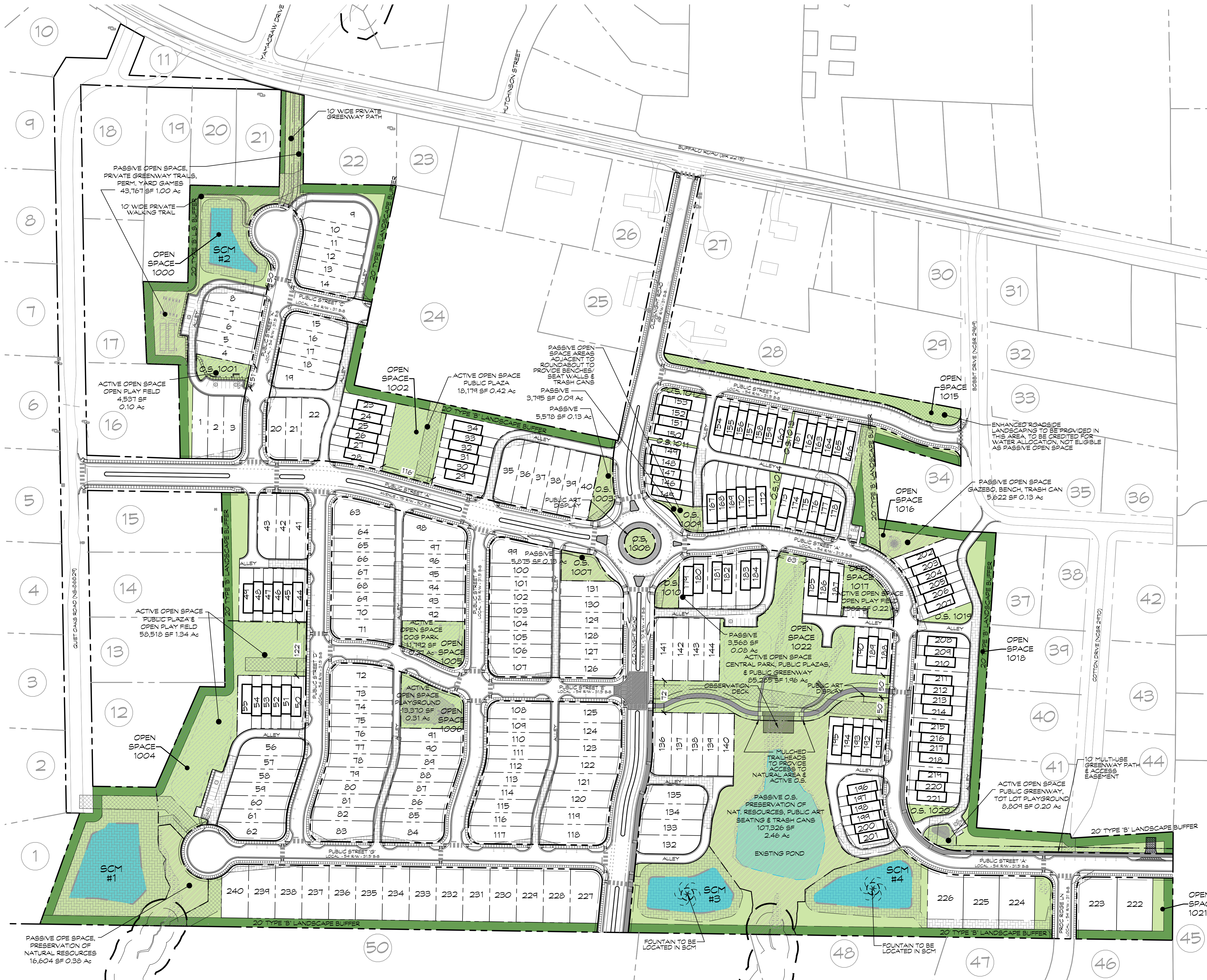


CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

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OPEN SPACE AREA TABLE

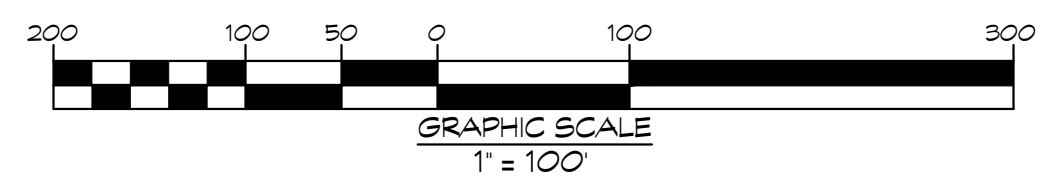
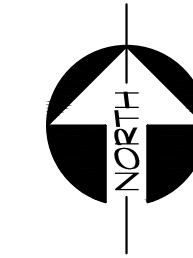
LOT NO.	TOTAL OPEN SPACE AREA (SF)	ACTIVE OPEN SPACE AREA (SF)	MINIMUM ACTIVE SPACE ELEMENTS	OPEN	PASSIVE OPEN SPACE AREA (SF)	MINIMUM PASSIVE SPACE ELEMENTS	OPEN	COMMON OPEN SPACE AREA (SF)
1000	81,875	0			43,767	PRIVATE GREENWAY, BENCH, TRASH CAN PERM. LAWN GAMES		38,108
1001	5,300	4,591	OPEN PLAY FIELD, BENCH, TRASH CAN		0			769
1002	33,236	18,174	PUBLIC PLAZA		0			15,064
1003	5,518	0			5,518	1 BENCH/SEATWALL, 1 TRASH CAN		0
1004	174,020	53,810	PUBLIC PLAZA & OPEN PLAY FIELD		16,624	PRESERVATION OF NATURAL RESOURCES		46,196
1005	11,742	11,742	DOG PARK		0			0
1006	13,510	13,510	PLAY EQUIPMENT		0			0
1007	5,575	0			5,575	1 BENCH/SEATWALL, 1 TRASH CAN		0
1008	3,134	0			3,134	PUBLIC ART DISPLAY		0
1009	3,135	0			3,135	1 BENCH/SEATWALL, 1 TRASH CAN		0
1010	3,360	0			3,360	1 BENCH/SEATWALL, 1 TRASH CAN		0
1011	554	0			0			554
1012	410	0			0			410
1013	600	0			0			600
1014	1,666	0			0			1,666
1015	15,265	0			0			15,265
1016	21,416	0			5,622	GAZEBO, 1 BENCH, 1 TRASH CAN		21,704
1017	4,233	9,302	OPEN PLAY FIELD, 1 BENCH, 1 TRASH CAN		0			1,441
1018	41,104	8,809	PUBLIC GREENWAY, TOT LOT PLAY EQUIPMENT, 1 BENCH, 1 TRASH CAN		0			32,300
1019	2,870	0			0			2,870
1020	2,531	0			0			2,531
1021	4,662	0			0			4,662
1022	286,236	85,285	CENTRAL PARK, OPEN PLAY FIELD, PUBLIC PLAZA, GREENWAY		107,336	PRESERVATION OF NAT. RESOURCES, PUB. ART, OBSERVATION DECK, 2 BENCHES, 2 TRASH CANS		19,625
TOTALS (SF)	142,822	204,812			198,674			337,076
TOTALS (AC)	17.25	4.82			4.50			7.74

OPEN SPACE CALCULATIONS

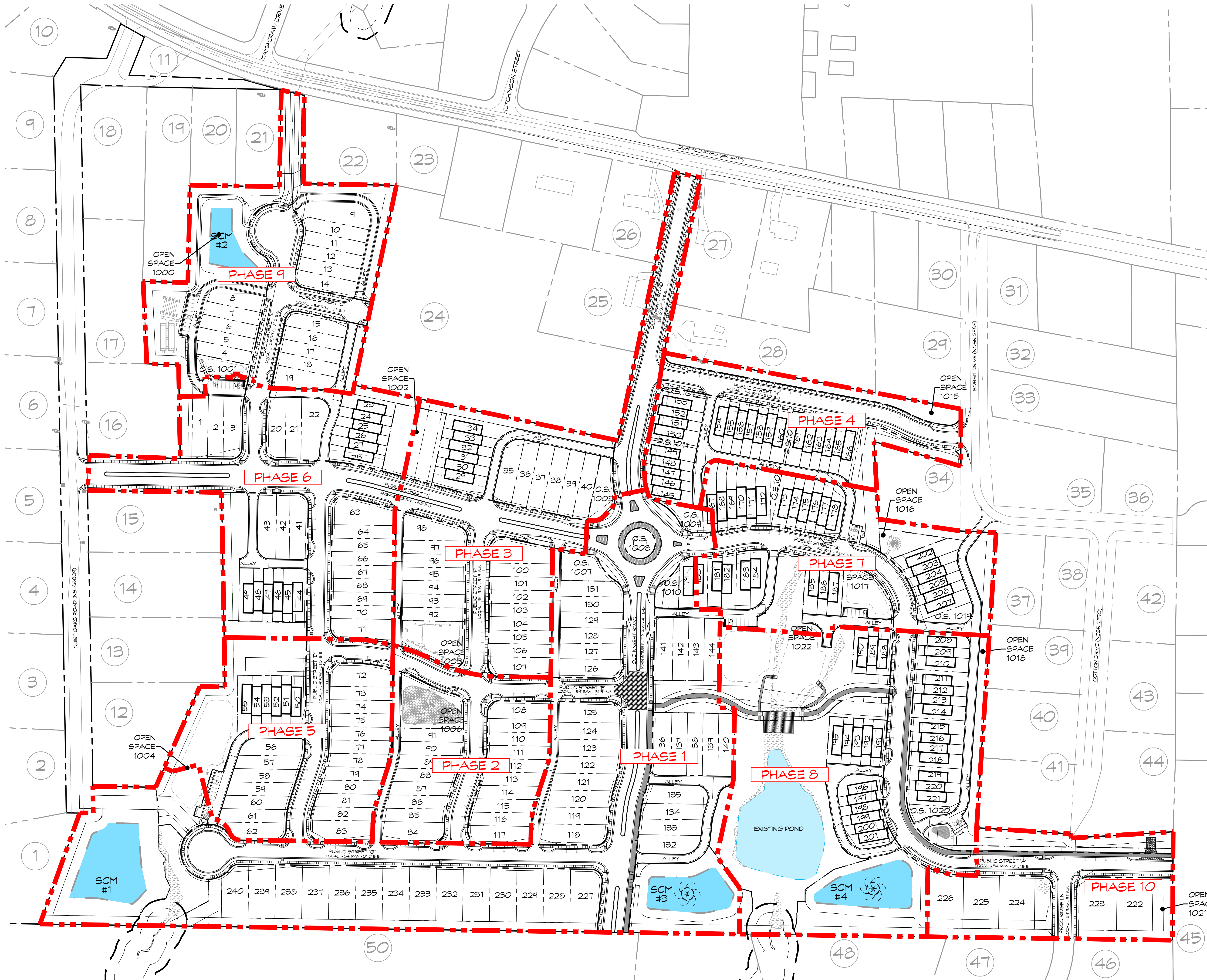
TOTAL NUMBER OF BEDROOMS	734	734	734
DEDICATION RATE (\$20/UNIT)	734 x 520	384,280	8.82 AC
TOTAL RECREATIONAL OPEN SPACE REQUIRED (BEFORE CREDITS)		384,280	8.82 AC
CREDITS (PASSIVE OPEN SPACE)			
PARKWAY (PUB. ST. 'A', 54'S LF, 54' RW)	545 x 27	(14115)	(0.34) AC
TOTAL PASSIVE OPEN SPACE CREDITS		(14115)	(0.34) AC
ACTIVE RECREATIONAL SPACE REQD	50%		4.41 AC
PASSIVE RECREATIONAL SPACE REQD	50% MINUS CREDITS ABOVE		4.01 AC
ACTIVE RECREATIONAL SPACE PROVIDED			4.82 AC
PASSIVE RECREATIONAL SPACE PROVIDED			4.50 AC
TOTAL RECREATIONAL OPEN SPACE PROVIDED			9.31 AC
ADDITIONAL COMMON OPEN SPACE (DOES NOT COUNT TOWARDS REQUIREMENTS)			11.42 AC
AREA IN COMMON AREA OPEN SPACE			7.74 AC
AREA IN PRIVATE ALLEY EASEMENTS			3.66 AC

OPEN SPACE UDO NOTES:

- ALL DEVELOPMENTS WITH MORE THAN EIGHT (8) RESIDENTIAL UNITS SHALL BE REQUIRED TO DEDICATE RECREATIONAL OPEN SPACE.
- ALL SINGLE FAMILY DEVELOPMENTS WILL DEDICATE OPEN SPACE AT A RATE OF THREE AND ONE-HALF BEDROOMS PER UNIT UNLESS OTHERWISE STIPULATED. IN ABSENCE OF KNOWN BUILDING SPECIFICATIONS, DUPLEXES, TOWNHOMES, AND MULTIFAMILY WILL DEDICATE OPEN SPACE AT A RATE OF TWO AND ONE-HALF BEDROOMS PER UNIT.



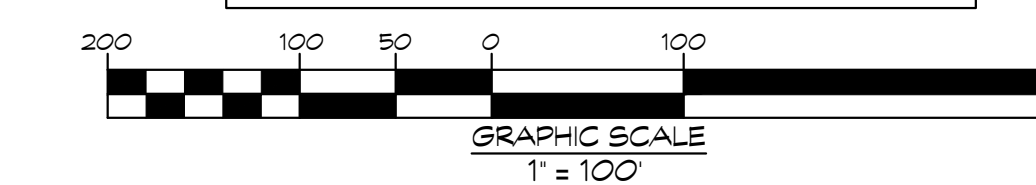
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PHASING MAY BE REVISED AT OWNERS DISCRETION





**CONNECTIVITY INDEX (CI)
CALCULATIONS**

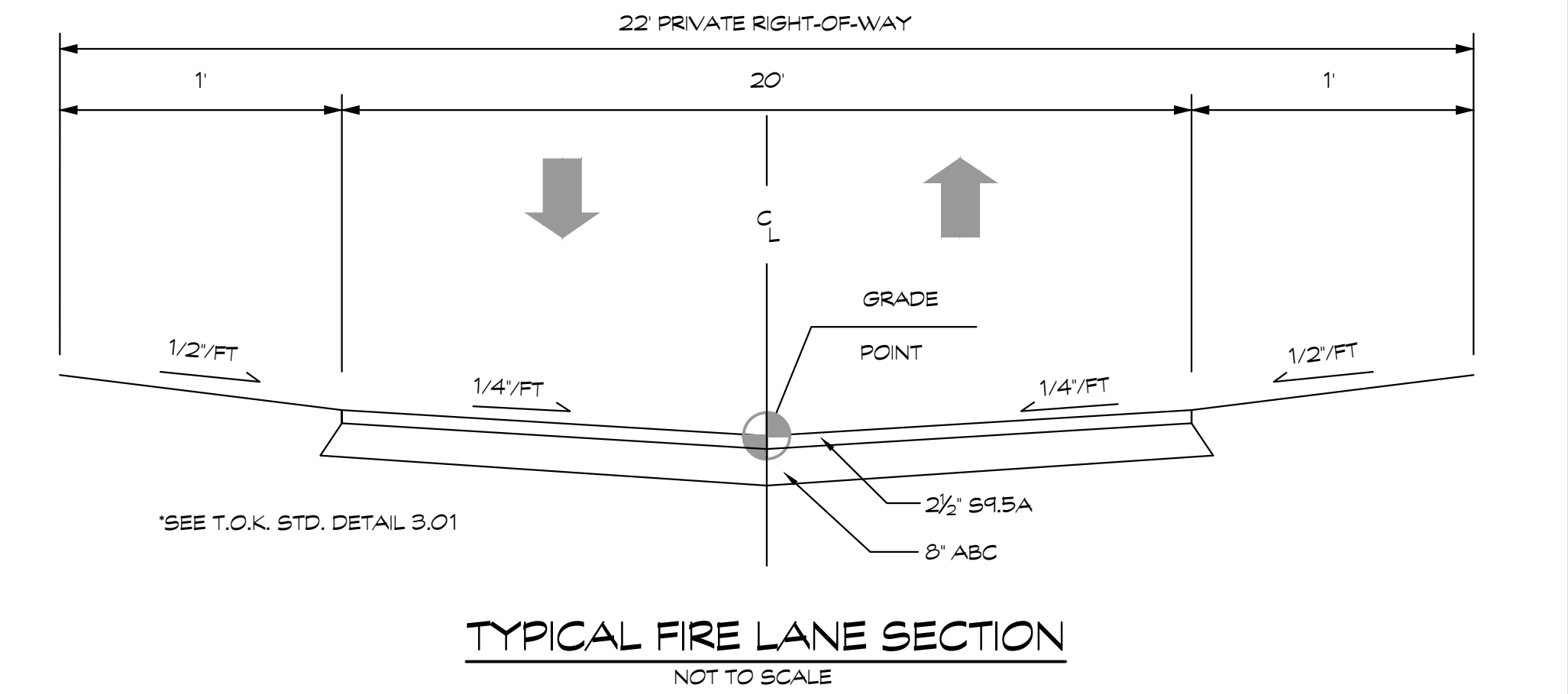
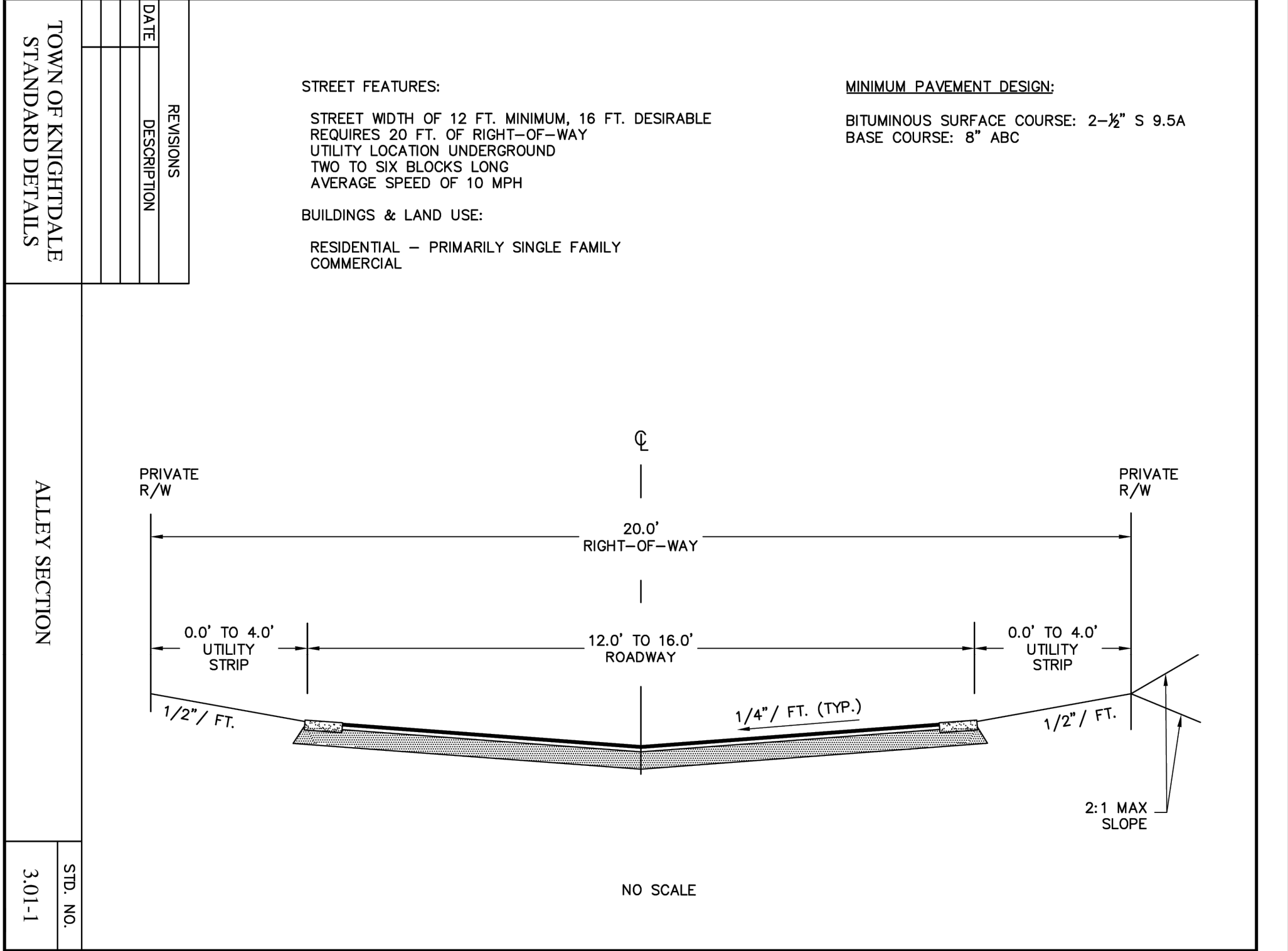
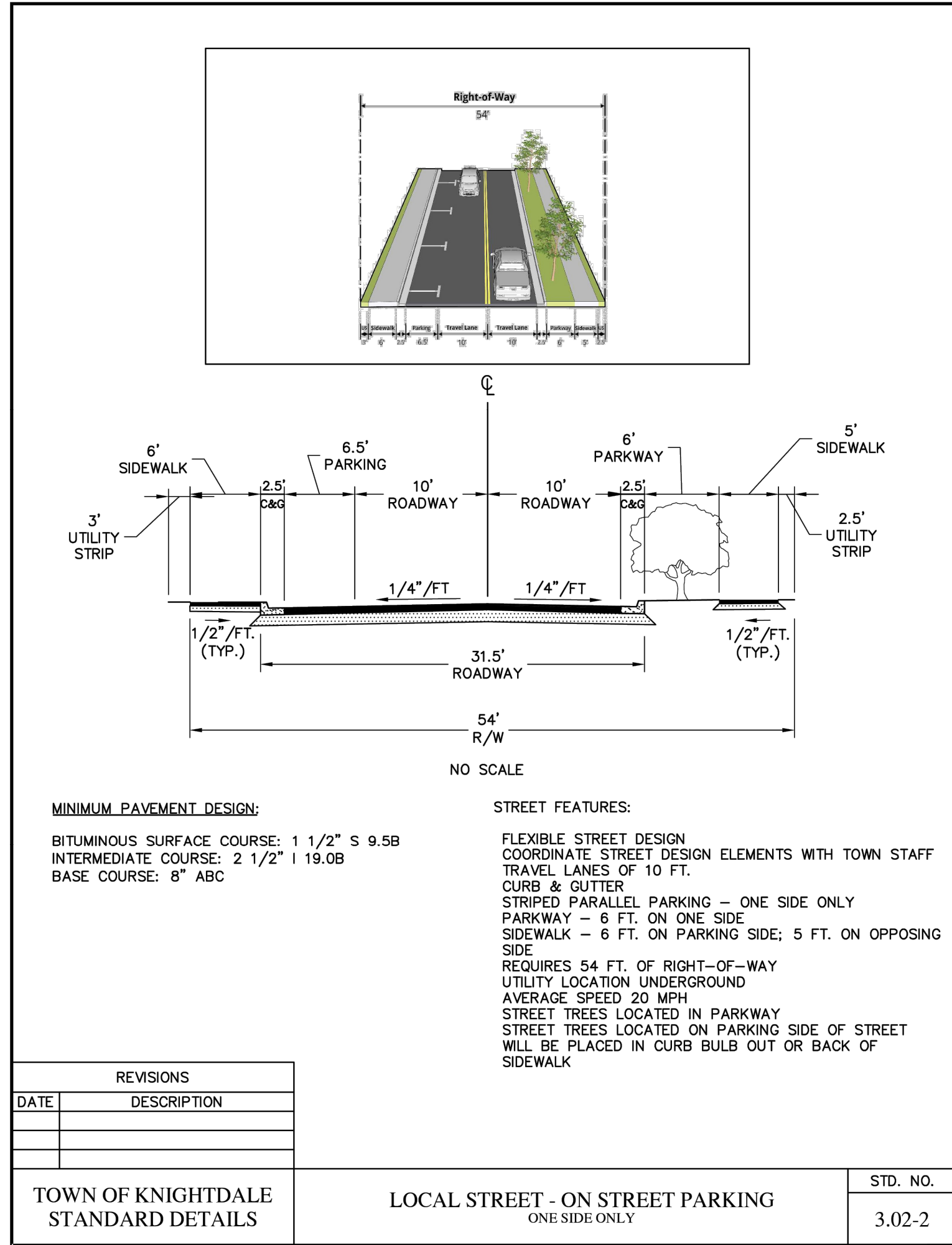
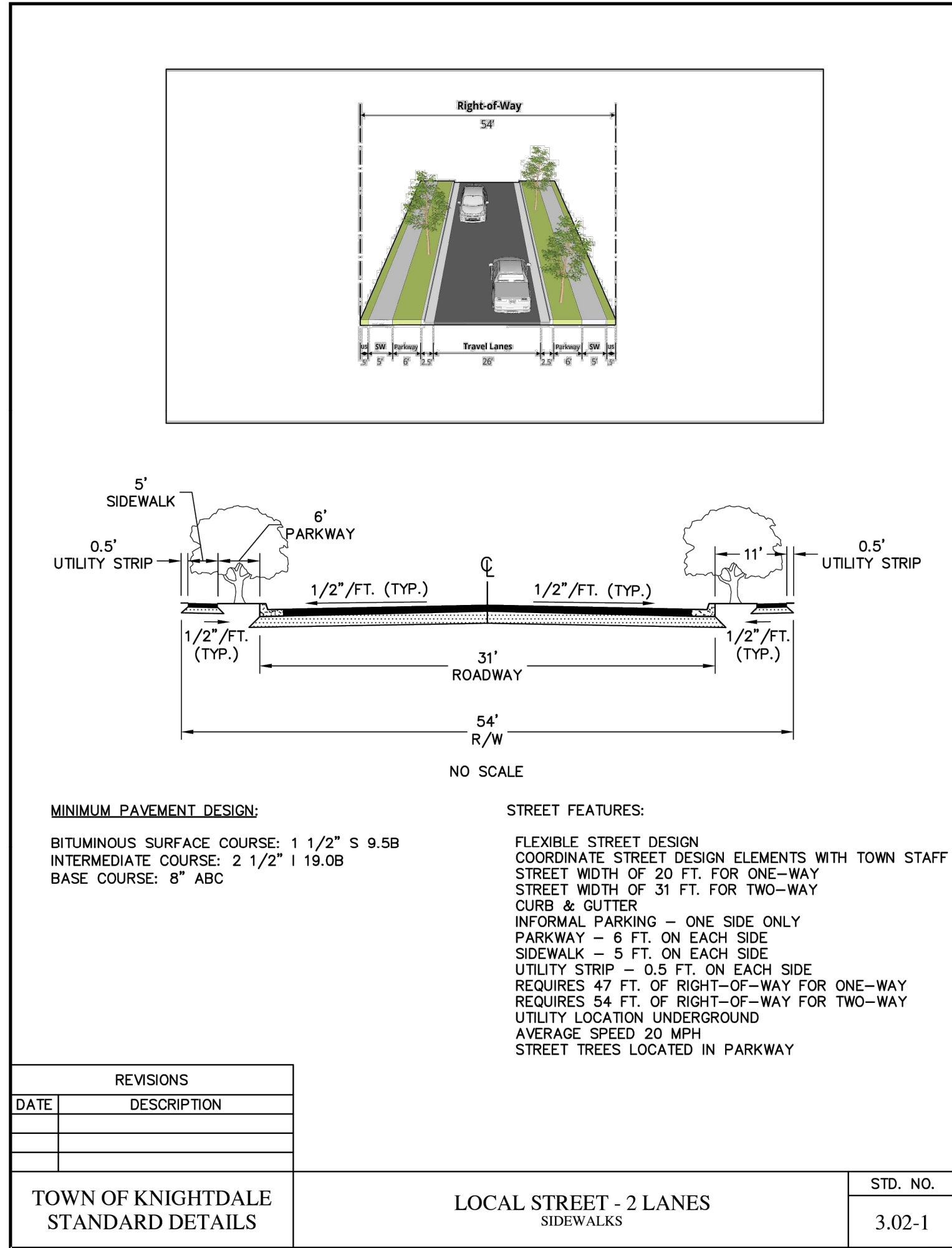
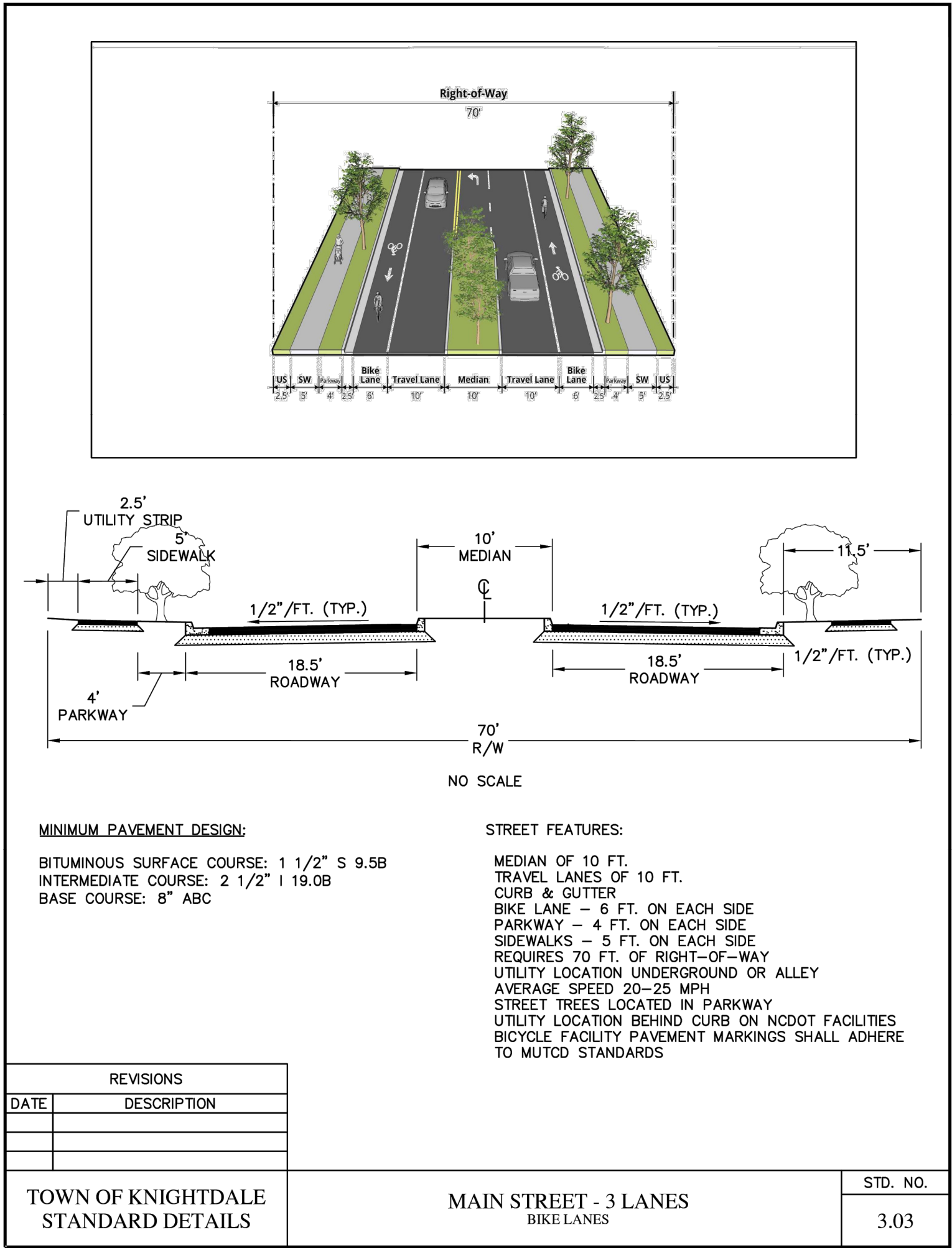
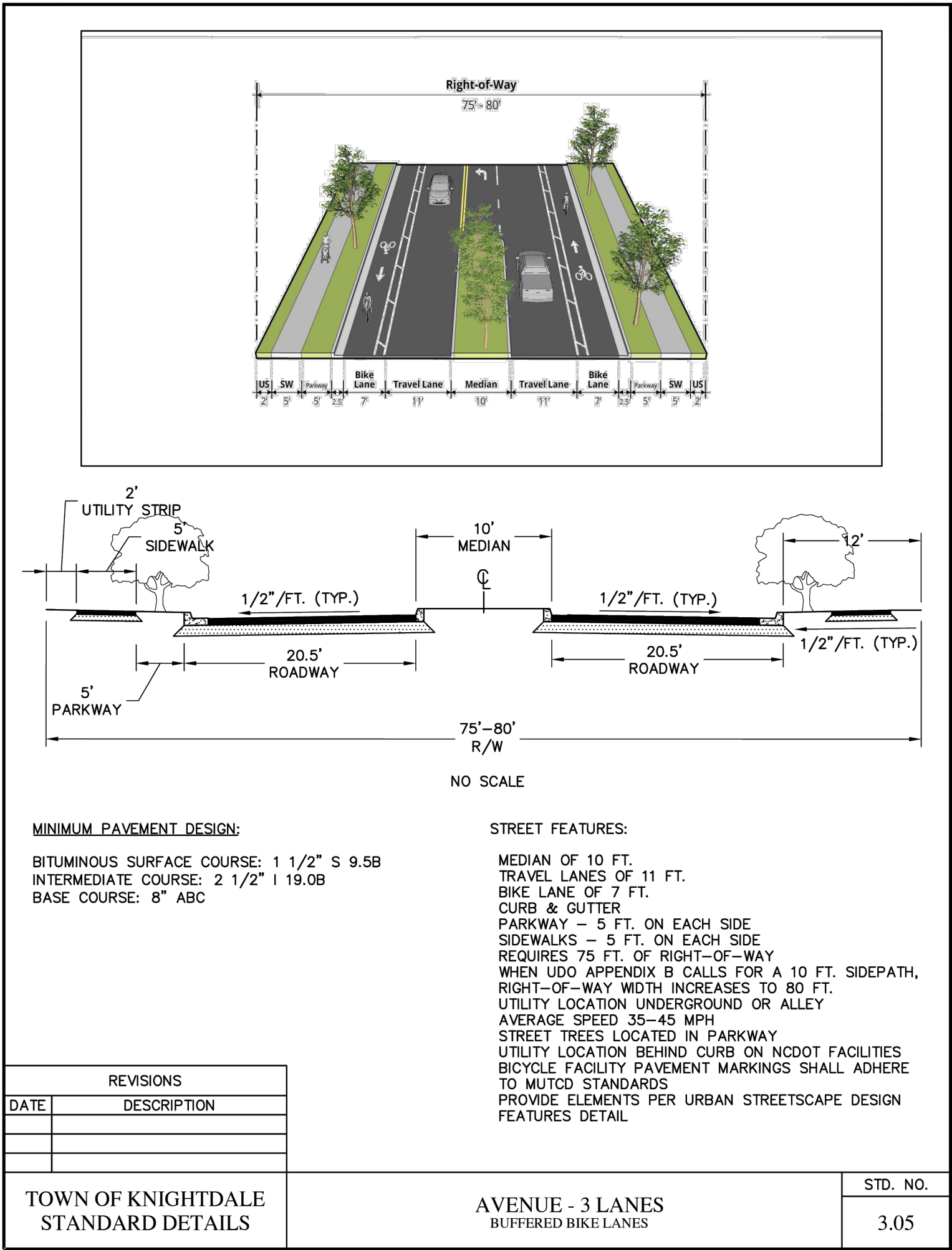
REQUIRED	
388	
REDUCTION FOR 4 SIDES WITH LIMITED ACCESS	1.40
CONNECTIVITY INDEX REQUIRED	(0.20)
	1.20
PROVIDED	
LINKS	25
NODES	20
CONNECTIVITY INDEX PROVIDED (25/20)	1.25

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CONNECTIVITY INDEX EXHIBIT



PAVEMENT DESIGN SHOWN IS MINIMUM PER TOWN OF KNIGHTDALE STANDARDS. FINAL DESIGN MUST BE CONFIRMED BY GEOTECHNICAL REPORT PRIOR TO CONSTRUCTION

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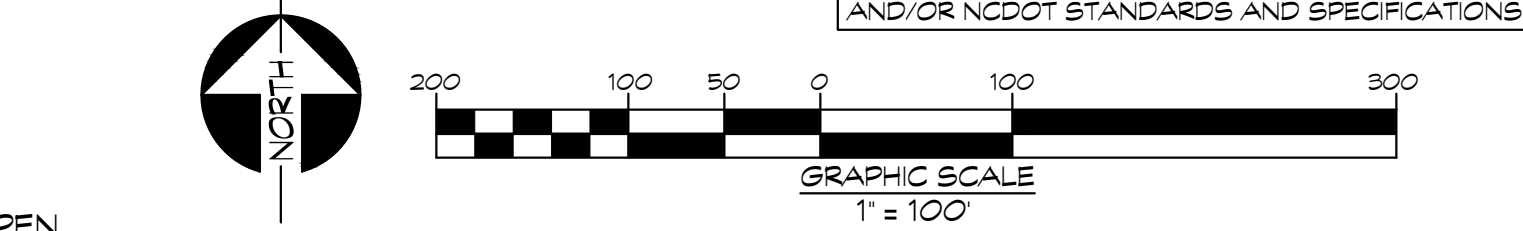
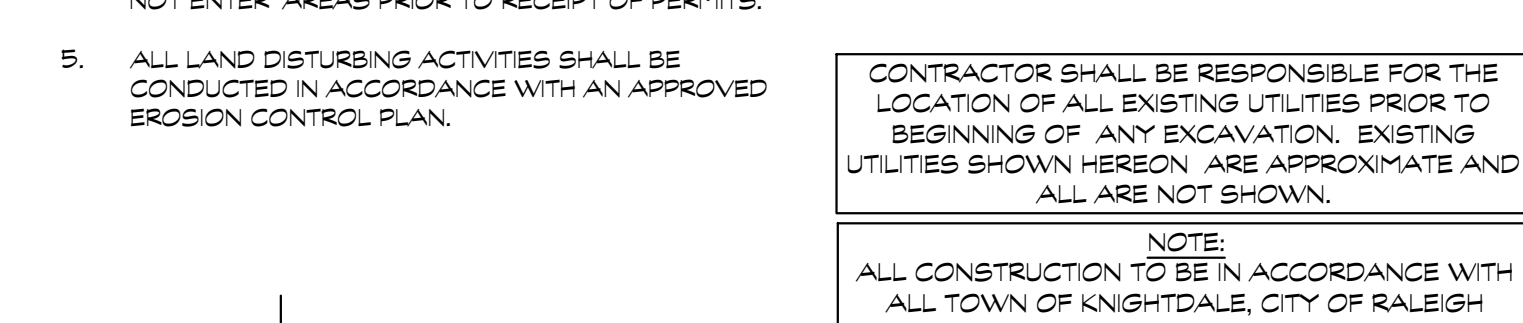
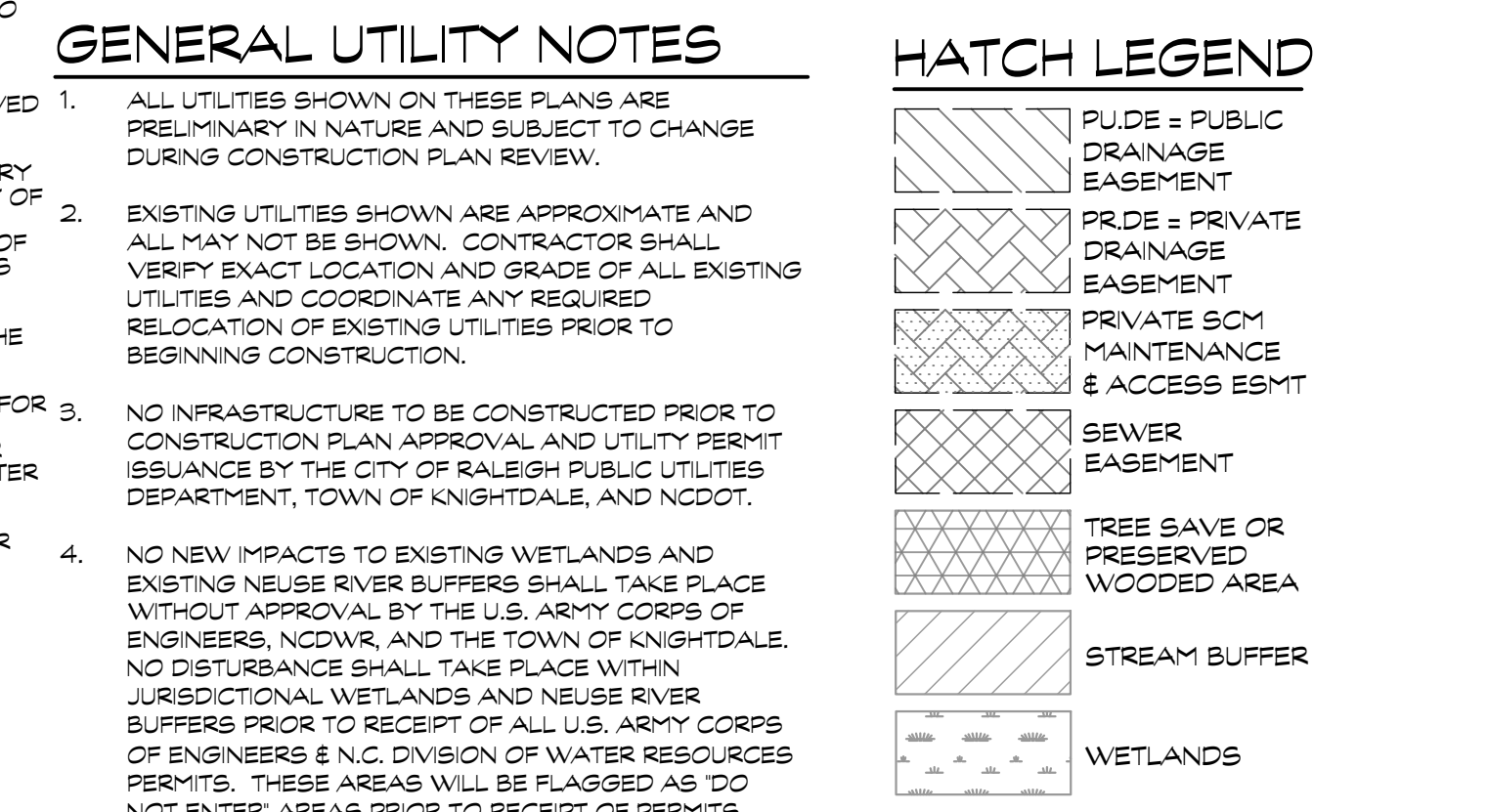
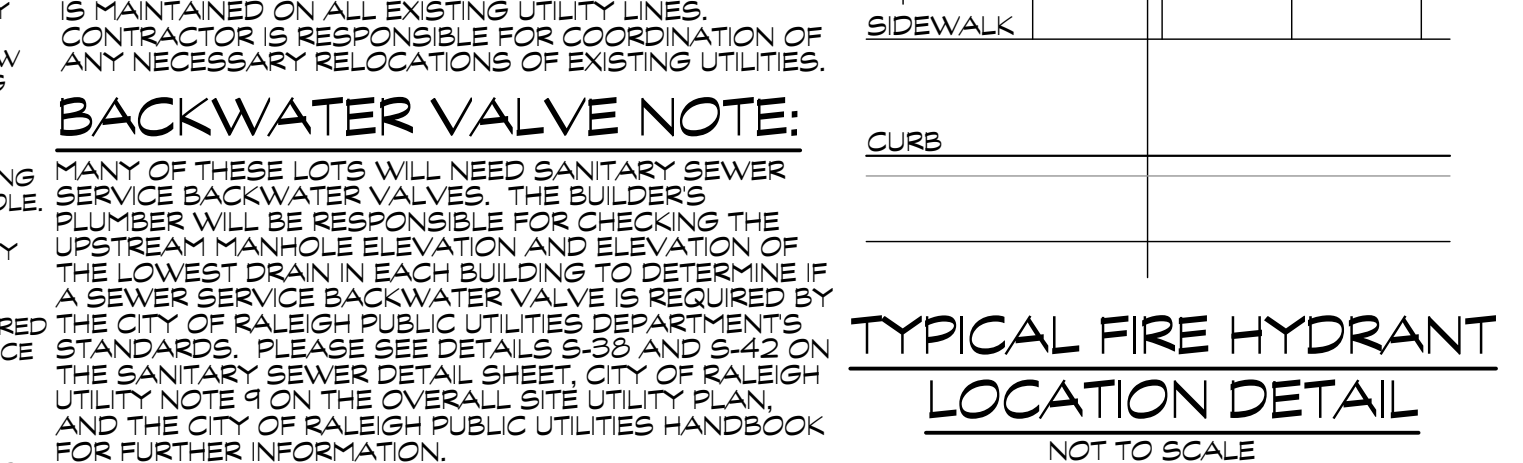
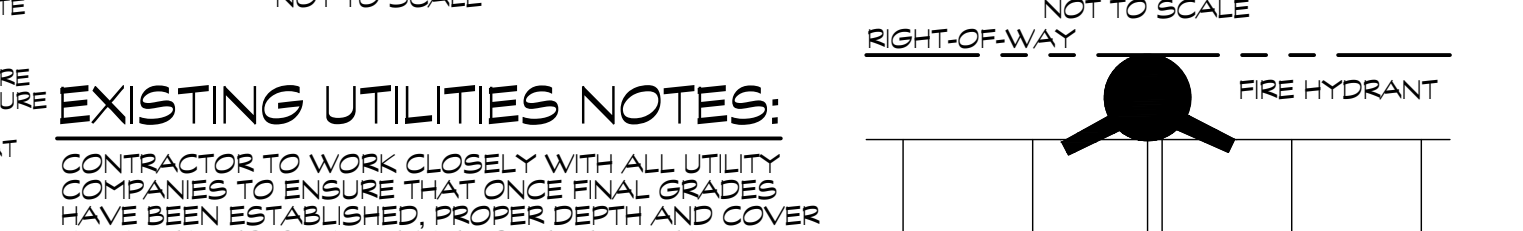
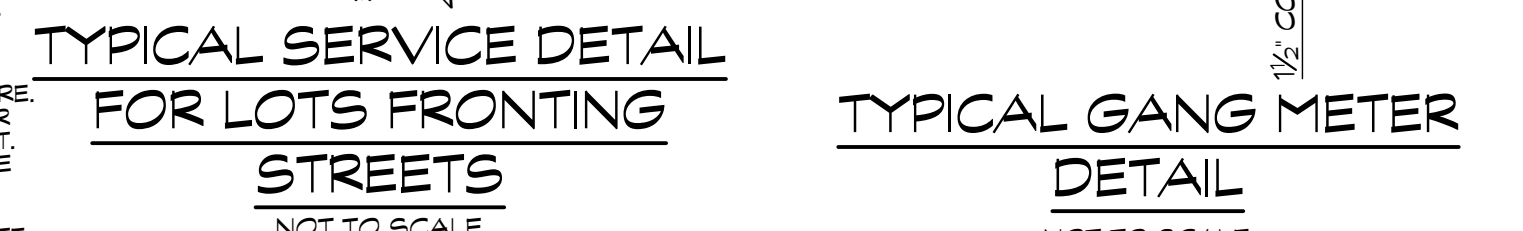
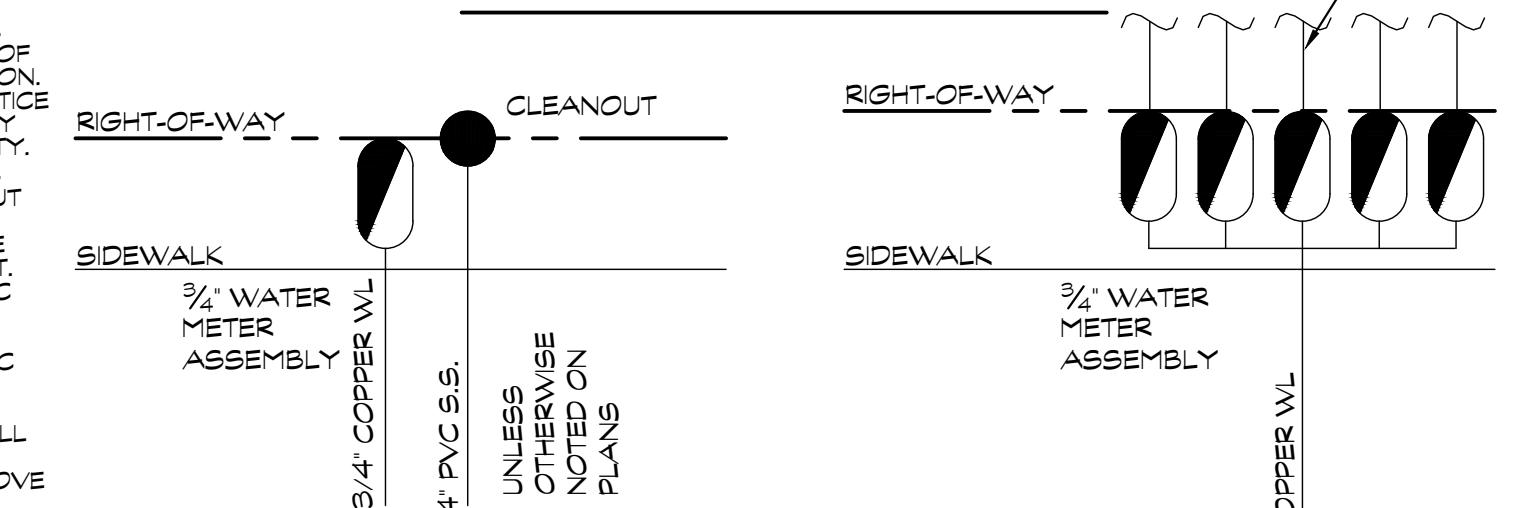
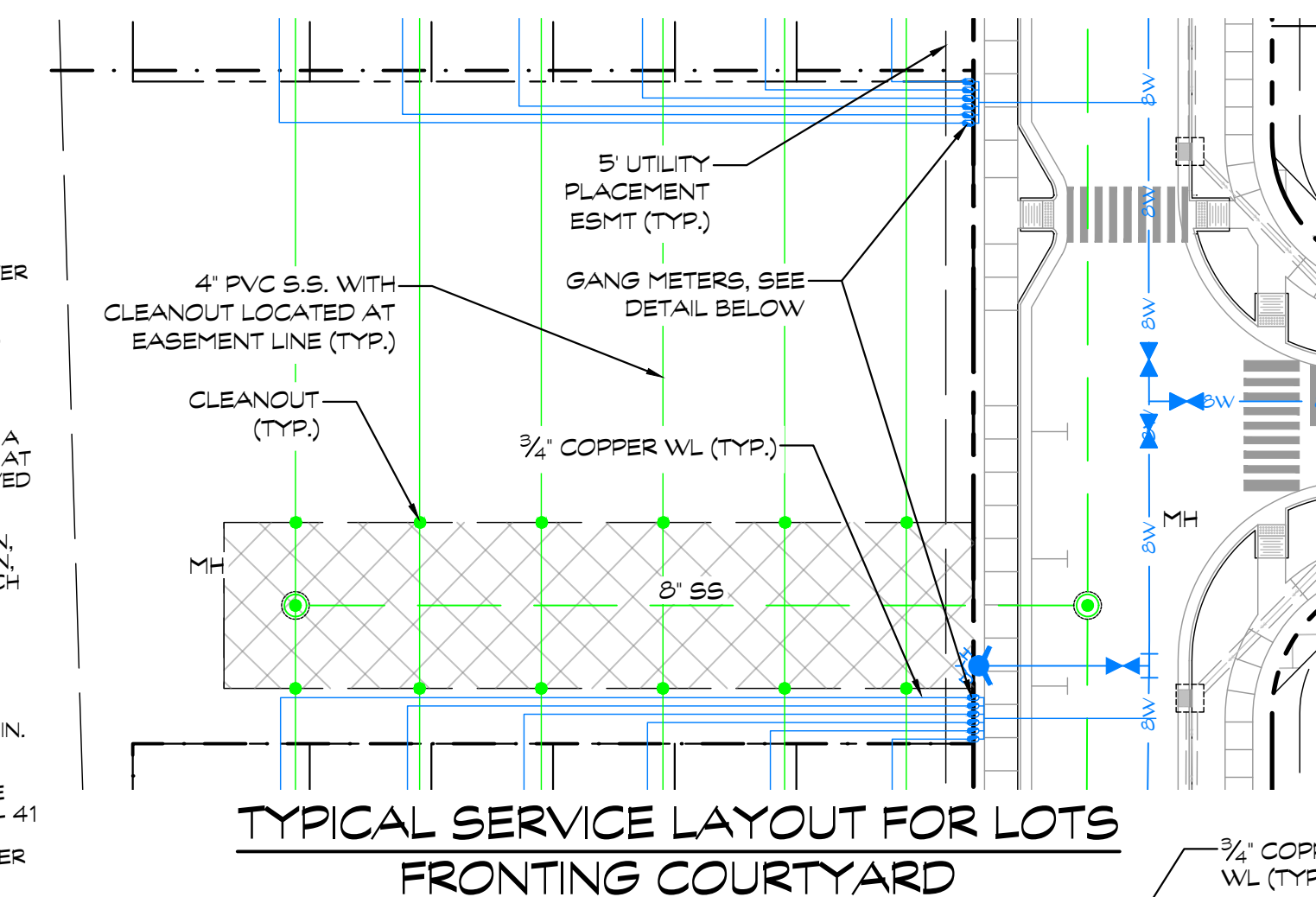


UTILITY SYMBOL LEGEND

	FLARED END SECTION		FIRE HYDRANT
	HEADWALL		GATE VALVE
	NCDOT CATCH BASIN		BLOW OFF & GATE VALVE
	OPEN THROATED CURB INLET		WATER SERVICE
	STORM MANHOLE		WATER MAIN
	YARD INLET		SEWER MANHOLE
	GRADED INLET		SEWER SERVICE
	SWALE / DITCH		SEWER MAIN
	STORM DRAINAGE PIPE		STORMWATER MANAGEMENT AREA
	POND - NORMAL POOL		UTILITY EASEMENT LINETYPE

CORPUS STANDARD NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAIL & SPECIFICATIONS (REFERENCE CORPUS HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE UNLESS AN APPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERFORATED SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER MAIN. THIS VARIATION SHALL BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIAL SHALL PROVIDE 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC REGISTERED PROFESSIONAL ENGINEER SHALL BE SUBMITTED TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN DEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT. HANDS OFF - CONTRACTOR SHALL CONSULT WITH THE ENGINEERING INSPECTOR COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
 - INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED PER THE CURRENT NC PLUMBING CODE.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USFWS, OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD COORDINATION AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - CREATION OF A WATER SEPARATOR OR OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RIV JOBS PROGRAM COORDINATOR PRIOR TO SUBMITTING A PERMIT. CONTACT (919) 946-4516 OR FOG@RALEIGH.NC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED FOR ALL UTILITY WORK. HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC UTILITIES SERVICES IN NORTH CAROLINA.
 - THE DESIGN SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION CONTROL PROGRAM. THE DESIGN SHALL BE INSTALLED & TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE PERMANENT MONITORING OR TITRATION CROSS CONNECTION CONTROL PROGRAM, WHICH EVER IS MORE STRINGENT. CONTACT CROSS.CONNECTIONS@RALEIGH.NC.GOV FOR MORE INFORMATION.
 - NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT: ANY CITY REIMBURSEMENT GREATER THAN \$10,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
 - PRIVATE SUB-METERING - NO RESALE OF WATER SHALL OCCUR WITHIN THE TOWN OF KNIGHTDALE, NORTH CAROLINA. ANY REIMBURSEMENT GREATER THAN \$10,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, TOWN OF KNIGHTDALE, AND NCDOT.
- NO NEW IMPACTS TO EXISTING WETLANDS AND EXISTING NEUSE RIVER BUFFERS SHALL TAKE PLACE WITHOUT APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, NEWCASTLE AND THE TOWN OF KNIGHTDALE. NO DISTURBANCE SHALL TAKE PLACE WITHIN JURISDICTIONAL WETLANDS AND NEUSE RIVER BUFFERS PRIOR TO RECEIPT OF ALL U.S. ARMY CORPS OF ENGINEERS & N.C. DIVISION OF WATER RESOURCES PERMITS. THESE AREAS WILL BE FLAGGED AS DO NOT ENTER AREAS PRIOR TO RECEIPT OF PERMITS.
- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.





UTILITY SYMBOL LEGEND			
	FLARED END SECTION		FIRE HYDRANT
	HEADWALL		GATE VALVE
	NCDOT CATCH BASIN		BLOW OFF & GATE VALVE
	OPEN THROATED CURB INLET		WATER MAIN
	STORM MANHOLE		SEWER MANHOLE
	YARD INLET		SEWER SERVICE
	GRADED INLET		SEWER MAIN
	SWALE / DITCH		SCM
	STORM DRAINAGE PIPE		UTILITY EASEMENT LINETYPE
	POND - NORMAL POOL		

EXST. UTILITIES NOTES:

CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

BACKWATER VALVE NOTE:

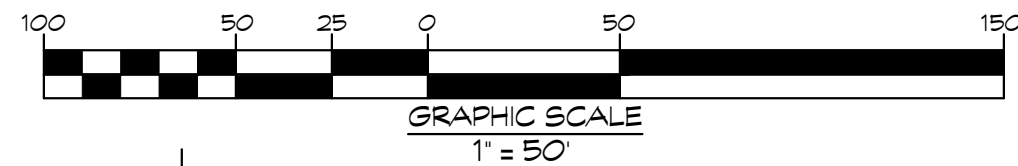
MANY OF THESE LOTS WILL NEED SANITARY SEWER SERVICE BACKWATER VALVES. THE BUILDERS PLUMBER WILL BE RESPONSIBLE FOR CHECKING THE UPSTREAM MANHOLE ELEVATION AND ELEVATION OF THE LOWEST DRAIN IN EACH BUILDING TO DETERMINE IF A SEWER SERVICE BACKWATER VALVE IS REQUIRED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT'S STANDARDS. PLEASE SEE DETAILS S-35 AND S-42 ON THE SANITARY SEWER DETAIL SHEET, CITY OF RALEIGH UTILITY NOTE 9 ON THE OVERALL SITE UTILITY PLAN, AND THE CITY OF RALEIGH PUBLIC UTILITIES HANDBOOK FOR FURTHER INFORMATION.

GENERAL UTILITY NOTES

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HATCH LEGEND

	PUDE = PUBLIC DRAINAGE EASEMENT
	PRDE = PRIVATE DRAINAGE EASEMENT
	PRIVATE SCM MAINTENANCE & ACCESS ESMT
	SEWER EASEMENT
	TREE SAVE OR PRESERVED WOODED AREA
	STREAM BUFFER
	WETLANDS

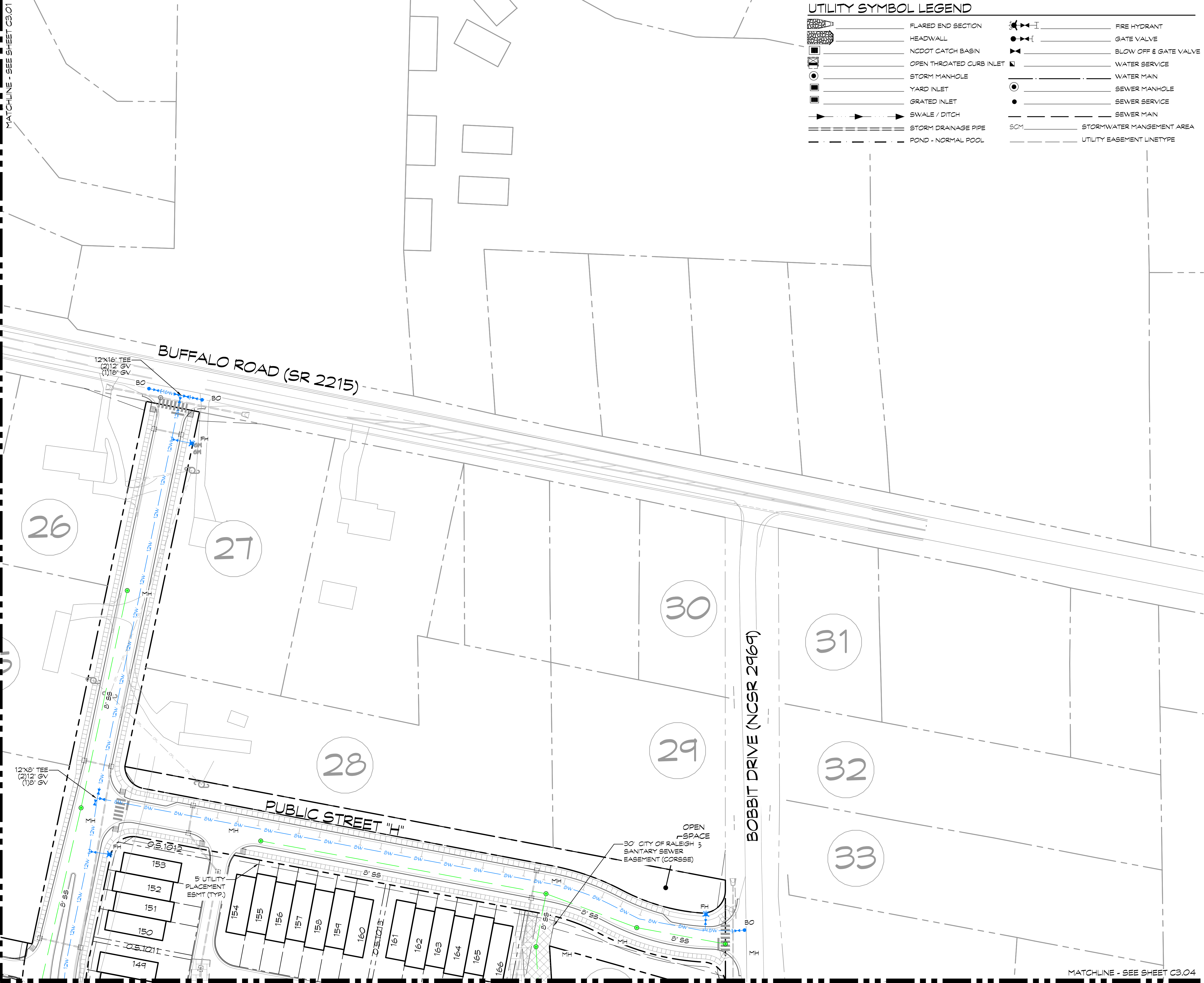


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MATCHLINE - SEE SHEET C3.01



UTILITY SYMBOL LEGEND

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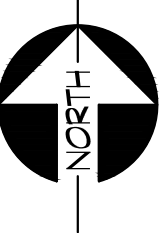
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	STREAM BUFFER
	WETLANDS



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MATCHLINE - SEE SHEET C3.04

TERRAVITA

MASTER PLAN REVIEW DRAWINGS

TOWN OF KNIGHTDALE

NORTH CAROLINA

SCALE: 1"=50'

DATE: NOVEMBER 25, 2024

PROJECT NUMBER: 2023-002.001

CLIENT: SITE INVESTMENTS, LLC

PLAN TYPE: MASTER PLAN REVIEW

PRELIMINARY UTILITY PLAN
ENLARGED AREA 2

TOWN COMMENTS	1/16/2025
TOWN COMMENTS	4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER)	NO CHANGES

PRIEST, CRAVEN & ASSOCIATES, INC.

LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #

C3.02



UTILITY SYMBOL LEGEND

- FLARED END SECTION
- HEADWALL
- NCDOT CATCH BASIN
- OPEN THROATED CURB INLET
- STORM MANHOLE
- YARD INLET
- GRATED INLET
- FIRE HYDRANT
- GATE VALVE
- BLOW OFF & GATE VALVE
- WATER SERVICE
- WATER MAIN
- SEWER MANHOLE
- SEWER SERVICE
- SEWER MAIN
- SCM - STORMWATER MANGEMENT AREA
- UTILITY EASEMENT LINETYPE
- SWALE / DITCH
- STORM DRAINAGE PIPE
- POND - NORMAL POOL

EXST. UTILITIES NOTES:

CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

BACKWATER VALVE NOTE:

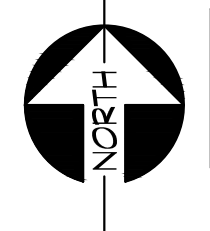
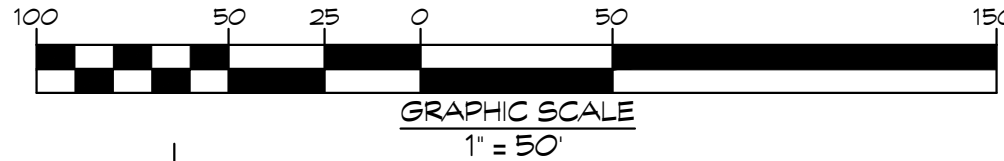
MANY OF THESE LOTS WILL NEED SANITARY SEWER SERVICE BACKWATER VALVES. THE BUILDERS PLUMBER WILL BE RESPONSIBLE FOR CHECKING THE UPSTREAM MANHOLE ELEVATION AND ELEVATION OF THE LOWEST DRAIN IN EACH BUILDING TO DETERMINE IF A SEWER SERVICE BACKWATER VALVE IS REQUIRED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT'S STANDARDS. PLEASE SEE DETAILS S-30 AND S-42 ON THE SANITARY SEWER DETAIL SHEET, CITY OF RALEIGH UTILITY NOTE 9 ON THE OVERALL SITE UTILITY PLAN, AND THE CITY OF RALEIGH PUBLIC UTILITIES HANDBOOK FOR FURTHER INFORMATION.

GENERAL UTILITY NOTES

- ALL UTILITIES SHOWN ON THESE PLANS ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLAN REVIEW.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, TOWN OF KNIGHTDALE, AND NCDOT.
- NO NEW IMPACTS TO EXISTING WETLANDS AND EXISTING NEUSE RIVER BUFFERS SHALL TAKE PLACE WITHOUT APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, NCDWR, AND THE TOWN OF KNIGHTDALE. NO DISTURBANCE SHALL TAKE PLACE WITHIN JURISDICTIONAL WETLANDS AND NEUSE RIVER BUFFERS PRIOR TO RECEIPT OF ALL U.S. ARMY CORPS OF ENGINEERS & N.C. DIVISION OF WATER RESOURCES PERMITS. THESE AREAS WILL BE FLAGGED AS 'DO NOT ENTER' AREAS PRIOR TO RECEIPT OF PERMITS.
- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.

HATCH LEGEND

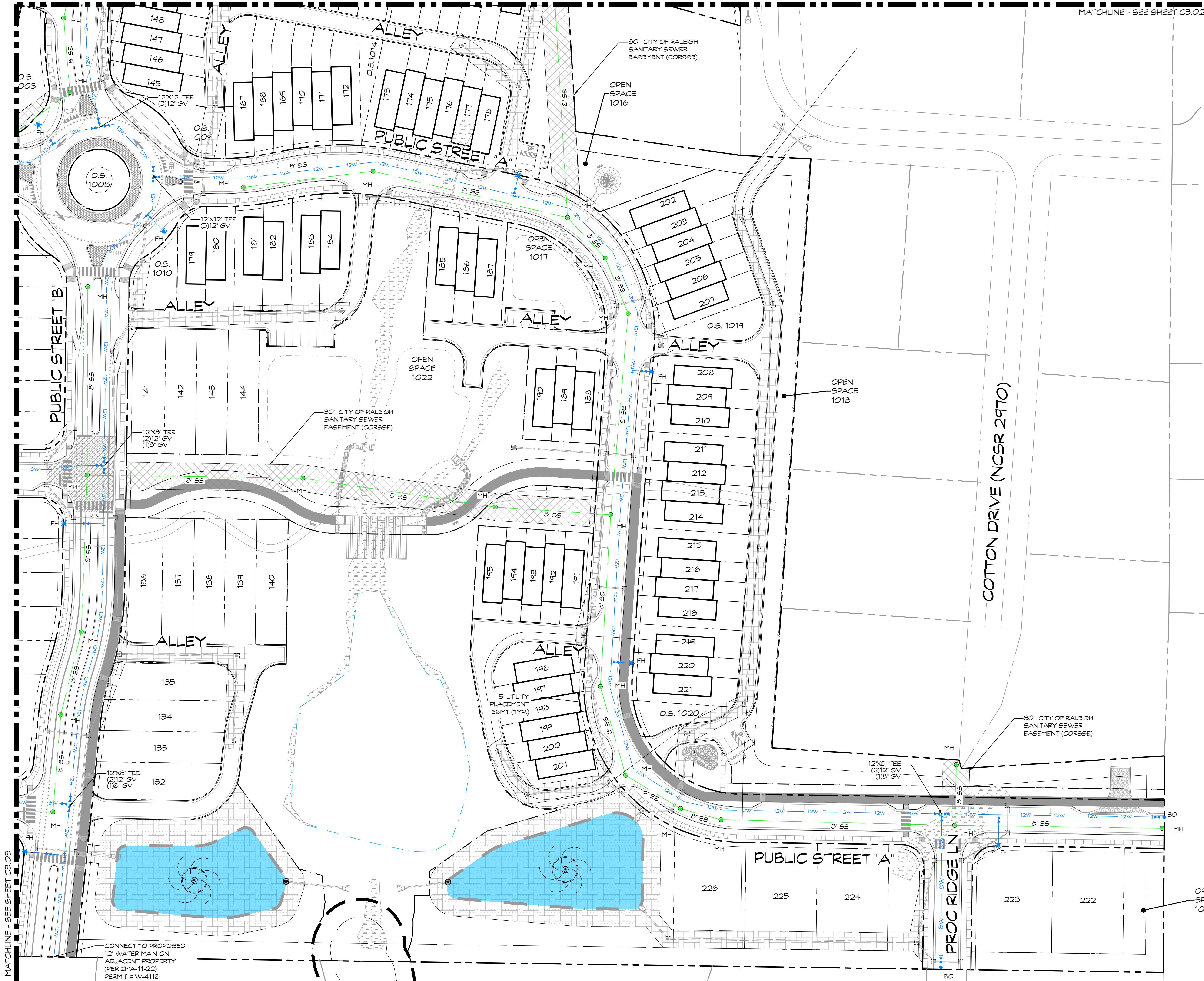
- PUDE = PUBLIC DRAINAGE EASEMENT
- PRDE = PRIVATE DRAINAGE EASEMENT
- PRIVATE SCM MAINTENANCE & ACCESS ESMT
- SEWER EASEMENT
- TREE SAVE OR PRESERVED WOODED AREA
- STREAM BUFFER
- WETLANDS



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY



MATCHLINE - SEE SHEET C3.02

UTILITY SYMBOL LEGEND

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- SWALE / DITCH
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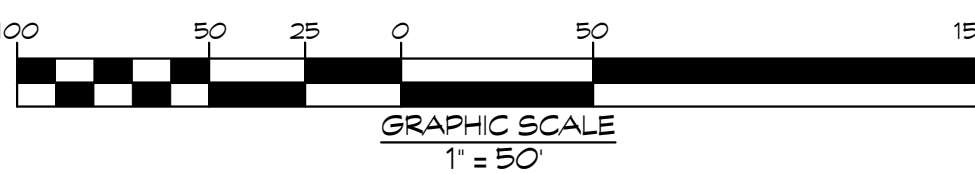
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MASTER PLAN REVIEW DRAWINGS

PRELIMINARY UTILITY PLAN
ENLARGED AREA 4

PRIEST, CRAVEN & ASSOCIATES, INC.

LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

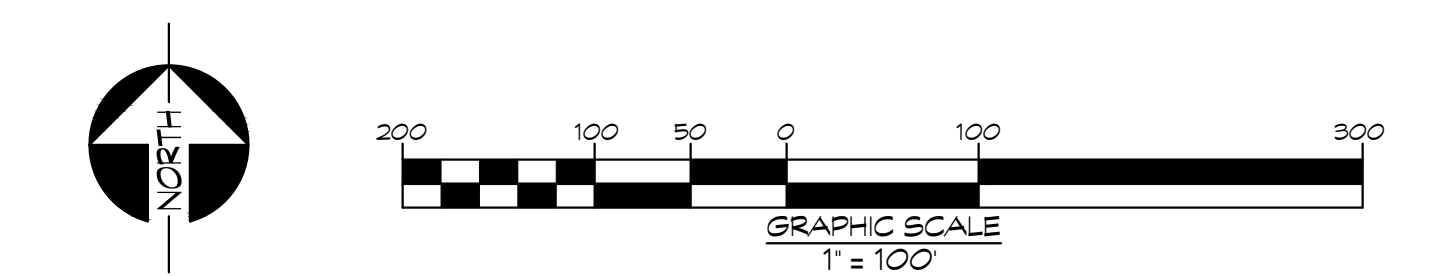
SHEET #

C3.04

SCALE: 1"=50'
DATE: NOVEMBER 25, 2024
PROJECT NUMBER: 2023-002.001
CLIENT: SITE INVESTMENTS, LLC
PLAN TYPE: MASTER PLAN REVIEW

TOWN COMMENTS: 1/16/2025
TOWN COMMENTS: 4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER) NO CHANGES

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- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
 2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
 3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
 4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
 5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
 6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
 7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
 8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
 9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
 10. WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
 11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.

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19 FOOT DETACHED
SINGLE-FAMILY DWELLING

19 FOOT DETACHED
SINGLE-FAMILY DWELLING

21 FOOT DETACHED
SINGLE-FAMILY DWELLING

45 FOOT DETACHED
SINGLE-FAMILY DWELLING

51 FOOT DETACHED
SINGLE-FAMILY DWELLING

22 FOOT END UNIT TOWNHOME

25 FOOT END UNIT TOWNHOME

21 FOOT TOWNHOME

23 FOOT END UNIT TOWNHOME

NOTE: UNIT PLANS ARE ILLUSTRATIVE OF THE FORM AND SCALE OF THE PROPOSED HOMES. PLANS ARE SUBJECT TO CHANGE AS THE PROJECT PROGRESSES.

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SHEET LS1.01

SHEET LS1.02

STREET TREE PLANTINGS
(PER UDO 7.4.L)

- ALL DEVELOPMENT SHALL BE REQUIRED TO HAVE STREET TREES ALONG ALL PUBLIC RIGHTS-OF-WAY IN ACCORDANCE WITH THE ILLUSTRATIONS OF STREET CLASSIFICATION AND DESIGN FOUND IN SECTION 10.4 (A). STREET TREES ARE NOT REQUIRED ALONG PUBLIC RIGHTS-OF-WAY IN THE OPEN SPACE PRESERVE (OSP) ZONING DISTRICT.
- THE SPECIES OF EVERY OTHER TREE ALONG A STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE SPECIES DIVERSITY.
- STREET TREES SHALL BE CANOPY TREES AND SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF FORTY (40) FEET ON CENTER IN A PLANTING STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH. WHERE OVERHEAD UTILITIES EXIST PRIOR TO DEVELOPMENT, UNDERSTORY TREES MAY BE SUBSTITUTED, AS APPROVED BY THE LARGE AREA ADMINISTRATOR. THE PLANTING STRIP SHALL BE LOCATED AS DETAILED BELOW.
 - TOWN OF KNIGHTDALE ROADWAYS, ON ROADWAYS UNDER TOWN OF KNIGHTDALE JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED BETWEEN THE SIDEWALK AND ROADWAY.
 - NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROADWAYS, ON ROADWAYS UNDER NCDOT JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED IN ACCORDANCE WITH APPLICABLE NCDOT SPECIFICATIONS.
- STREET TREES SHALL BE PLACED AT LEAST TEN (10) FEET FROM LIGHT POLES AND TWELVE (12) FEET FROM ELECTRICAL TRANSFORMERS IN ORDER TO ALLOW THESE UTILITIES TO BE SAFELY SERVICED. UNDERSTORY TREES MAY BE PLACED WITHIN FIVE (5) FEET OF SUCH DEVICES.
- STREET TREES SHALL BE DECIDUOUS HARDWOODS AND SHALL MEET THE CRITERIA SET FORTH IN SECTION 7.4 (C).
- STREET TREE MAINTENANCE. STREET TREES SHALL BE MAINTAINED IN GOOD, TRIMMED, AND NEAT CONDITION, AND AT MATING SHOULD BE TRIMMED TO TEN AND ONE-HALF (10.5) FEET OF CLEARANCE TO ACCOMMODATE EMERGENCY RESPONSE VEHICLES.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

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PROPOSED CANOPY TREE LEGEND:

	NYSSA SYLVATICA WILDFIRE (NS)	BLACK GUM
	ACER RUBRUM (AR)	EASTERN RED OAK
	QUERCUS ALBA (QA)	WHITE OAK
	CARPINUS CAROLINIANA (CB)	AMERICAN HORNBEAM
	ACER RUBRUM (AR)	RED MAPLE
	ULMUS AMERICANA (UA)	AMERICAN ELM

PROPOSED UNDERSTORY TREE LEGEND:

	PRUNUS CAROLINIANA (PR)	CHERRY LAUREL
	MAGNOLIA VIRGINIANA (MV)	SWEETBAY MAGNOLIA
	ILEX CASSINE (IL)	DAHON HOLLY

PROPOSED SHRUB LEGEND:

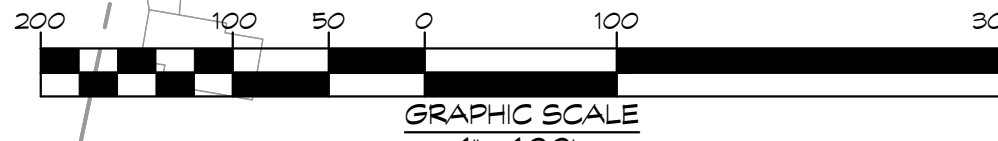
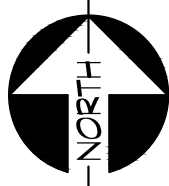
	ILEX GLABRA (IG)	INKBERRY HOLLY
	MYRICA CERIFERA (MC)	WAX MYRTLE
	HYDRANGEA ARBORESCENS (HA)	HYDRANGEA

LEGEND

	PROPOSED LIGHT
	NEUSE RIVER BUFFER
	TREE PROTECTION FENCING

HATCH LEGEND

	P.U.D.E. - PUBLIC DRAINAGE EASEMENT
	P.R.D.E. - PRIVATE DRAINAGE EASEMENT
	PRIVATE SCM MAINTENANCE & ACCESS ESMT
	SEWER EASEMENT
	TREE SAVE/ REPLANTED AREA
	STREAM BUFFER
	WETLANDS



TYPE B BUFFER TYPICAL PLANTING

LANDSCAPE MATERIAL	
(20) SHRUBS	3 CANOPY TREES @ MIN. 3' CAL/10' HEIGHT AT PLANTING
(3) CANOPY TREES	5 UNDERSTORY TREES @ MIN. 1.25' CAL/6' HEIGHT AT PLANTING
	20 SHRUBS (12'-15' SPREAD) @ MIN. 3 GAL/18" HT AT PLANTING

PERIMETER BUFFER PLANT TOTALS ARE THE MAXIMUM REQUIRED TO REPLANT EACH BUFFER IN THEIR ENTIRETY IF EXISTING VEGETATION CANNOT BE USED. FINAL PROPOSED SUPPLEMENTAL PLANTINGS TO BE DETERMINED AT THE DIRECTION OF THE FIELD INSPECTOR AT TIME OF PLANTING.

PLAN SHALL UTILIZE NATIVE SPECIES EXCLUSIVELY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ANY SUBSTITUTIONS TO THE PLANTINGS LISTED ON THESE PLANS ARE NATIVE

PLAN IS PRELIMINARY IN NATURE AND SUBJECT TO CHANGE PENDING REVISIONS TO THE FINAL DESIGN DURING CONSTRUCTION PLAN REVIEWS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
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6 TALL WOODEN PRIVACY FENCE TO BE LOCATED ALONG THE PROPERTY LINE

AREA PROVIDED TO MEET TREE COVER REQUIREMENTS. AREA SHALL UTILIZE EXISTING PLANTINGS OR SHALL BE REPLANTED PER TOWN REQUIREMENTS

SHEET LS1.03

SHEET LS1.04

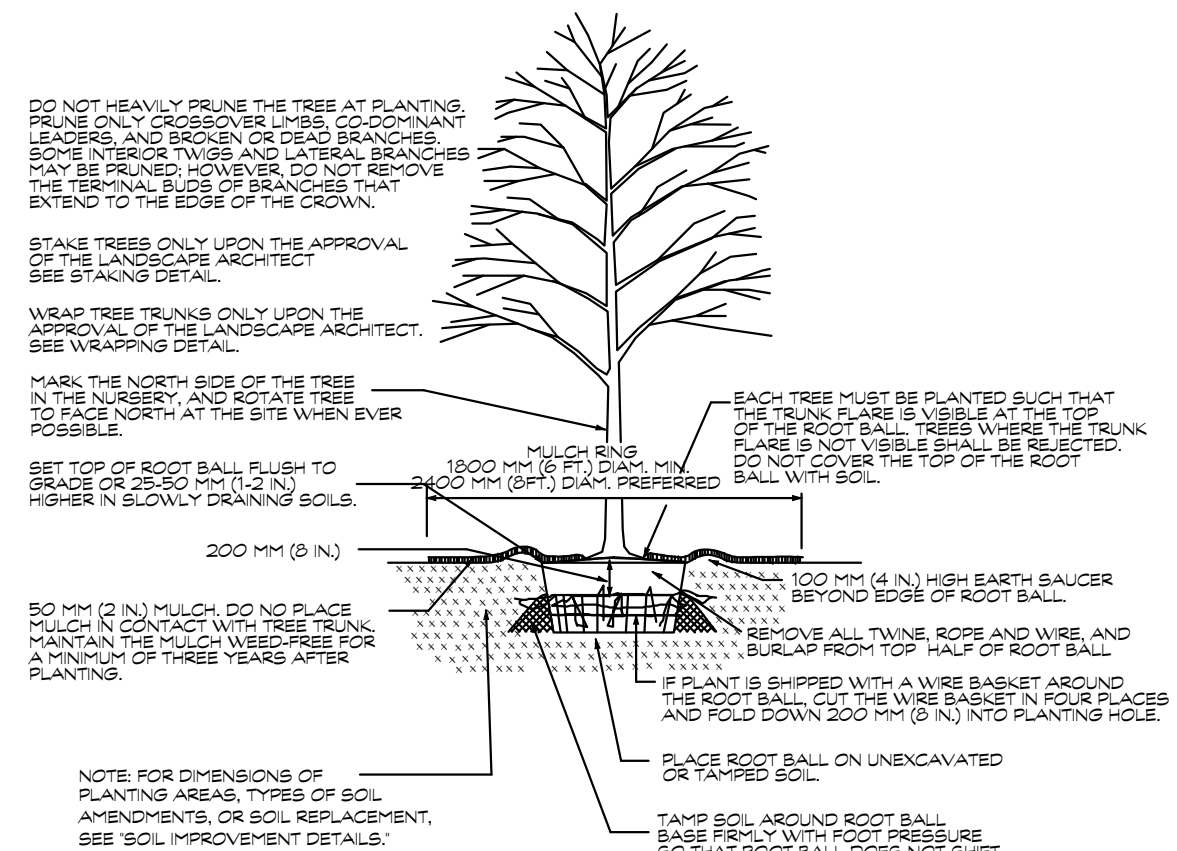
SCALE:	1"=100'
DATE:	NOVEMBER 25, 2024
PROJECT NUMBER:	2023-002.001
CLIENT:	SITE INVESTMENTS, LLC
PLAN TYPE:	MASTER PLAN REVIEW

PRELIMINARY SITE
LANDSCAPING PLAN

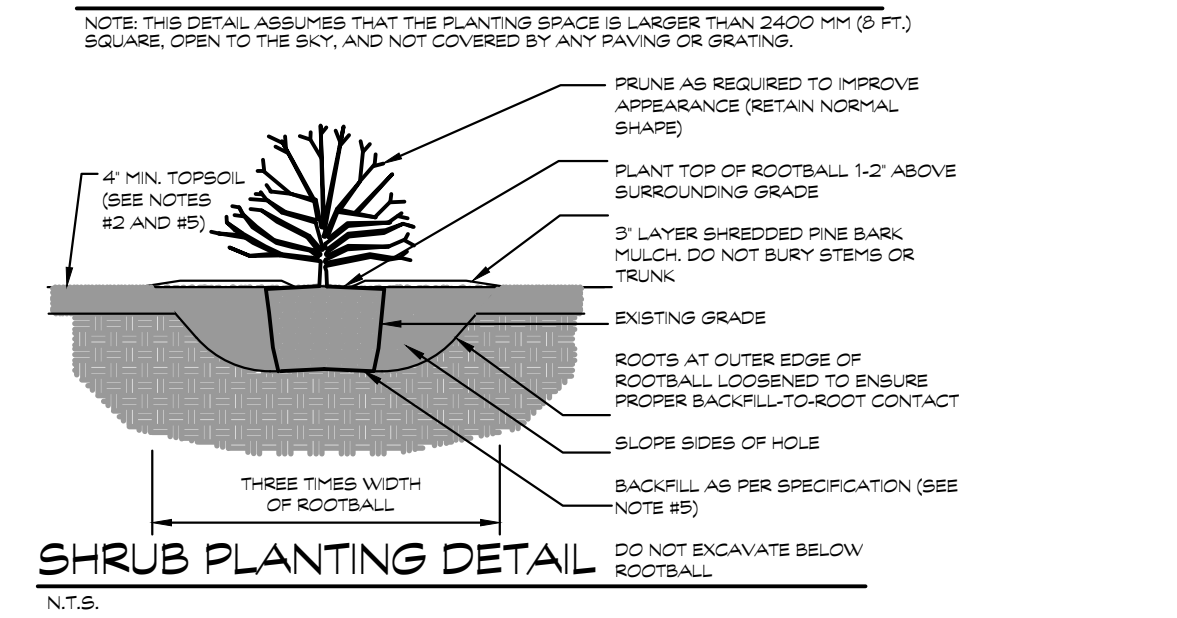
TOWN COMMENTS	1/16/2025
TOWN COMMENTS	4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER)	NO DATE

LANDSCAPING CALCULATIONS

STREET TREE CALCULATIONS & PLANT LIST (PLANTED AT 40' INTERVALS PER UDO 7.4.L)					
CANOPY STREET TREES PROVIDED:		419 TREES			
ACER RUBRUM (AR)	RED MAPLE	71 TREES			
CARPINUS CAROLINIANA (CB)	AMERICAN HORNBEAM	70 TREES			
NYSSA SYLVATICA WILDFIRE (NS)	BLACK GUM	71 TREES			
QUERCUS ALBA (QA)	WHITE OAK	71 TREES			
QUERCUS RUBRA (QR)	EASTERN RED OAK	68 TREES			
ULMUS AMERICANA (UA)	AMERICAN ELM	68 TREES			
20' TYPE B BUFFER					
TOTAL LENGTH OF TYPE BUFFER TO BE PLANTED		8550 LF			
CANOPY TREES REQUIRED (3 PER 100 LF):		251 TREES			
UNDERSTORY TREES REQUIRED (5 PER 100 LF):		428 TREES			
SHRUBS REQUIRED (20 PER 100 LF):		1710 SHRUBS			
CANOPY TREES PROVIDED:		251 TREES			
ACER RUBRUM (AR)	RED MAPLE	128 TREES			
ULMUS AMERICANA (UA)	AMERICAN ELM	129 TREES			
UNDERSTORY TREES PROVIDED:		428 TREES			
PRUNUS CAROLINIANA (PR)	CHERRY LAUREL	143 TREES			
MAGNOLIA VIRGINIANA (MV)	SWEETBAY MAGNOLIA	143 TREES			
ILEX CASSINE (IL)	DAHOOH HOLLY	142 TREES			
SHRUBS PROVIDED:		1710 SHRUBS			
HYDRANGEA ARBORESCENS (HA)	HYDRANGEA	570 SHRUBS			
ILEX GLABRA (IG)	INKBERRY HOLLY	570 SHRUBS			
MYRICA CERIFERA (MC)	WAX MYRTLE	570 SHRUBS			
PARKING AREA TREES PROVIDED:					
CANOPY STREET TREES PROVIDED:		6 TREES			
ACER RUBRUM (AR)	RED MAPLE	3 TREES			
ULMUS AMERICANA (UA)	AMERICAN ELM	3 TREES			
PLANT LIST:					
CANOPY TREES					
KEY	BOTANICAL NAME	COMMON NAME	MIN. CAL/HT	MATURE HT/SPREA	NATIVE?
AR	ACER RUBRUM	RED MAPLE	3/10' MIN.	55/40'	YES
CB	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3/10' MIN.	50/40'	YES
NS	NYSSA SYLVATICA WILDFIRE	BLACK GUM	3/10' MIN.	50/30'	YES
QA	QUERCUS ALBA	WHITE OAK	3/10' MIN.	70/50'	YES
QR	QUERCUS RUBRA	EASTERN RED OAK	3/10' MIN.	70/50'	YES
UP	ULMUS AMERICANA	AMERICAN ELM	3/10' MIN.	70/50'	YES
TOTAL					
UNDERSTORY TREES					
KEY	BOTANICAL NAME	COMMON NAME	MIN. CAL/HT	MATURE HT/SPREA	QTY.
IL	ILEX CASSINE	DAHOOH HOLLY	1 1/2' MIN.	20/15'	YES
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1 1/2' MIN.	20/20'	YES
PR	PRUNUS CAROLINIANA	CHERRY LAUREL	1 1/2' MIN.	20/15'	YES
TOTAL					
SHRUBS					
KEY	BOTANICAL NAME	COMMON NAME	MIN. HT	MATURE HT/SPREA	QTY.
HA	HYDRANGEA ARBORESCENS	HYDRANGEA	36' MIN.	6/6'	YES
IG	ILEX GLABRA	INKBERRY HOLLY	36' MIN.	8/8'	YES
MC	MYRICA CERIFERA	WAX MYRTLE	36' MIN.	10/8'	YES
TOTAL					



TREE PLANTING DETAIL
B&B TREES IN ALL SOIL TYPES

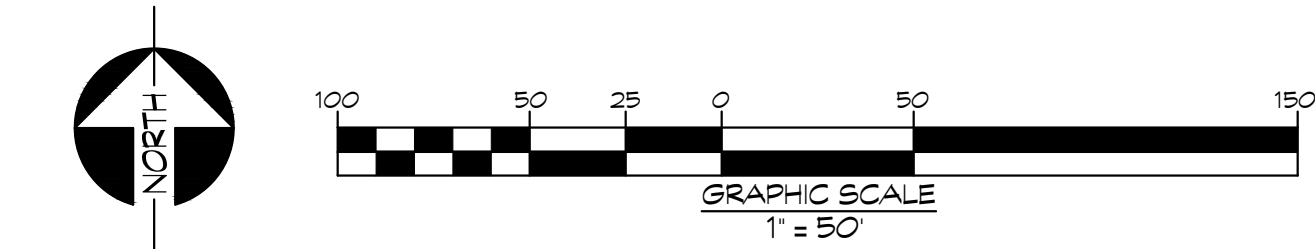
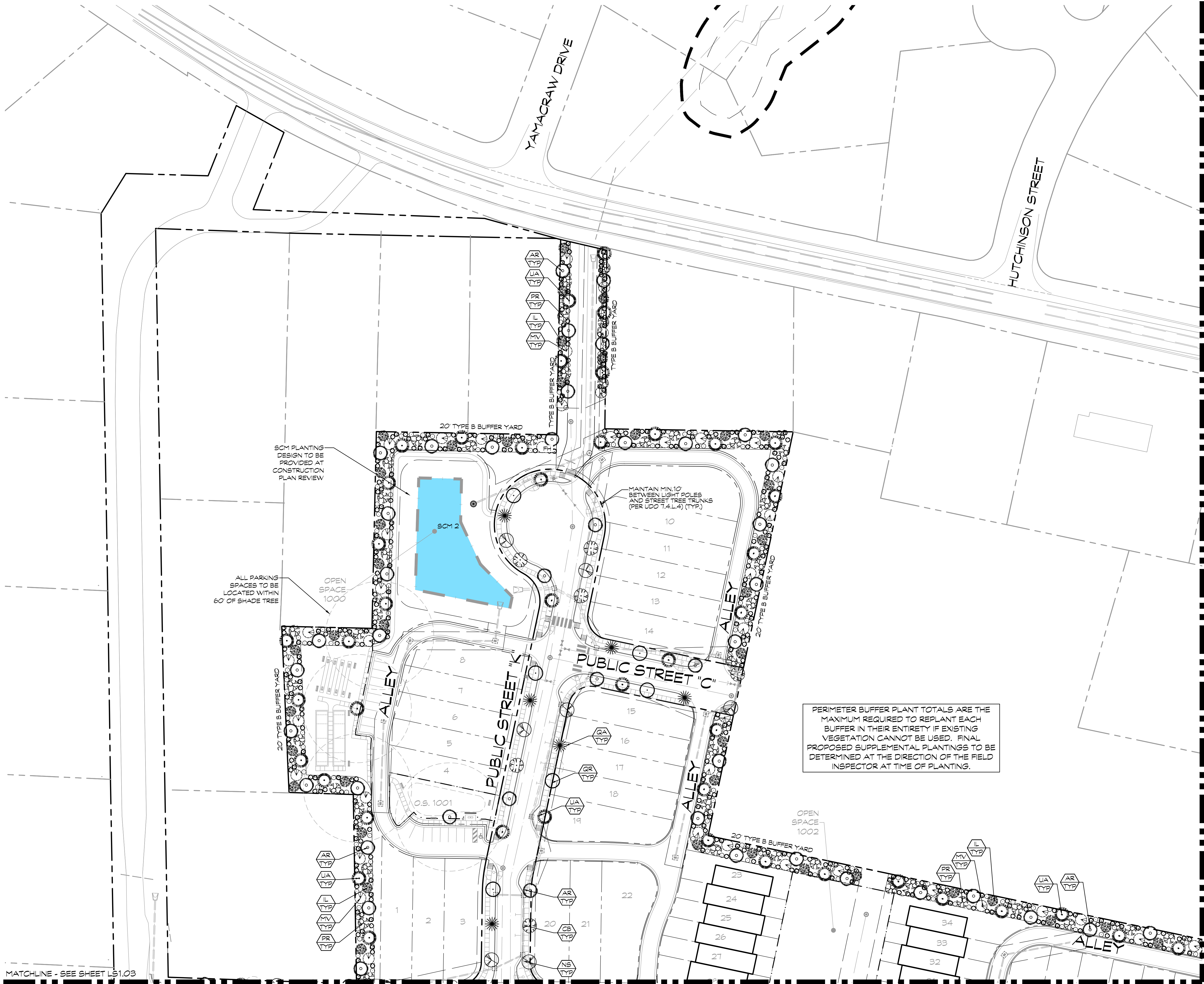


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TERRAVITA
MASTER TERRAIN REVIEW DRAWINGS

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SHEET #
LS1.00



TYPICAL LOT PLANTING DETAIL

FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF TWO (2) FEET IN HEIGHTS AND AT FOUR (4) FOOT INTERVALS.

(1) TREE PER 2000 SF OF LOT AREA

LOT PLANTING TYPE/SPECIES TO BE DETERMINED AT TIME OF INDIVIDUAL LOT CONSTRUCTION. AMOUNTS SHOWN HEREIN ARE BASED ON THE MINIMUM REQUIREMENTS SET FORTH IN THE TOWN OF KNIGHTDALE UDO SECTION 7.4.K. LOT PLANTING QUANTITIES ARE NOT INCLUDED IN THE CALCULATIONS SHOWN ON THESE PLANS.

ALL TREE SPECIES SHALL BE NATIVE TO NC AND CHOSEN BASED ON THE TOWN'S APPROVED LIST AT THE TIME OF PLANTING.

TYPE B BUFFER TYPICAL PLANTING

(20) SHRUBS

(3) CANOPY TREES

(5) UNDERSTORY TREES

(TYP. 100' SECTION)

LANDSCAPE MATERIAL	
3 CANOPY TREES	@ MIN. 3' CAL/10' HEIGHT AT PLANTING
5 UNDERSTORY TREES	@ MIN. 1.25' CAL/6' HEIGHT AT PLANTING
20 SHRUBS (12'-15' SPREAD)	@ MIN. 3 GAL/15' HT AT PLANTING

- STREET TREE PLANTINGS (PER UDO 7.4.L)**
- ALL DEVELOPMENT SHALL BE REQUIRED TO HAVE STREET TREES ALONG ALL PUBLIC RIGHTS-OF-WAY IN ACCORDANCE WITH THE ILLUSTRATIONS OF STREET CLASSIFICATION AND DESIGN FOUND IN SECTION 10.4 (A). STREET TREES ARE NOT REQUIRED ALONG PUBLIC RIGHTS-OF-WAY IN THE OPEN SPACE PRESERVE (OSP) ZONING DISTRICT.
 - THE SPECIES OF EVERY OTHER TREE ALONG A STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE SPECIES DIVERSITY.
 - STREET TREES SHALL BE CANOPY TREES AND SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF FORTY (40) FEET ON CENTER IN A PLANTING STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH WHERE OVERHEAD UTILITIES EXIST PRIOR TO DEVELOPMENT. UNDERSTORY TREES MAY BE SUBSTITUTED, AS APPROVED BY THE LAND USE ADMINISTRATOR, THE PLANTING STRIP SHALL BE LOCATED AS DETAILED BELOW.
 - TOWN OF KNIGHTDALE ROADWAYS, ON ROADWAYS UNDER TOWN OF KNIGHTDALE JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED BETWEEN THE SIDEWALK AND ROADWAY.
 - NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROADWAYS, ON ROADWAYS UNDER NCDOT JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED IN ACCORDANCE WITH APPLICABLE NCDOT SPECIFICATIONS.
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- PROPOSED CANOPY TREE LEGEND:**
- | | | |
|--|-------------------------------|-------------------|
| | NYSSA SYLVATICA WILDFIRE (NS) | BLACK GUM |
| | QUERCUS RUBRA (QR) | EASTERN RED OAK |
| | QUERCUS ALBA (QA) | WHITE OAK |
| | CARPINUS CAROLINIANA (CB) | AMERICAN HORNBEAM |
| | ACER RUBRUM (AR) | RED MAPLE |
| | ULMUS AMERICANA (UA) | AMERICAN ELM |
- PROPOSED UNDERSTORY TREE LEGEND:**
- | | | |
|--|--------------------------|-------------------|
| | PRUNUS CAROLINIANA (PR) | CHERRY LAUREL |
| | MAGNOLIA VIRGINIANA (MV) | SWEETBAY MAGNOLIA |
| | ILEX CASSINE (IL) | DAHON HOLLY |
- PROPOSED SHRUB LEGEND:**
- | | | |
|--|----------------------------|----------------|
| | ILEX GLABRA (G) | INKBERRY HOLLY |
| | MYRICA CERIFERA (MC) | WAX MYRTLE |
| | HYDRANGEA ARBORESCENS (HA) | HYDRANGEA |

LEGEND

PROPOSED LIGHT

NEUSE RIVER BUFFER BOUNDARY LINE

TREE PROTECTION FENCING

HATCH LEGEND

PUDE = PUBLIC DRAINAGE EASEMENT

PRDE = PRIVATE DRAINAGE EASEMENT

PRIVATE SCM MAINTENANCE & ACCESS ESMT

SEWER EASEMENT

TREE SAVE/ REPLANTED AREA

STREAM BUFFER

WETLANDS

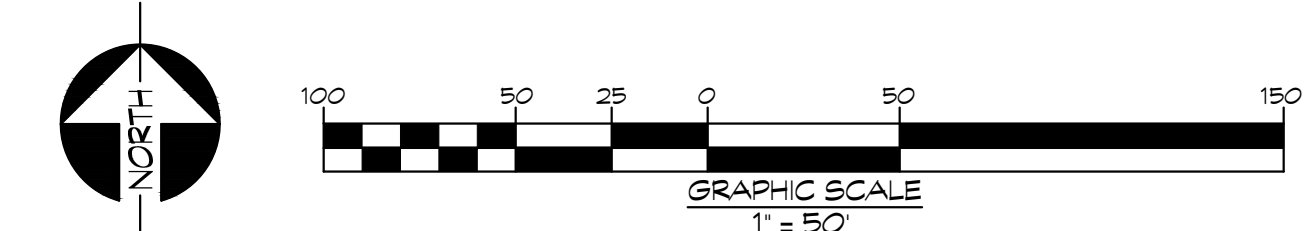
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NOTE:
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NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

MATCHLINE - SEE SHEET LS1.01



TYPICAL LOT PLANTING DETAIL

FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF TWO (2) FEET IN HEIGHT AND AT FOUR (4) FOOT INTERVALS.

(1) TREE PER 2000 SF OF LOT AREA

LOT PLANTING TYPE/SPECIES TO BE DETERMINED AT TIME OF INDIVIDUAL LOT CONSTRUCTION. AMOUNTS SHOWN HEREIN ARE BASED ON THE MINIMUM REQUIREMENTS SET FORTH IN THE TOWN OF KNIGHTDALE UDO SECTION 7.4.K. LOT PLANTING QUANTITIES ARE NOT INCLUDED IN THE CALCULATIONS SHOWN ON THESE PLANS.

ALL TREE SPECIES SHALL BE NATIVE TO NC AND CHOSEN BASED ON THE TOWN'S APPROVED LIST AT THE TIME OF PLANTING.

TYPE B BUFFER TYPICAL PLANTING

(20) SHRUBS
(3) CANOPY TREES
(5) UNDERSTORY TREES

(TYP. 100' SECTION)

LANDSCAPE MATERIAL	
3 CANOPY TREES @ MIN. 3' CAL/10' HEIGHT AT PLANTING	
5 UNDERSTORY TREES @ MIN. 1.25' CAL/6' HEIGHT AT PLANTING	
20 SHRUBS (12'-15' SPREAD) @ MIN. 3 GAL/15' HT AT PLANTING	

- ### STREET TREE PLANTINGS (PER UDO 7.4.L)
- ALL DEVELOPMENT SHALL BE REQUIRED TO HAVE STREET TREES ALONG ALL PUBLIC RIGHTS-OF-WAY IN ACCORDANCE WITH THE ILLUSTRATIONS OF STREET CLASSIFICATION AND DESIGN FOUND IN SECTION 10.4 (A). STREET TREES ARE NOT REQUIRED ALONG PUBLIC RIGHTS-OF-WAY IN THE OPEN SPACE PRESERVE (OSP) ZONING DISTRICT.
 - THE SPECIES OF EVERY OTHER TREE ALONG A STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE SPECIES DIVERSITY.
 - STREET TREES SHALL BE CANOPY TREES AND SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF FORTY (40) FEET ON CENTER IN A PLANTING STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH. WHERE OVERHEAD UTILITIES EXIST PRIOR TO DEVELOPMENT, UNDERSTORY TREES MAY BE SUBSTITUTED, AS APPROVED BY THE LAND USE ADMINISTRATOR, THE PLANTING STRIP SHALL BE LOCATED AS DETAILED BELOW.
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- ### PROPOSED CANOPY TREE LEGEND:
- | | | |
|--|-------------------------------|-------------------|
| | NYSSA SYLVATICA WILDFIRE (NS) | BLACK GUM |
| | QUERCUS RUBRA (QR) | EASTERN RED OAK |
| | QUERCUS ALBA (QA) | WHITE OAK |
| | CARPINUS CAROLINIANA (CB) | AMERICAN HORNBEAM |
| | ACER RUBRUM (AR) | RED MAPLE |
| | ULMUS AMERICANA (UA) | AMERICAN ELM |
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- | | | |
|--|--------------------------|-------------------|
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| | MAGNOLIA VIRGINIANA (MV) | SWEETBAY MAGNOLIA |
| | ILEX CASSINE (IL) | DAHOOH HOLLY |
- ### PROPOSED SHRUB LEGEND:
- | | | |
|--|----------------------------|----------------|
| | ILEX GLABRA (IG) | INKBERRY HOLLY |
| | MYRICA CERIFERA (MO) | WAX MYRTLE |
| | HYDRANGEA ARBORESCENS (HA) | HYDRANGEA |

LEGEND

	PROPOSED LIGHT
	NEUSE RIVER BUFFER BOUNDARY LINE
	TREE PROTECTION FENCING

HATCH LEGEND

	PUDE = PUBLIC DRAINAGE EASEMENT		TREE SAVE/REPLANTED AREA
	PRDE = PRIVATE DRAINAGE EASEMENT		STREAM BUFFER
	PRIVATE SCM MAINTENANCE & ACCESS ESMT		WETLANDS
	SEWER EASEMENT		

PLAN SHALL UTILIZE NATIVE SPECIES EXCLUSIVELY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ANY SUBSTITUTIONS TO THE PLANTINGS LISTED ON THESE PLANS ARE NATIVE

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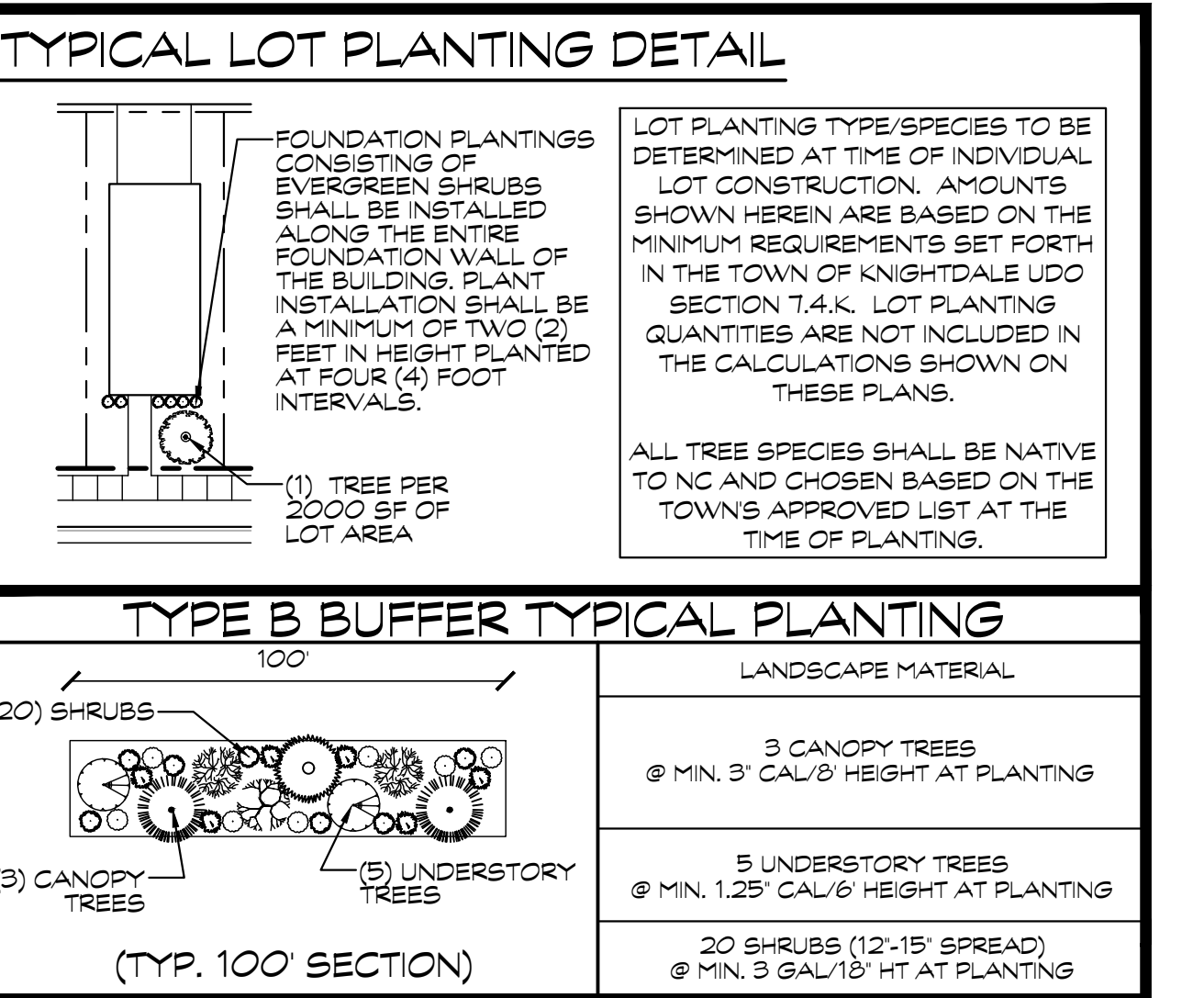
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VE (NCSR 2969)

MATCHLINE - SEE SHEET LS1.04



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 - B. NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROADWAYS, ON ROADWAYS UNDER NCDOT JURISDICTION THE PLANTING STRIP SHALL BE LOCATED IN ACCORDANCE WITH APPLICABLE NCDOT SPECIFICATIONS.
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	QUERCUS RUBRA (QR)	EASTERN RED OAK
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	CARPINUS CAROLINIANA (CB)	AMERICAN HORNBEAM
	ACER RUBRUM (AR)	RED MAPLE
	ULMUS AMERICANA (UA)	AMERICAN ELM

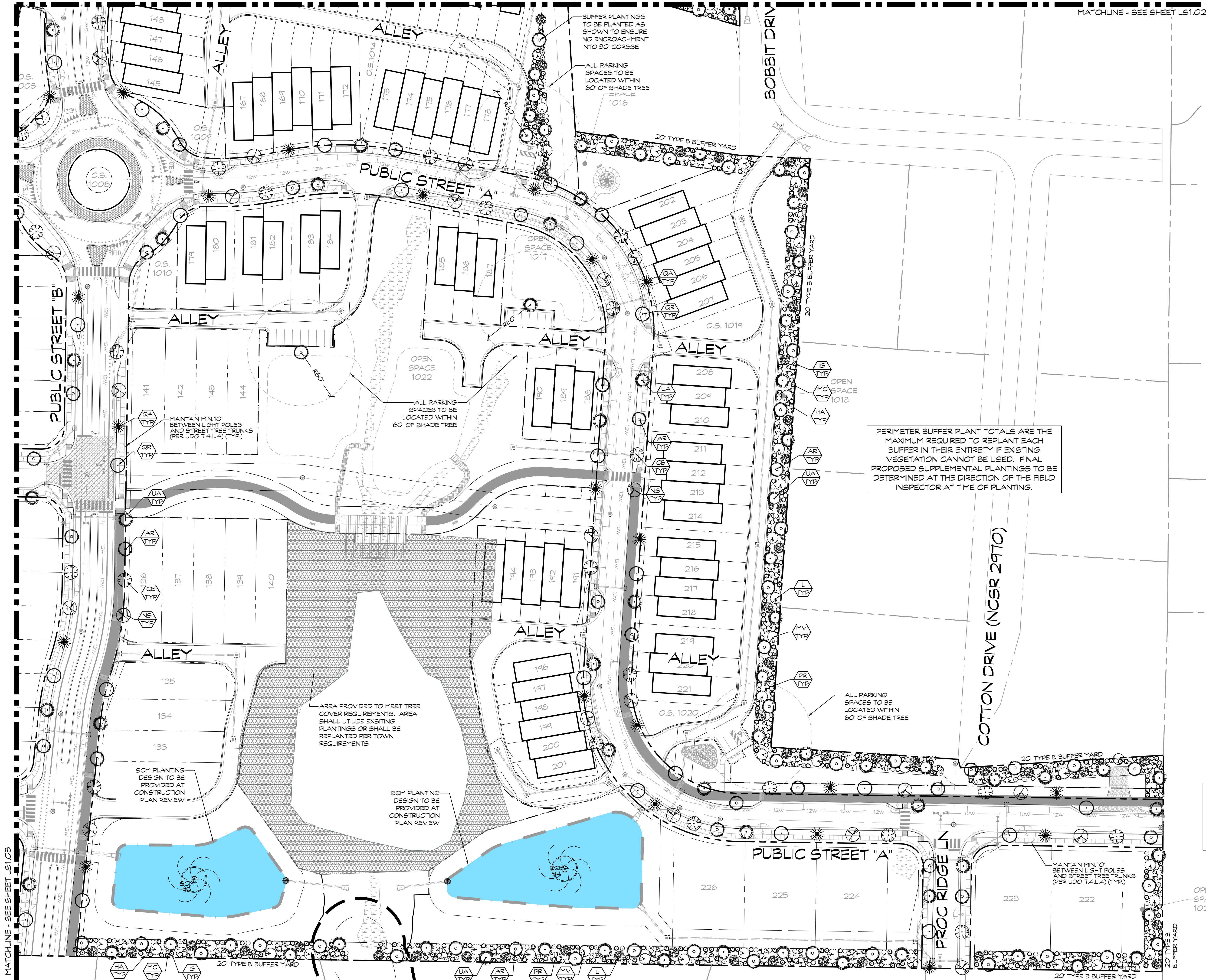
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 ILEX CASSINE (IL) _____ DAHOON HOLLY

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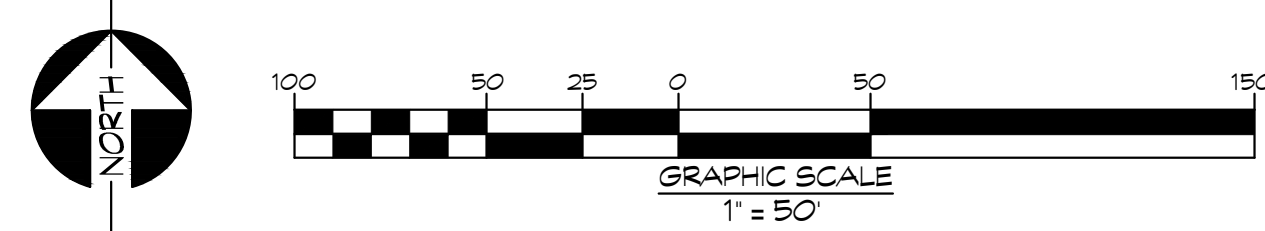
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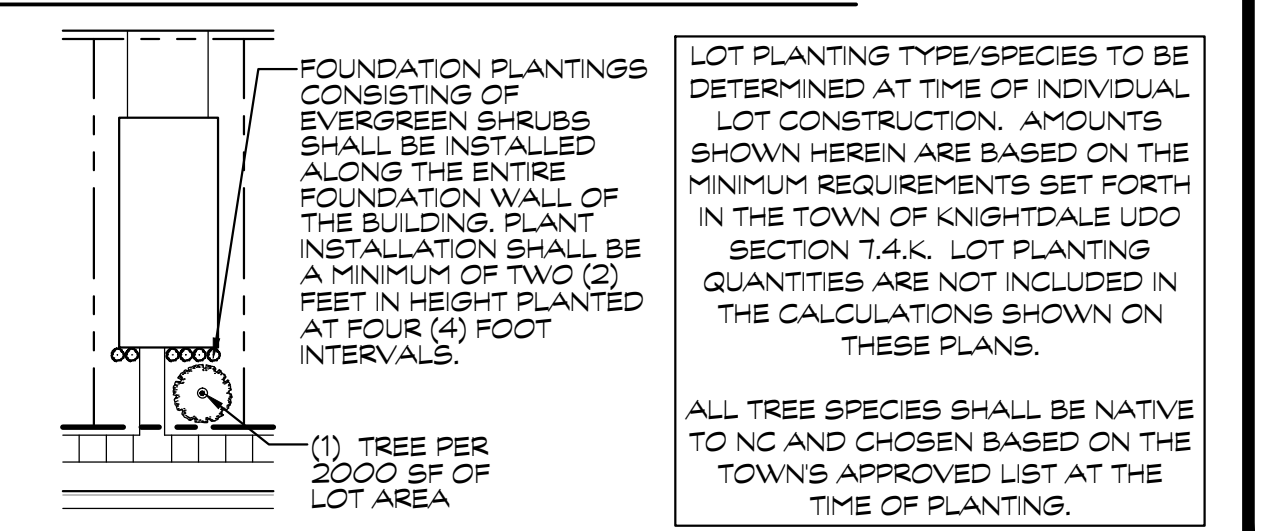
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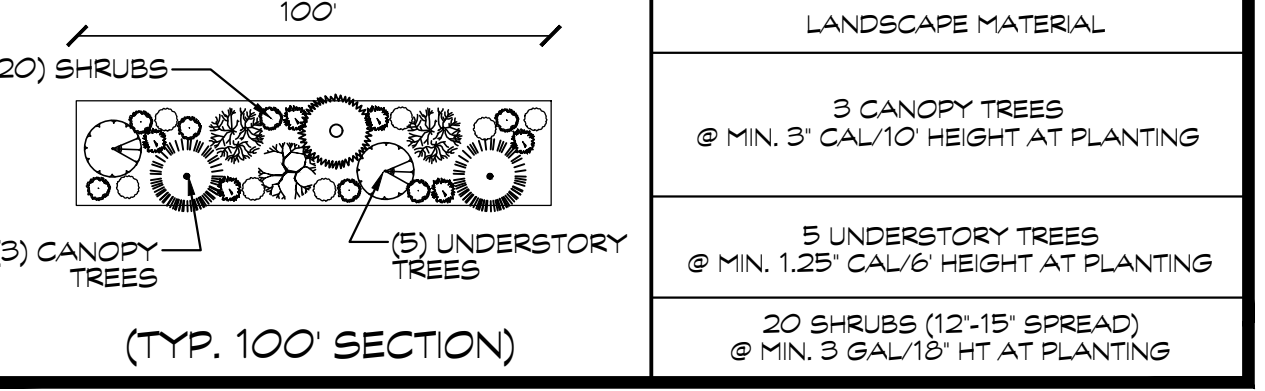
MATCHLINE - SEE SHEET LS1.02



TYPICAL LOT PLANTING DETAIL



TYPE B BUFFER TYPICAL PLANTING



STREET TREE PLANTINGS (PER UDO 7.4.L)

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- NYSSA SYLVATICA WILDFIRE (NS)
- QUERCUS RUBRA (QR)
- QUERCUS ALBA (QA)
- CARPINUS CAROLINIANA (CB)
- ACER RUBRUM (AR)
- ULMUS AMERICANA (UA)
- BLACK GUM
- EASTERN RED OAK
- WHITE OAK
- AMERICAN HORNBEAM
- RED MAPLE
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PROPOSED SHRUB LEGEND:

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- INKBERRY HOLLY
- WAX MYRTLE
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- TREE PROTECTION FENCING

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- TREE SAVE/REPLANTED AREA
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TERRAVITA MASTER PLAN REVIEW DRAWINGS

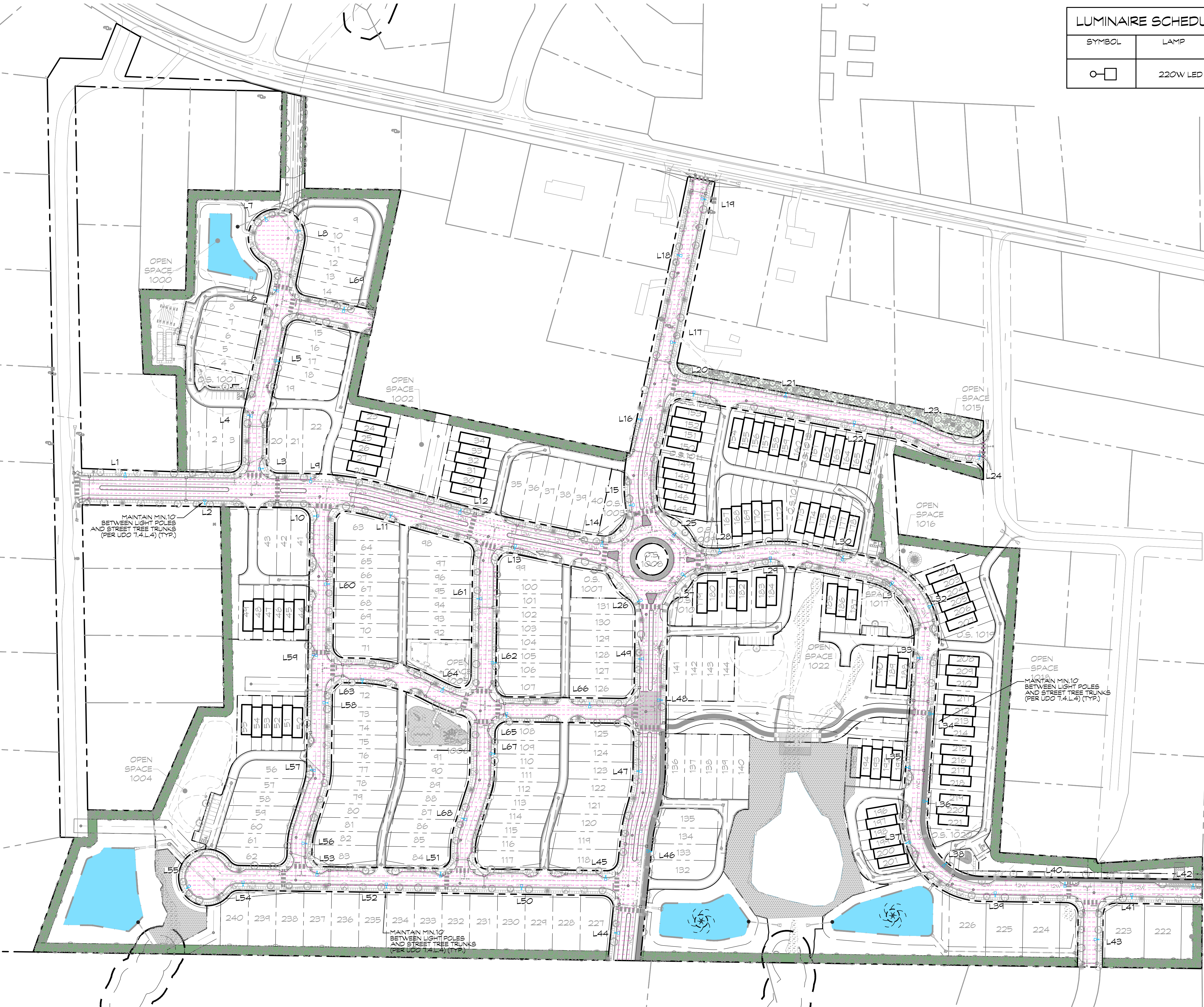
SCALE: 1"=50'
DATE: NOVEMBER 25, 2024
PROJECT NUMBER: 2023-002.001
CLIENT: SITE INVESTMENTS, LLC
PLAN TYPE: MASTER PLAN REVIEW

PRELIMINARY LANDSCAPE PLAN ENLARGED AREA 4

TOWN COMMENTS: 1/16/2025
TOWN COMMENTS: 4/2/2025
RELEASED FOR CONSTRUCTION DATE: (SEE COVER) NO DYES

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET # LS1.04



LUMINAIRE SCHEDULE						
SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	QUANTITY	LUMENS
	220W LED	COOPER LIGHTING - STREETWORKS, GAN-AE-O4-LED-U-T4W	ELECTRONIC	25' BLACK POLE, UNLESS OTHERWISE NOTED	69	18,500

SHOEBOX LED
(Meets Dark Sky Criteria)

Outdoor Lighting

LED (Light-emitting diode) 150 | 220 | 420 | 530 watts

Mounting height 25', 30', 35'

Color Black | Bronze | Gray | White

Pole Fiberglass (1 or 2 fixtures per pole)
Decorative tapered metal
Decorative square metal

Applications Neighborhoods
Roadways
Shopping centers

Light source: LED (white)

Wattage: 150 | 220 | 420 | 530 watts

Light pattern: IES Type V | Type IV (forward throw) | Type III

IESNA cutoff classification: Full-cutoff

BUG rating: 150W Type III = B2U0G3 / Type IV = B3U0G4 / Type V = B5U0G3
220W Type III = B2U0G4 / Type IV = B3U0G4 / Type V = B4U0G3
420W Type IV = B3U0G5 / Type V = B5U0G5
530W Type IV = B3U0G5 / Type V = B5U0G5

Color temperature: 4,000K

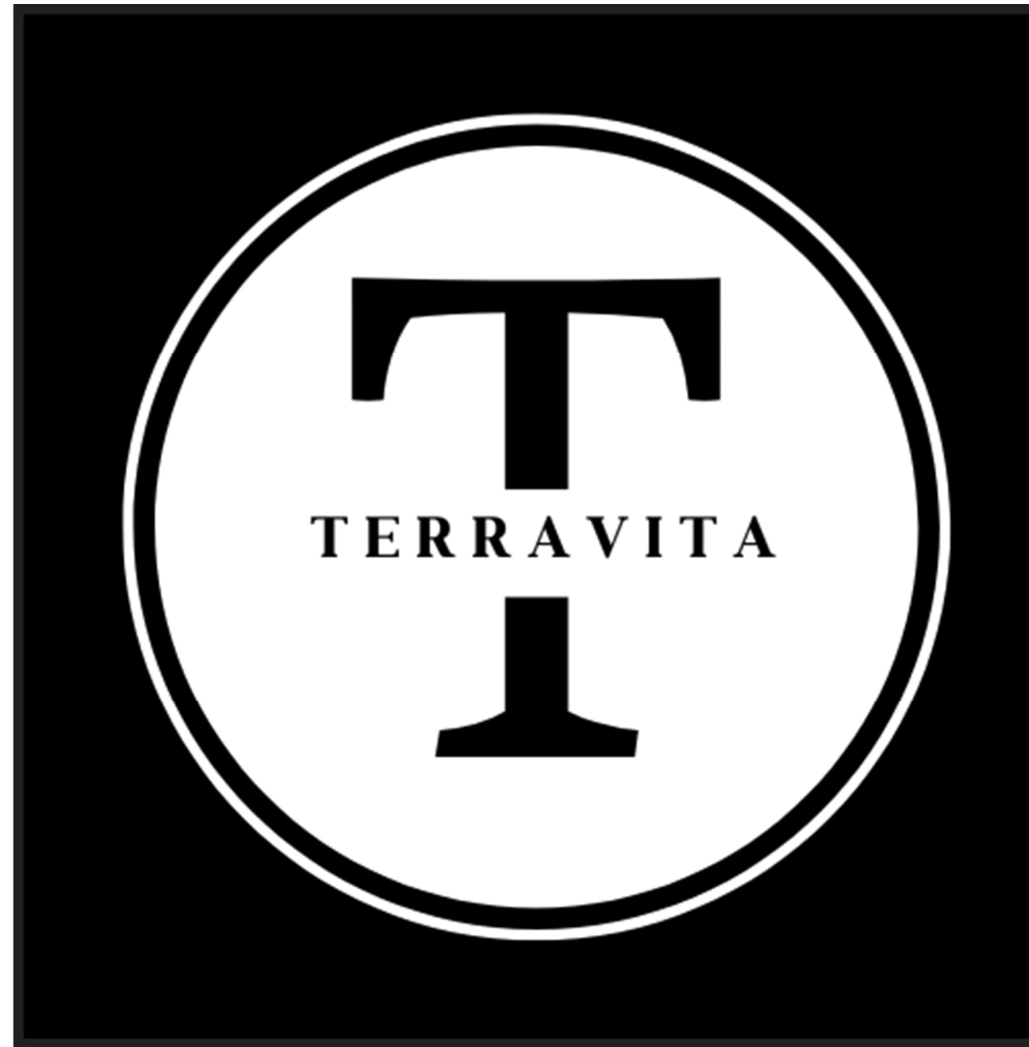
POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, email us at ODLCarolina@duke-energy.com.

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PLANNED UNIT DEVELOPMENT

Town of Knightdale N. Carolina

Case Number ZMA-4-23

November 25, 2024

Resubmitted January 16, 2025

Resubmitted April 2, 2025

TERRAVITA

GR8 PLANNED UNIT DEVELOPMENT ZMA-4-23
0 Buffalo Road Knightdale, North Carolina

OWNERS

SITE INVESTMENTS LLC, Mike Jordan , Manager
933 OLD KNIGHT ROAD KNIGHTDALE, NC 27544
PIN 1755863977

12609 RICHMOND LLC
4601 SIX FORKS RD, SUITE 400 RALEIGH NC 27609
PIN 1775787080

DESIGN TEAM

Entitlement Preservation Group
Charles R Walker III, Principal
Master Planning/ Zoning

Priest, Craven and Associates, Inc
Tommy Craven, President
Civil Engineering / Surveying

Soil and Environmental Consultants
Steven Ball
Wetland, Soils, and Buffer Consultants

DRMP
Chase Smith / Rynal Stephenson
Traffic Engineering

LONGLEAF LAW PARTNERS
Michael Birch
Legal

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Community Vision and Intent

Terravita will be an exceptional addition toward the trend of planned communities that are being created within Town limits under the UDO Guidelines Comprehensive Plan and Playbook Structure. Within its limits of this approximately 60 AC Infill Development and Mixed-Density Neighborhood, it will provide a mixture of housing styles from two and three-story townhomes to several examples of single-family detached opportunities. Its overall development will include both active and passive open spaces, small play areas and open spaces spread throughout the neighborhood as well as two public art locations. We also embrace the existing developments around the Project by extending the chance to live within the Town and extending the area's road network.

Section 2.4.C. of the Town of Knightdale Unified Development Ordinance states that, “the Planned Unit Development Overlay District process encourages creativity and innovation in the design of developments through a master planning process that allows for flexibility from underlying zoning as approved by the Town Council.”

Section 12.2.G.3.g.ii states that “approval of a development through a Planned Unit Development Overlay District rezoning, including modifications to the requirements of this UDO is a privilege and will be considered by the Town only in direct response to the accrual of tangible benefits from the planned unit development to the Town of the neighborhood in which it would be located.”

Toward those goals, we offer the following:

- Exceptional passive and active recreational amenities spread throughout the site.
- Environmental protection and enhancement, landscape and architectural detailing, sense of place, and the mixture of more affordable housing opportunities.
- Conservation of natural features of the site and retaining the existing Pond

Terravita proposal intends to meet the Planned Unit Development Overlay District requirements per Town of Knightdale UDO Section 12.2.G.3.g.ii.a. through the following findings:

Comprehensive Plan

The design of Terravita responds to the growth framework, greenway trails, vision, as well as help implement recommendations of the Affordable Knightdale Plan as described in the KnightdaleNext V.2 2035 Comprehensive Plan. It will be the next step of the expanding Planned Unit Developments in the Area such as Haywood Green, Weldon, and Brio.

Impact on Other Properties

Terravita is proposed as a mixed-density neighborhood and infill development as described in the Comprehensive Plan. Currently, the adjacent land uses consist of older existing single-family residences, mostly developed in the '60s and 70's to the North, East, and West. To the South is Horton Mill a larger-lot County-designed subdivision using NCDOT roads, septic fields and wells and the recently approved PUD Weldon (currently under construction). The Project will use and help to provide increased vehicular connectivity and access to extend the public greenway trail. A combination of perimeter open space/play areas, and provided buffers will provide a transition between the neighbors and the Project. Additionally, The Project also provides similar lot configurations along the common borders with Weldon and Horton Mill.

Impact on Public Facilities & Resources

Terravita will extend adequate utilities, road access, drainage, and other necessary facilities to properly serve the new residents of the Project. It will connect to water and sewer by extending the utilities currently under construction at Weldon. The Developers of the Terravita Project in a joint venture with the developers of Weldon and the City of Raleigh are committed to extending and upgrading the existing system as required to serve both Terravita and Weldon facilities.

Archaeological, Historical, or Cultural Impact

The design of Terravita maintains the majority of the riparian buffers on the site as well as the existing pond which will become an open space and recreation focal point.

There are no archaeological or historical structures, on site.

Public Welfare

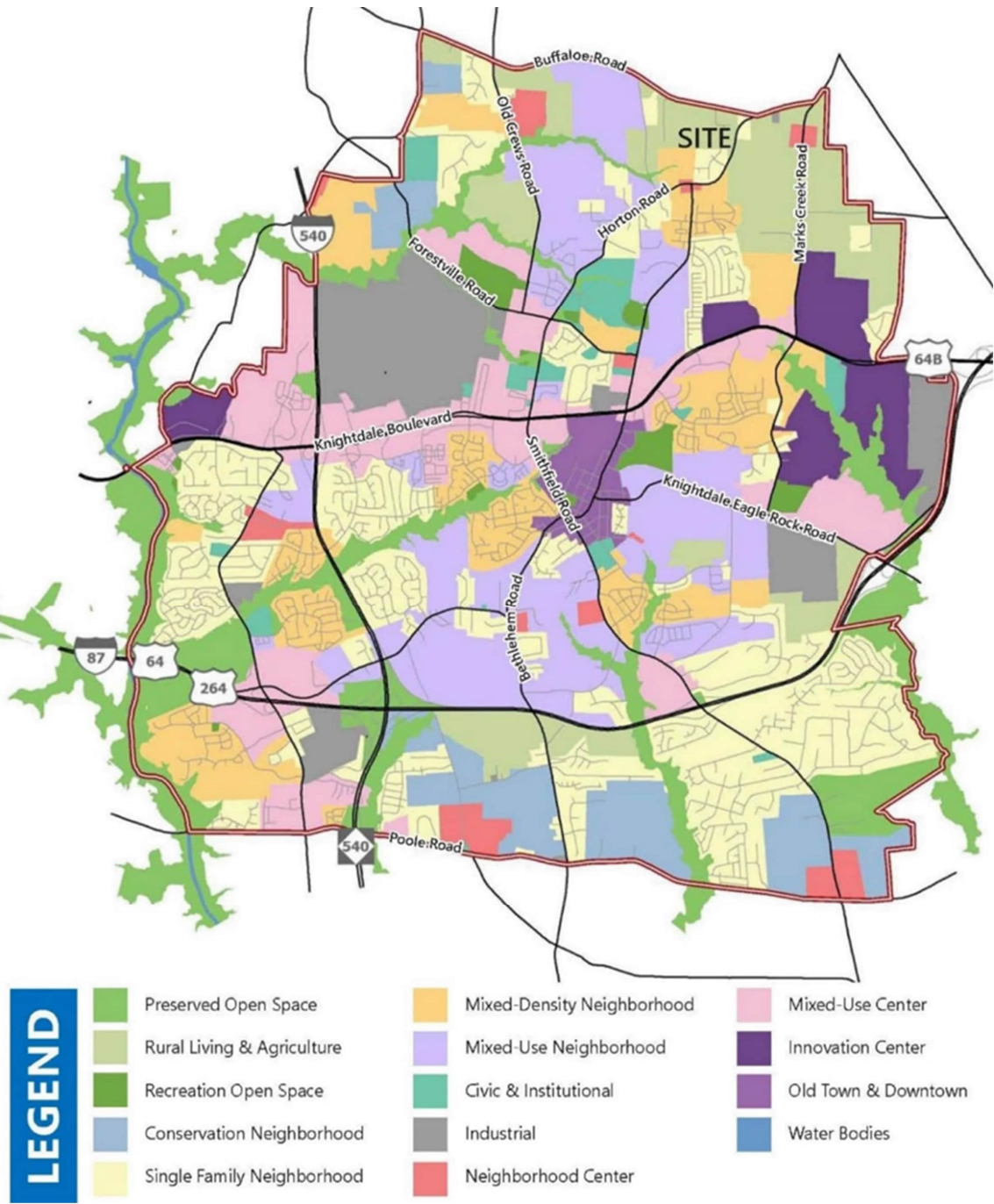
Terravita will maintain the majority of the riparian buffers and wetlands that are onsite. The Project will also improve pedestrian and vehicular connectivity, expand open space, expand Public Greenways and help supply more affordable housing choices, including “Missing Middle” in the area.

Parking & Traffic

Internally, Terravita will be a pedestrian-friendly community. The mixture of housing types is mostly rear-loaded and also has on-street parking areas included in the neighborhood road network. The current Master Plan also shows at least five access points to surrounding Properties. As required by the Code, sight distance triangles will be protected. All street radii are adequate for emergency vehicle access. The greenway trail and sidewalk connections will be clear and will provide a safe pedestrian connection through the Project.

Buffering

A voluntary 20’ Type B Buffer yard is proposed along the entire perimeter of Terravita, with the exception of utility, easements or construction, conflicts which will provide visual privacy and seperation between the older subdivisions that currently do not have perimeter buffers. Within the Project, appropriate riparian and wetland buffers will be protected.



Comprehensive Plan Consistency

Growth Framework

This application is to propose a rezoning from RT to G8-PUD. If approved, it would advance the goals as described in the KnightdaleNext V.2 2035 Comprehensive and Affordable Knightdale Plans.

Terravita is located near a Neighborhood Node but currently within the Rural Planning area as identified in the Growth Framework Plan. Changing the future land use from Rural Living & Agriculture to a more dense walkable neighborhood would support the neighborhood node recently approved in Weldon. Higher-density projects with extensive open space create more walkable, pedestrian-friendly neighborhoods.

The KnightdaleNext V.2 2035 Comprehensive Plan uses a ‘playbook approach’ to guide future growth and development. The Terravita application aligns with the Playbook approach to guiding principles, and is currently listed as a “Growth Reserve Area”. With the availability to extend utilities and add to the street infrastructure in the area, Terravita can move forward to become a successful mixed-density neighborhood.

As designed, Terravita intends to address as many as possible of Knightdale’s Guiding Principles of Planned and Orderly Growth, Town-wide place making, Inclusive Livable Town, Home and Neighborhood Choices, Environmental Stewardship/Sustainability, Community Facilities, and Economic Viability.

Terravita pedestrian opportunities honor Knightdale’s Vision of neighborhoods throughout the Town providing a sense of connection. There are sidewalks proposed on both sides of the streets and connect to private open spaces as well as the Greenway. A public Greenway will be extended from Weldon along the main avenue, through the open space park near the existing pond, and finally ending on the Project’s eastern boundary. This type of design aligns with the Trails and Greenways plan found in the Comprehensive Plan.

The Growth Framework plan also calls for all development proposals within Rural Planning areas should include public input. Terravita held an online neighborhood meeting on July 25, 2024, and presented the application. After sharing the information and answering their questions, the overall feeling was this could be a positive addition to the area.

Neighborhood nodes identify recommended retail locations for neighborhoods. While Terravita does not have the required major street frontage to support retail use, its addition to the area will help the proposed retail uses thrive in Weldon. The plan for Weldon has a commercial outparcel that will be easily accessible to the surrounding neighborhoods, including Terravita, yet small enough to meet the intended scale proposed by KnightdaleNext V.2 2035.

The proposed plan for Terravita will also provide a mixture of housing opportunities to promote a diverse and walkable community.

Guiding Principles

“The Knightdale Town Council recognizes that opportunities in the future may bring into conflict full and simultaneous implementation of the eight principles and necessitate a choice or prioritization of different principles, or the policies and recommendations that implement them. While balancing competing interests, it is the intent of the Comprehensive Plan and its guiding principles to protect the health, safety, welfare, and prosperity of the community in all of its decision-making.”

Principles that are included in the Terravita Plan include:

1. **Planned and Orderly Growth:**

Prioritize infill development and acknowledge increase densities

2. **Town-wide Place Making:**

Emphasize community character and high-quality design ideas for buildings, streets, public spaces, parking lots, signs, landscaping,

3. **Home and Neighborhood Choices:**

Dynamic neighborhoods in Knightdale should be places that provide exceptional quality-of-life, attainable and diverse housing options, and connections to neighborhood-serving uses like community gardens, parks, schools, neighborhood commercial areas, or mixed-use activity centers. New neighborhoods should continue to mix two or more home choices in the same development, including “missing middle” home choices such as single dwelling homes on small lots, townhomes, duplexes, triplexes, quadplexes, and accessory dwelling units. Neighborhoods should also organize lots around a continuous and connected system of open space that represents a prominent feature of the development.

4. **Environmental Stewardship and Sustainability:**

Create a comprehensive, continuous, and coordinated open space network for the town that promotes new parks, provides greater access to both active or passive uses, and provides interesting gathering places for residents, in different parts of the community.

The size, location, and design of open space in the community should support a resource hierarchy — community parks, neighborhood parks, and public spaces, or attractive streets for walking.

5. **Community Facilities and Services:**

Continue to improve quality-of-life for all residents of Knightdale by maintaining and expanding facilities and services to meet current and future demands—including water, sewer, roads, parks, police, and fire ensuring elected officials are good stewards in allocating finances toward town-provided services that promote compact development patterns and a high quality-of-life for town residents. Prioritize infrastructure investments that support more compact and efficient development patterns presented in the General Growth Framework

Affordable Knightdale Plan

The plan goals and objectives are thoroughly described in the Comprehensive Plan. Terravita provides many of these specific goals, from page 5 for example:

“Promote infill development and redevelopment activities for vacant and under-utilized areas of Knightdale”

“Guide future growth into more efficient and compact development patterns.”

“Promote distinct, safe, and great neighborhoods and expanded home choices throughout Knightdale”

“Missing Middle. Knightdale has already welcomed townhomes, duplexes, triplexes, and quadplexes – the housing types that fit between detached single-family homes and larger apartment buildings on the density scale. The Town will consider ways to add missing middle development where appropriate, including in areas where it hasn’t yet been permitted.” page 75

Representative Citizen quotes during the survey gathering for the Plan:

“Townhomes have been well-received in Knightdale in recent years. For those who worry about high density development, said one person, “There’s a compromise in the middle, and I think the townhome is that compromise.” Said another, “The townhomes are now considered the starter homes.” Indeed, a townhome is just a kind of single-family home that shares a wall. “The way that they approach it,” said one person, “is single-family attached and single-family detached, so that the point of single family gets across” page 33

Starter Homes Needed. “There are not enough single family starter homes for the demand in Knightdale. The new developments are mostly larger homes or fancy townhouses that are unaffordable, and that’s driving up prices for the starter homes that are available.” page 57

“Density increases can be modest, to avoid drastic changes to neighborhood character. Knightdale has long utilized “missing middle” housing types in addition to larger multifamily

developments. One person urged, “Allow for more duplexes and triplexes and zero-lot-line and more relief on building setbacks to try to bring in density.” page 40

Defined Home Types page 83

Starter Home. The name came from a family’s “first home,” but it could be desirable at any time in a family’s life. For the purposes of this Plan, it simply means a smaller home – 1,000 to 1,400 square feet. They accommodate the growing proportion of the population who live alone or in small households.

Cottage Court. A variation on the small house is the cottage court, a cluster of small, detached homes facing a shared court and ranging in size from 500 to 1,400 square feet. This design fosters a sense of community. Zoning changes are needed for the homes to be grouped on one land parcel. Cottage Court homes proposed in Terravita are attached.

Using Design Principles. Another mechanism for achieving a mixed-income neighborhood is to build a development with housing types of different sizes and different price points, with the result that naturally the units will attract individuals and families of different incomes. page 86

De-emphasize the Car. The Comprehensive Plan, Transportation Plan, and this Affordable Knightdale Plan will adopt the “Complete Streets” process adopted by the North Carolina Department of Transportation. Its goal is to design and build streets that are safe and usable for all, not only motorists. Elements include sidewalks, crosswalks, median islands, pedestrian signals, narrower travel lanes, roundabouts, and more. page 90

Mixed Density Neighborhood Components

Terravita is formed as a neighborhood that includes several housing sizes and types — single dwelling detached, duplex, triplex, quadplex, townhome, — that provide a range of home choices (lot sizes, home types, and price points) in the same neighborhood. The mixed approach accommodates residents at all stages of life, with different housing needs and preferences, to live in a multi-generational community for a lifetime. Residents can start in a smaller, less expensive option like a townhome early in life, and move to larger detached single dwelling homes on larger lots as their families grow and change. Empty nesters can downsize to a townhome without leaving the neighborhood.

In a Mixed-Density Neighborhood, homes are oriented toward a street or common open space with nearby on-street parking in front of more dense housing options. Some neighborhoods may mix housing types on the same block. Different building types should not be fully separated from each other (like pods) in a development. Neighborhoods should include a comprehensive and connected network of open space. The neighborhoods are organized around one or more neighborhood-scale parks that serve as a central gathering

place, within a five (5)-minute walk of all homes in the neighborhood. Smaller open spaces like pocket parks and community gardens are distributed throughout the neighborhood and within a short walk of homes. Lot sizes in the neighborhoods are smallest around the central gathering place, where attached types like townhome buildings may define the space. If a Mixed-Density Neighborhood is built adjacent to an existing conventional neighborhood, the variation from more dense to less dense should provide an appropriate transition.

Street & Block Pattern

- A grid street network is used throughout the neighborhood.
- Small- to medium-size blocks promote a more walkable environment.
- Stub out streets provide connections to adjacent vacant land.
- Formal, designated on-street parking throughout the neighborhood.
- Off-street parking should be accommodated at the side or rear of the lot to minimize the presence of parked automobiles on driveways along residential streets

Open Spaces & Natural Resources

- Be sensitive to existing natural resources on a site, including tree stands, steep topography, and natural drainage ways.
- Incorporate open space elements throughout the neighborhood, including common greens, squares, plazas, small parks, playgrounds, community gardens, trails, or greenways.

Building Types & Massing

- Different building types should not be fully separated from each other (like pods) in a development.

Transportation

- Streets in new neighborhoods are built as Complete Streets.
- A connected network of streets and sidewalks serves the neighborhood.
- Streets are designed with curb and gutter drainage.
- Formal tree plantings are located along streets and in open space areas.

Sustainability

- Maintain large tree stands to keep spaces cool in warmer months.

Infill Development or Redevelopment

- Provide connections via streets, sidewalks, or greenways to future neighborhoods and non-residential development.

- New, infill homes should complement adjacent existing development in terms of building height, setbacks, and architectural details.
- Install missing pedestrian and bicycle infrastructure, if possible, to existing neighborhoods

Trails & Greenways

The proposed design for Terravita creates an internal connected network of open spaces with passive and active recreational amenities while enhancing existing natural features. Central Park will mainly focus on the existing pond and the addition of public art space. The plan also helps to provide safe and convenient pedestrian and bicycle access for nearby residents through the use of sidewalks and a greenway trail that aligns with the KnightdaleNext V.2 2035 Comprehensive Plan.

The proposed greenway trail will continue from Weldon, north along the main street move along the front courtyards, into Central Park, and finally extend to the eastern boundary of the Project. It will be a combination of trails through natural areas as well as a more urban setting.

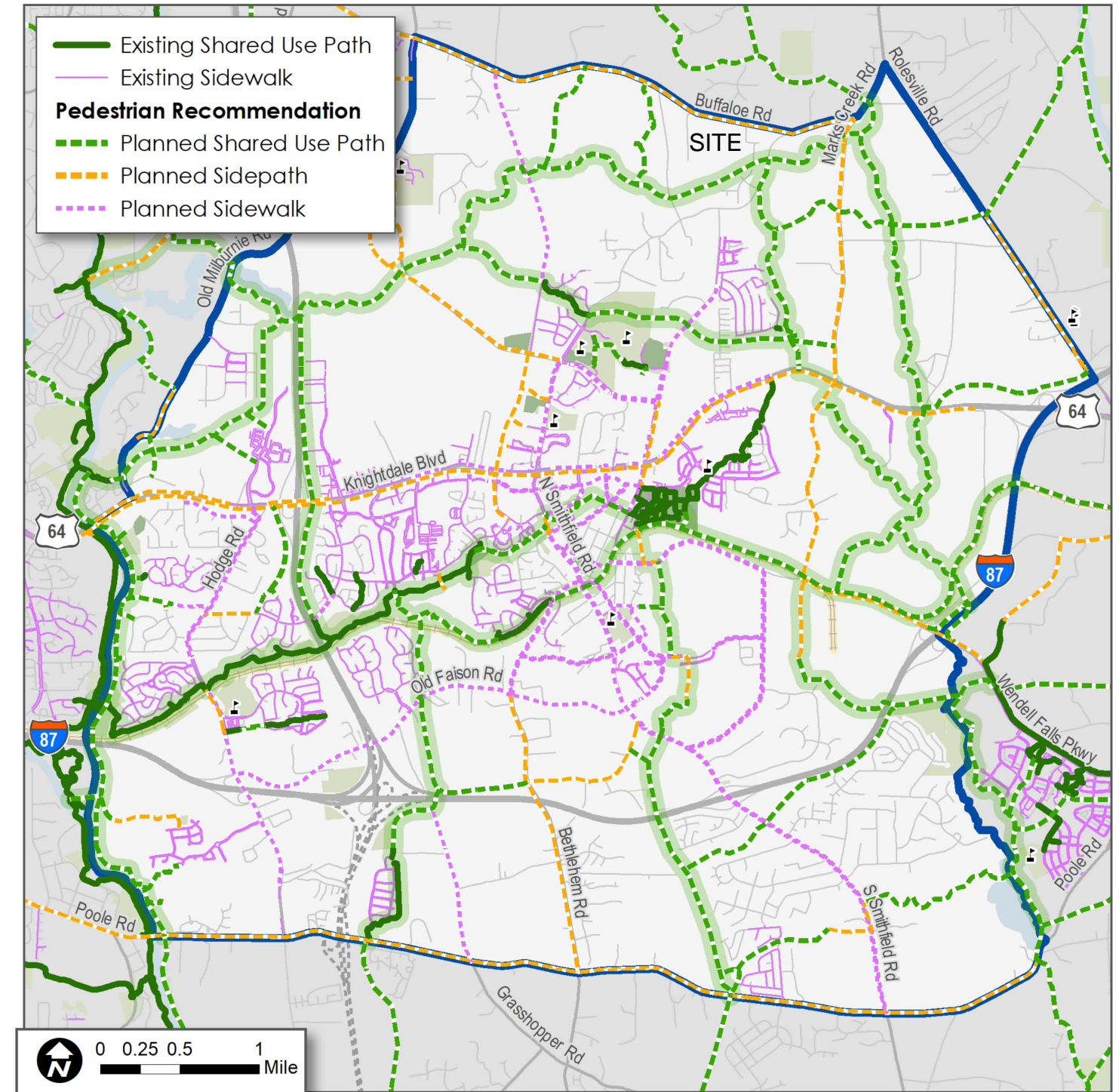
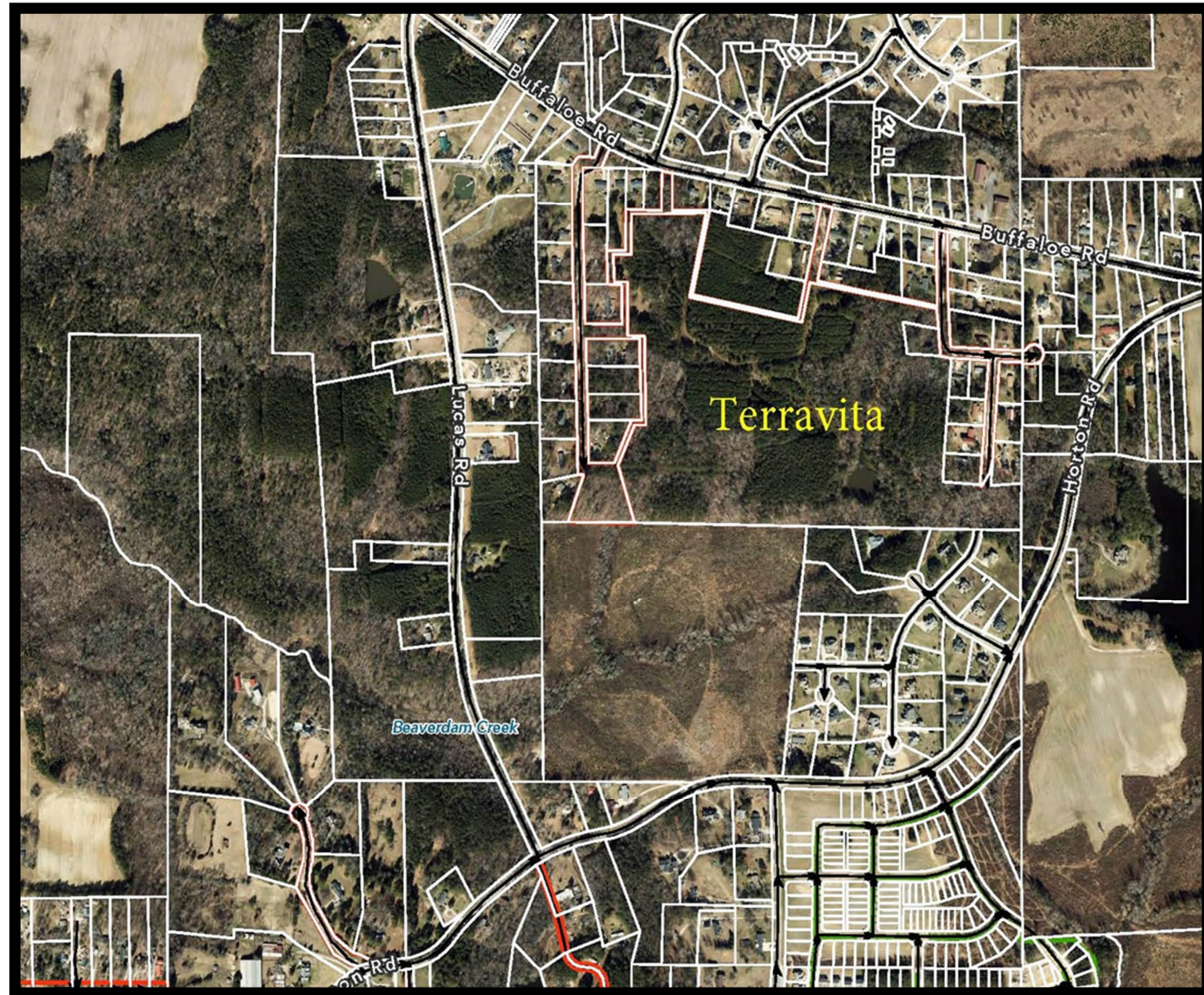


Figure 4.6: Recommended Pedestrian facility improvements.

Vicinity Map / Aerial

While both tracts that make up the area of the Project have the same address, 0 Buffalo Road the PINS are:

Site Investments LLC 1755863977 and 12609 Richmond LLC 1775787080



Legal Description Lot 1

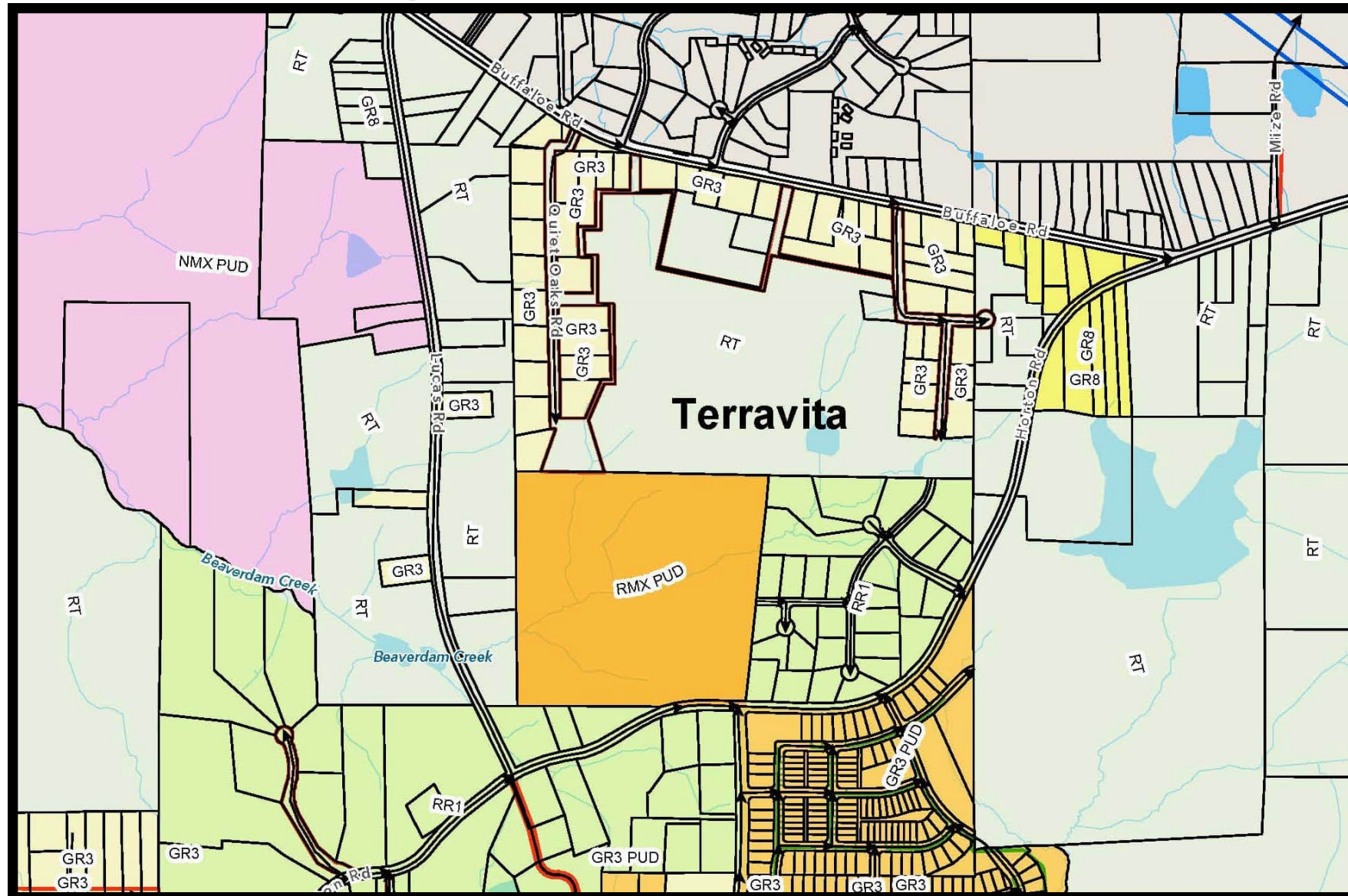
Beginning at a *Iron Pipe Found* having coordinates of N:756362.67, E:2157145.30; thence with a bearing of N 19°41'31" E a distance of 263.86 feet to a *Iron pipe found*; thence with a bearing of N 89°30'18" W a distance of 30.03 feet to a *Iron pipe found*; thence with a bearing of N 00°49'32" W a distance of 184.39 feet to a *Iron pipe found*; thence with a bearing of N 01°04'28" W a distance of 208.87 feet to a *Iron pipe found*; thence with a bearing of N 01°01'26" W a distance of 208.62 feet to a *Iron Pipe Found*; thence with a bearing of N 01°00'23" W a distance of 208.88 feet to a *Iron pipe found*; thence with a bearing of N 01°02'18" W a distance of 206.67 feet to a *Iron pipe found*; thence with a bearing of N 00°49'17" W a distance of 210.80 feet to a *Iron pipe found*; thence with a bearing of N 01°00'03" W a distance of 209.44 feet to a *Iron Pipe Found*; thence with a bearing of N 01°00'54" W a distance of 208.64 feet to a *IRON PIPE SET*; thence with a bearing of N 31°50'49" E a distance of 52.05 feet to a *Iron pipe found*; thence with a bearing of S 88°24'02" E a distance of 91.11 feet to a *Iron pipe found*; thence with a bearing of N 21°55'14" E a distance of 83.86 feet to a *Iron pipe found*; thence with a bearing of S 60°36'45" E a distance of 60.54 feet to a *IRON PIPE SET*; thence with a bearing of S 21°43'40" W a distance of 92.11 feet to a *IRON PIPE SET*; thence with a bearing of S 87°49'25" E a distance of 256.60 feet to a *IRON PIPE SET*; thence with a bearing of S 74°24'51" E a distance of 82.66 feet to a *COMPUTED CORNER*; thence with a bearing of N 88°57'29" W a distance of 95.25 feet to a *Iron pipe found*; thence with a bearing of N 88°50'44" W a distance of 99.76 feet to a *Iron pipe found*; thence with a bearing of N 88°45'34" W a distance of 100.05 feet to a *Iron pipe found*; thence with a bearing of N 88°01'01" W a distance of 149.21 feet to a *IRON PIPE SET*; thence with a bearing of S 00°57'52" E a distance of 303.97 feet to a *Iron pipe found*; thence with a bearing of S 00°55'42" E a distance of 316.42 feet to a *Iron pipe found*; thence with a bearing of S 01°01'25" E a distance of 208.98 feet to a *Iron pipe found*; thence with a bearing of S 87°58'25" E a distance of 208.73 feet to a *Iron Pipe Found*; thence with a bearing of N 00°59'23" W a distance of 209.80 feet to a *IRON PIPE SET*; thence with a bearing of N 88°11'57" W a distance of 71.17 feet to a *IRON PIPE SET*; thence with a bearing of N 02°32'18" W a distance of 184.24 feet to a *Iron pipe found nail*; thence with a bearing of S 88°41'42" E a distance of 100.03 feet to a *Iron Pipe Found*; thence with a bearing of N 01°17'10" E a distance of 218.00 feet to a *Iron pipe found*; thence with a bearing of S 88°57'36" E a distance of 199.86 feet to a *Iron pipe found*; thence with a bearing of N 01°08'29" E a distance of 216.36 feet to a *Iron pipe found*; thence with a bearing of S 76°54'00" E a distance of 49.17 feet to a *IRON PIPE SET*; thence with a bearing of S 77°51'31" E a distance of 3.43 feet to a *IRON PIPE SET*; thence with a bearing of S 00°39'25" W a distance of 197.76 feet to a *COMPUTED CORNER*; thence with a bearing of S 89°03'55" E a distance of 208.60 feet to a *iron Pipe Set*; thence with a bearing of S 11°53'38" W a distance of 457.04 feet to a *Iron Pipe Found*; thence with a bearing of S 78°08'24" E a distance of 602.89 feet to a *Iron Pipe Found*; thence with a bearing of N 11°53'26" E a distance of 613.26 feet to a *COMPUTED CORNER*; thence with a bearing of S 78°48'54" E a distance of 60.00 feet to a *IRON PIPE SET*; thence with a bearing of S 11°53'26" W a distance of 400.86 feet to a *COMPUTED CORNER*; thence with a bearing of S 79°17'03" E a distance of 676.13 feet to a *IRON PIPE SET*; thence with a bearing of N 00°02'04" W a distance of 401.32 feet to a *COMPUTED CORNER*; thence with a bearing of S 78°32'43" E a distance of 60.04 feet to a *IRON PIPE SET*; thence with a bearing of S 00°15'14" E a distance of 302.71 feet to a *Iron pipe found*; thence with a bearing of S 00°47'19" W a distance of 104.52 feet to a *Iron pipe found*; thence with a bearing of S 04°29'34" E a distance of 199.07 feet to a *IRON PIPE SET*; thence with a bearing of S 86°08'02" E a distance of 401.19 feet to a *Iron pipe found*; thence with a bearing of S 00°01'46" E a distance of 59.39 feet to a *Iron pipe found*; thence with a bearing of N 86°19'29" W a distance of 126.73 feet to a *Iron pipe found*; thence with a bearing of S 03°45'15" W a distance of 223.79 feet to a *Iron pipe found*; thence with a bearing of S 03°45'45" W a distance of 202.18 feet to a *Iron pipe found*; thence with a bearing of S 03°42'52" W a distance of 88.30 feet to a *Iron pipe found*; thence with a bearing of S 15°11'51" W a distance of 84.03 feet to a *Iron Pipe Found*; thence with a bearing of S 32°14'27" W a distance of 83.98 feet to a *Iron pipe found*; thence with a bearing of N 15°42'58" W a distance of 9.88 feet to a *Iron pipe found*; thence with a bearing of N 03°46'21" E a distance of 155.35 feet to a *Iron pipe found*; thence with a bearing of N 03°46'09" E a distance of 155.44 feet to a *Iron pipe found*; thence with a bearing of N 03°45'36" E a distance of 142.82 feet to a *Iron pipe found*; thence with a bearing of N 03°49'26" E a distance of 207.61 feet to a *Iron pipe found*; thence with a bearing of N 86°20'04" W a distance of 105.18 feet to a *Iron pipe found bent*; thence with a bearing of N 86°05'27" W a distance of 104.82 feet to a *Iron pipe found*; thence with a bearing of N 87°14'04" W a distance of 78.83 feet to a *IRON PIPE SET*; thence with a bearing of N 00°02'04" W a distance of 145.20 feet to a *IRON PIPE SET*; thence with a bearing of N 00°02'04" W a distance of 107.37 feet to a *COMPUTED CORNER*; thence with a bearing of N 79°17'09" W a distance of 720.44 feet to a *COMPUTED CORNER*; thence with a bearing of S 11°54'02" W a distance of 212.27 feet to a *COMPUTED CORNER*; thence with a bearing of N 78°08'14" W a distance of 642.82 feet to a *COMPUTED CORNER*; thence with a bearing of N 11°54'02" E a distance of 452.84 feet to a

COMPUTED CORNER; thence with a bearing of S 89°02'12" W a distance of 236.19 feet to a *COMPUTED CORNER*; thence with a bearing of N 88°55'38" W a distance of 181.48 feet to a *COMPUTED CORNER*; thence with a bearing of S 01°15'58" W a distance of 217.93 feet to a *COMPUTED CORNER*; thence with a bearing of N 88°43'38" W a distance of 98.78 feet to a *COMPUTED CORNER*; thence with a bearing of S 02°34'12" E a distance of 144.89 feet to a *COMPUTED CORNER*; thence with a bearing of S 87°53'39" E a distance of 71.47 feet to a *COMPUTED CORNER*; thence with a bearing of S 00°38'08" E a distance of 283.44 feet to a *COMPUTED CORNER*; thence with a bearing of S 89°02'55" E a distance of 93.35 feet to a *COMPUTED CORNER*; thence with a bearing of S 00°58'41" E a distance of 474.63 feet to a *COMPUTED CORNER*; thence with a bearing of N 89°10'15" W a distance of 63.76 feet to a *COMPUTED CORNER*; thence with a bearing of S 23°37'09" W a distance of 232.55 feet to a *COMPUTED CORNER*; thence with a bearing of S 17°22'47" E a distance of 317.94 feet to a *COMPUTED CORNER*; thence with a bearing of N 89°09'51" W a distance of 372.29 feet to a *Iron Pipe Found*; which is the point of beginning, containing approximately 437,159.52 square feet or 10.0358 acres, as shown on a survey entitled "BOUNDARY SURVEY HORTON PLACE LOTS 1 & 2 FOR ENTITLEMENT PRESERVATION GROUP" by Daniel J. Burud, Professional Land Surveyor of Priest Craven and Associates, Inc. dated 02/06/23.

Legal Description Lot 2

Beginning at a *COMPUTED POINT* having coordinates of **N:756357.24, E:2157517.56**; thence with a bearing of **N 17°22'47" W** a distance of **317.94** feet to a *COMPUTED POINT*; thence with a bearing of **N 23°37'09" E** a distance of **232.55** feet to a *COMPUTED POINT*; thence with a bearing of **S 89°10'15" E** a distance of **63.76** feet to a *COMPUTED POINT*; thence with a bearing of **N 00°58'41" W** a distance of **474.63** feet to a *COMPUTED POINT*; thence with a bearing of **N 89°02'55" W** a distance of **93.35** feet to a *COMPUTED POINT*; thence with a bearing of **N 00°38'08" W** a distance of **283.44** feet to a *COMPUTED POINT*; thence with a bearing of **N 87°53'39" W** a distance of **71.47** feet to a *COMPUTED POINT*; thence with a bearing of **N 02°34'12" W** a distance of **144.89** feet to a *COMPUTED POINT*; thence with a bearing of **S 88°43'38" E** a distance of **98.78** feet to a *COMPUTED POINT*; thence with a bearing of **N 01°15'58" E** a distance of **217.93** feet to a *COMPUTED POINT*; thence with a bearing of **S 88°55'38" E** a distance of **181.48** feet to a *COMPUTED POINT*; thence with a bearing of **N 89°02'12" E** a distance of **236.19** feet to a *COMPUTED POINT*; thence with a bearing of **S 11°54'02" W** a distance of **452.84** feet to a *COMPUTED POINT*; thence with a bearing of **S 78°08'14" E** a distance of **642.82** feet to a *COMPUTED POINT*; thence with a bearing of **N 11°54'02" E** a distance of **212.27** feet to a *COMPUTED POINT*; thence with a bearing of **S 79°17'09" E** a distance of **720.44** feet to a *COMPUTED POINT*; thence with a bearing of **S 00°02'04" E** a distance of **107.37** feet to a *IRON PIPE SET*; thence with a bearing of **N 74°14'02" W** a distance of **202.22** feet to a *IRON PIPE SET*; thence with a bearing of **S 03°23'02" E** a distance of **173.82** feet to a *IRON PIPE SET*; thence with a bearing of **S 81°47'02" E** a distance of **186.35** feet to a *IRON PIPE SET*; thence with a bearing of **S 87°14'04" E** a distance of **78.83** feet to a *IRON PIPE FOUND*; thence with a bearing of **S 03°47'06" W** a distance of **661.49** feet to a *IRON PIPE SET*; thence with a bearing of **S 86°17'18" E** a distance of **210.00** feet to a *IRON PIPE FOUND*; thence with a bearing of **S 15°42'58" E** a distance of **9.88** feet to a *IRON PIPE FOUND* ; thence with a bearing of **N 86°26'45" E** a distance of **227.96** feet to a *IRON PIPE FOUND*; thence with a bearing of **S 00°20'04" W** a distance of **242.61** feet to a *IRON PIPE FOUND*; thence with a bearing of **N 89°11'54" W** a distance of **1194.23** feet to a *AXLE FOUND*; thence with a bearing of **N 89°10'07" W** a distance of **967.55** feet to a *COMPUTED POINT*; which is the point of beginning, containing approximately **2,308,585.25** square feet or **52.9978** acres, as shown on a survey entitled “BOUNDARY SURVEY HORTON PLACE LOTS 1 & 2 FOR ENTITLEMENT PRESERVATION GROUP” by Daniel J. Burud, Professional Land Surveyor of Priest Craven and Associates, Inc. dated 02/06/23.

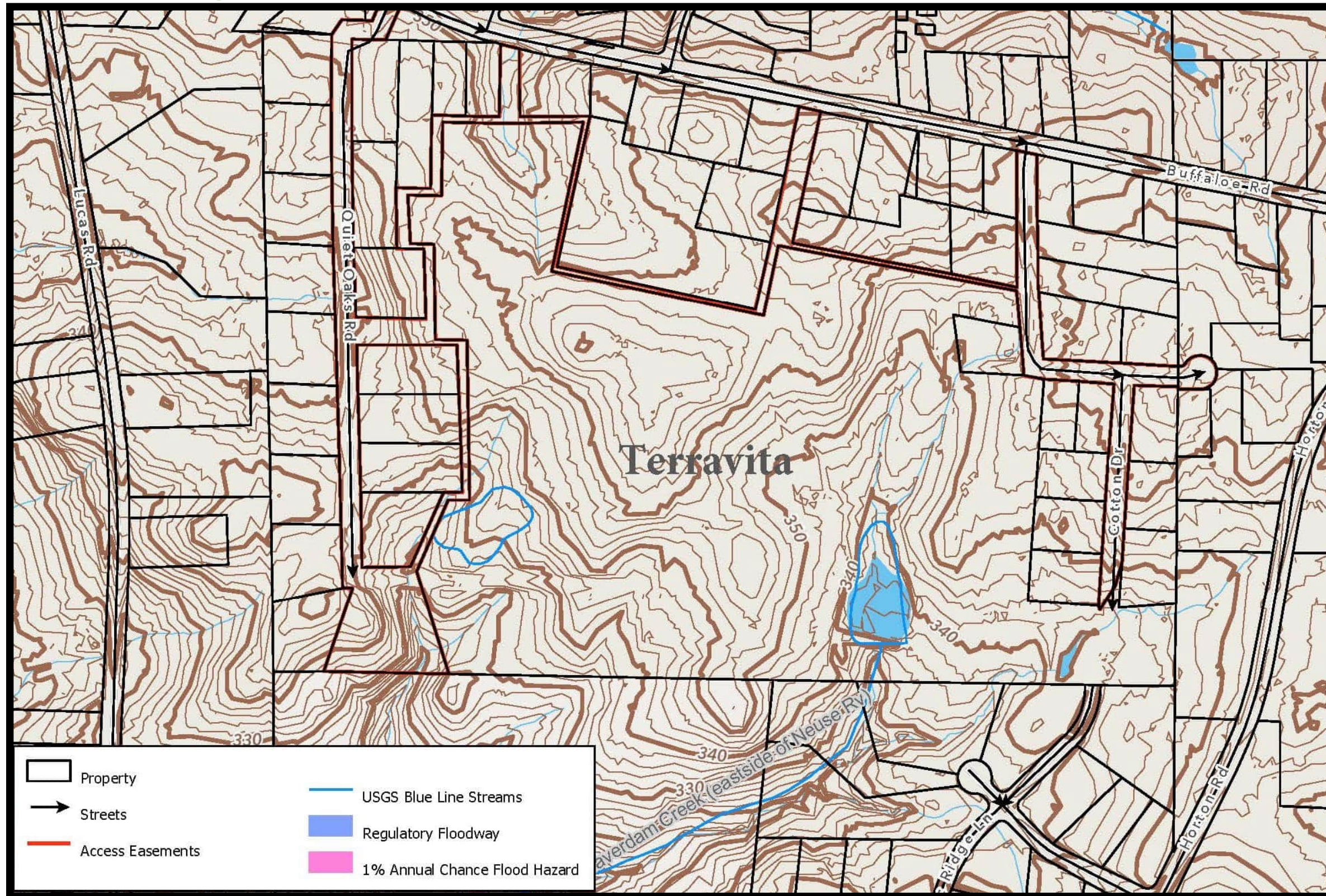
Current Zoning



Terravita is in a Growth Reserve Area of the playbook. “Growth reserve areas represent land deemed unfavorable for significant development within the time frame of the comprehensive plan, 2024 to 2035, because they are unserved or underserved by municipal water and sewer utilities, curbside trash pickup, or police and fire protection, and it would be expensive to expand or extend services in these areas at this time. Areas designated as growth reserve on the map are not strictly prohibited from development in the future, but properties proposed for development should be evaluated utilizing the playbook approach in the Comprehensive Plan. Town officials should resist using the playbook approach unless significant infrastructure and service commitments are made by the private developer. If change is contemplated, it should implement the Future Place Type Map and the recommendations presented for the individual place type categories. The areas should be evaluated, and the boundaries modified, as necessary, during the next update to the comprehensive plan. Reclassification of growth reserve areas into a higher category — presumably secondary growth area, primary growth area, or target growth area — should be contingent upon the proximity or presence of infrastructure needed to support intended development: water, sewer, parks and recreation, police, fire, and transportation.”

This proposal meets the definitions listed above to be considered for a new PUD designation(Primary Growth Area). As shown, the proposal includes significant infrastucture and service commitments as well as alternate and innovative design elements that would be a positive asset to the Town.

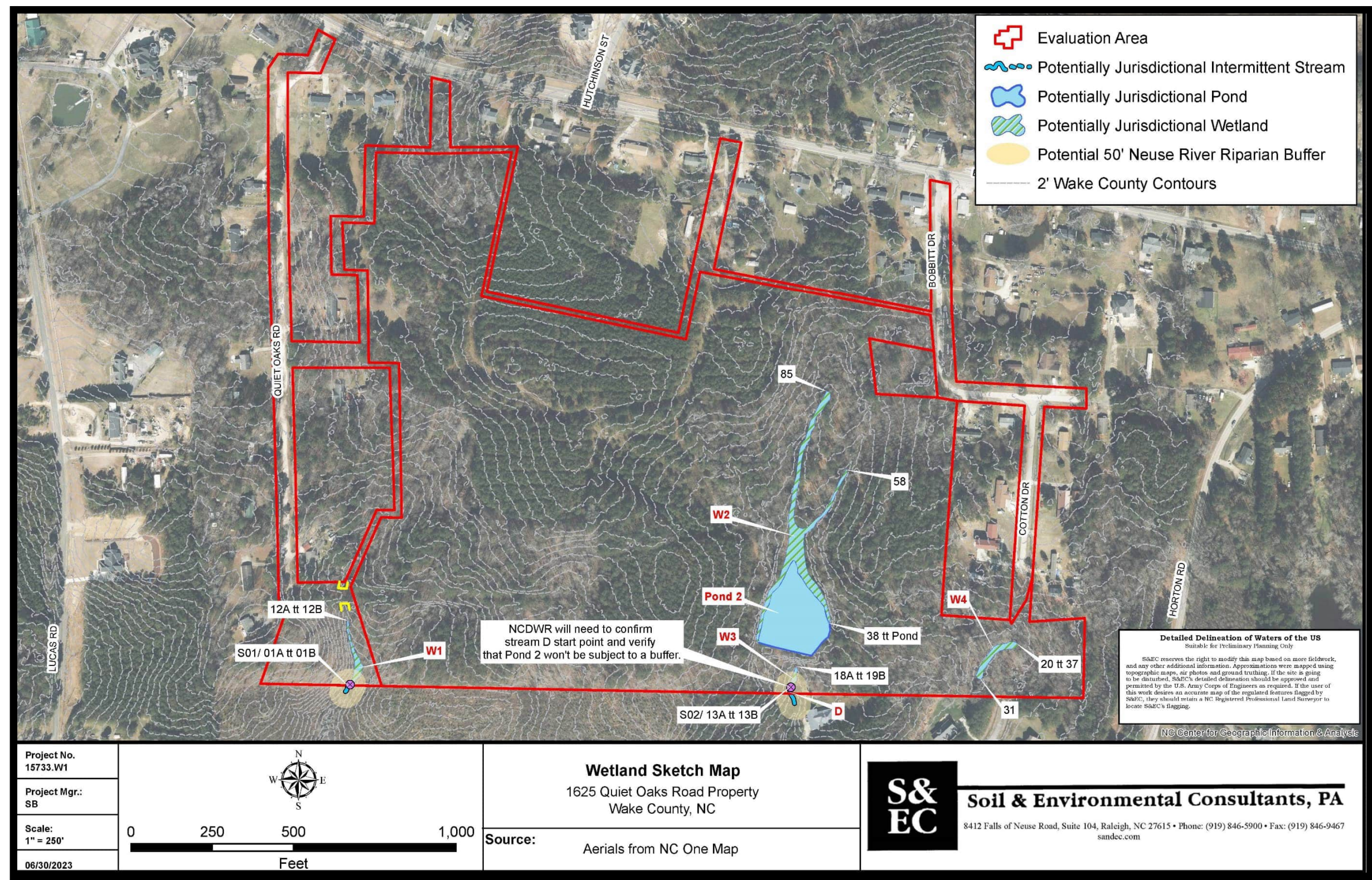
Area Topography



Area Vegetation



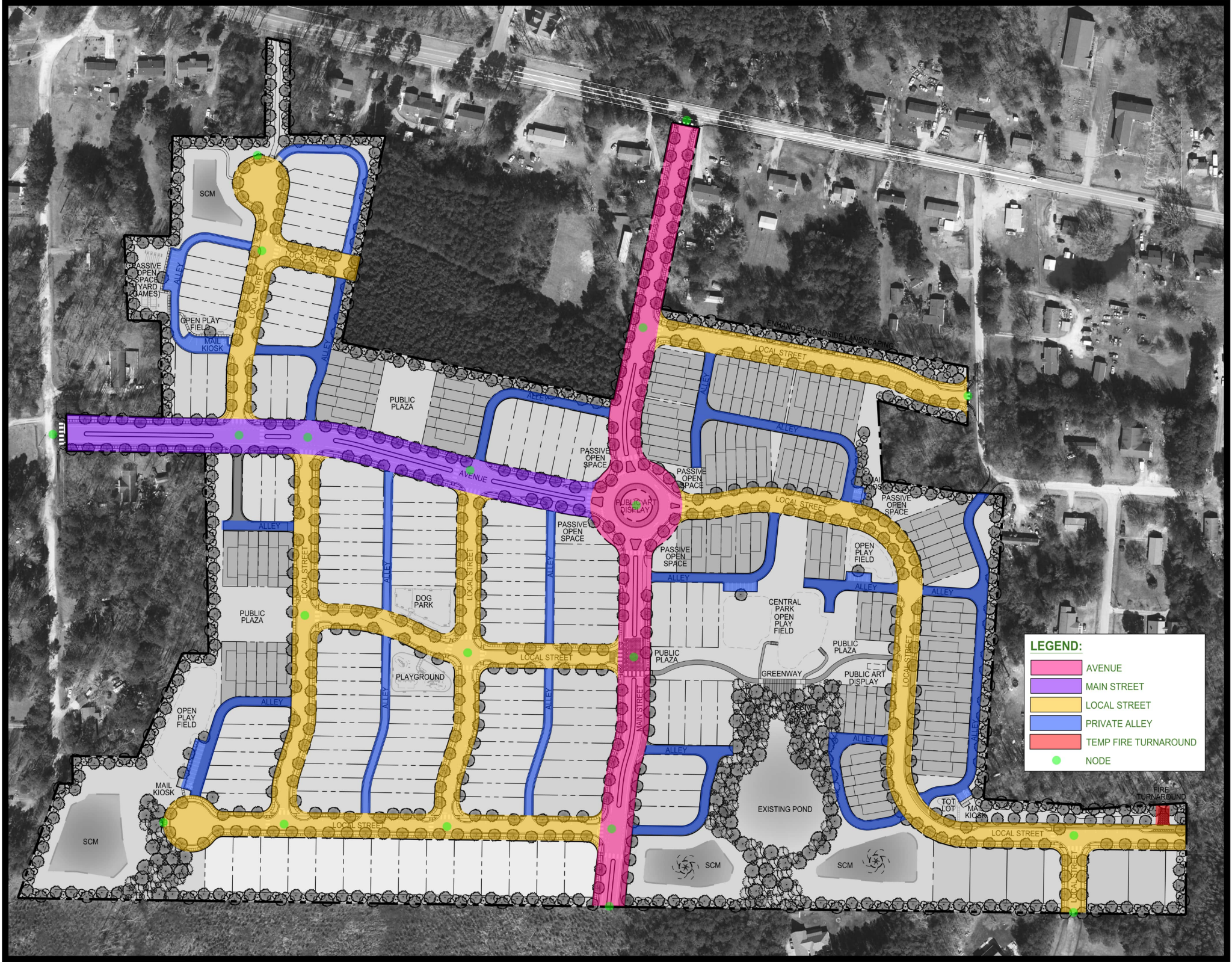
Preliminary Wetland and Stream Analysis



Overall Master Plan

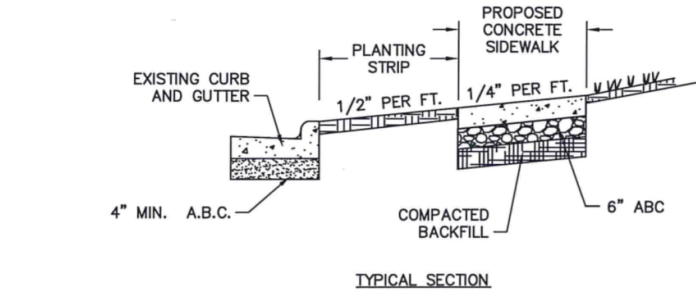


Street Plan



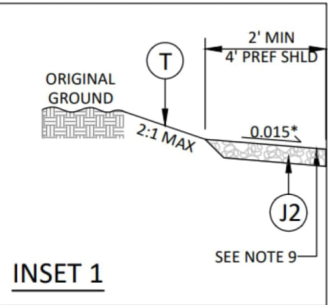
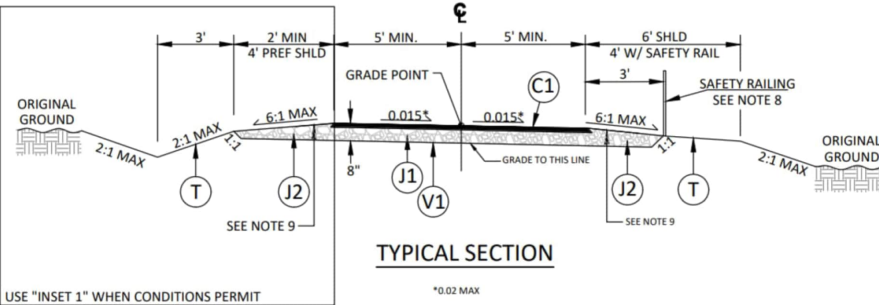
STREET TYPES:	
AVENUE	
RIGHT OF WAY: 75'	
STREET WIDTH: 51' B-B WITH 10' MEDIAN	
DESIGN SPEED: 35 - 45 MPH	
MAIN STREET	
RIGHT OF WAY: 70'	
STREET WIDTH: 47' B-B WITH 10' MEDIAN	
DESIGN SPEED: 20 - 25 MPH	
LOCAL STREET	
RIGHT OF WAY: 54'	
STREET WIDTH (NO PARKING): 31' B-B	
STREET WIDTH (PARALLEL PARKING ON 1 SIDE): 31.5' B-B	
DESIGN SPEED: 20 - 25 MPH	
PRIVATE ALLEY	
RIGHT OF WAY: 20' (22' FIRE ACCESS LANES)	
STREET WIDTH: 12' MIN. - 16' MAX. (20' FIRE ACCESS LANES)	
DESIGN SPEED: 10 MPH	
CONNECTIVITY INDEX:	
REQUIRED	
RMX	1.40
REDUCTION FOR 4 SIDES WITH LIMITED ACCESS	(0.20)
CONNECTIVITY INDEX REQUIRED	1.20
PROVIDED	
LINKS	25
NODES	20
CI = LINKS / NODES = 25/20 =	1.25

Pedestrian Circulation Plan



See Town of Knightdale standard detail 4.04-1 for additional information.

Typical Sidewalk Section

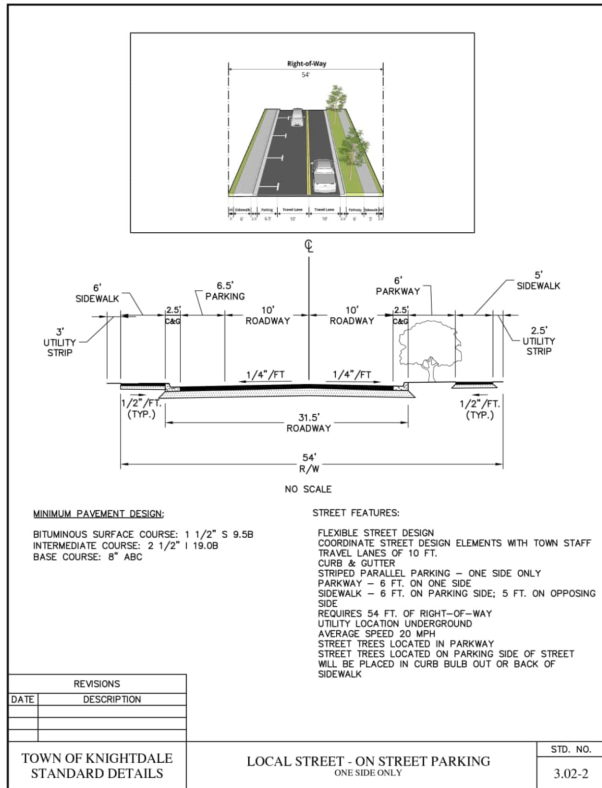
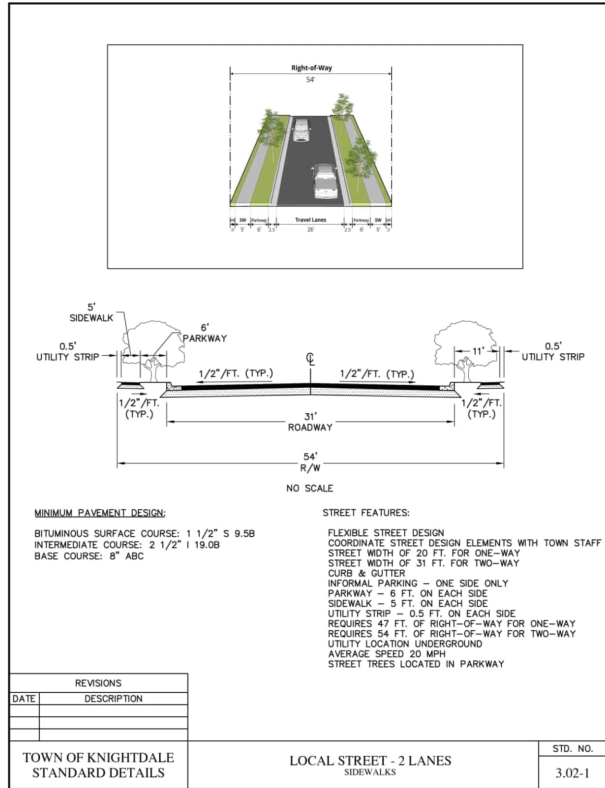
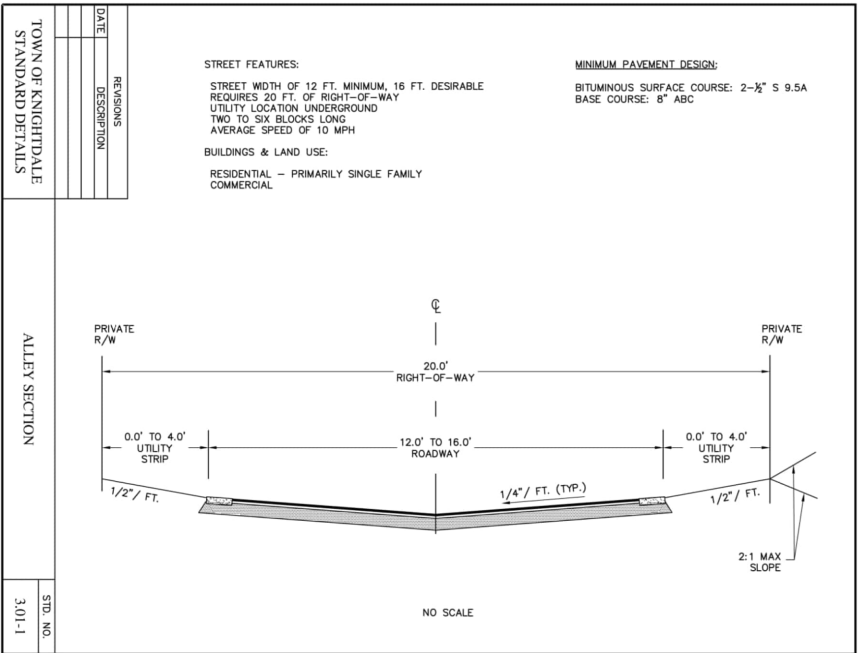
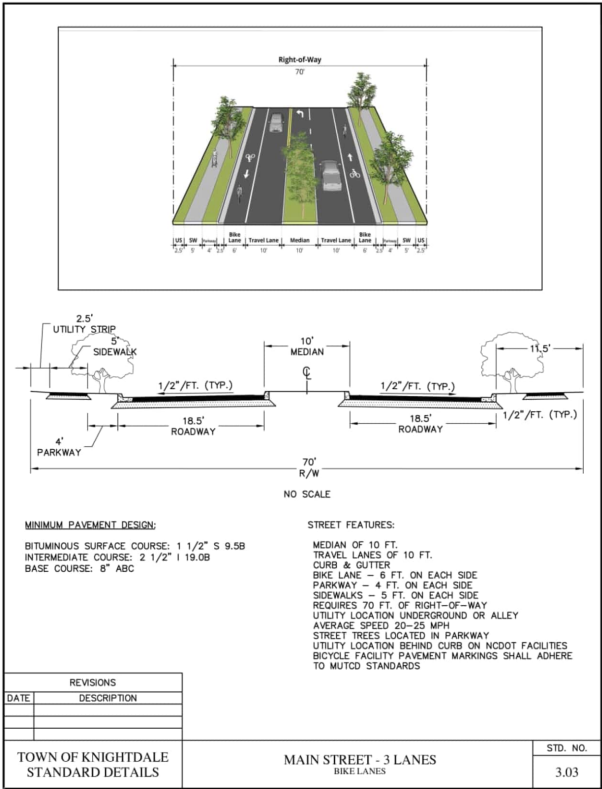
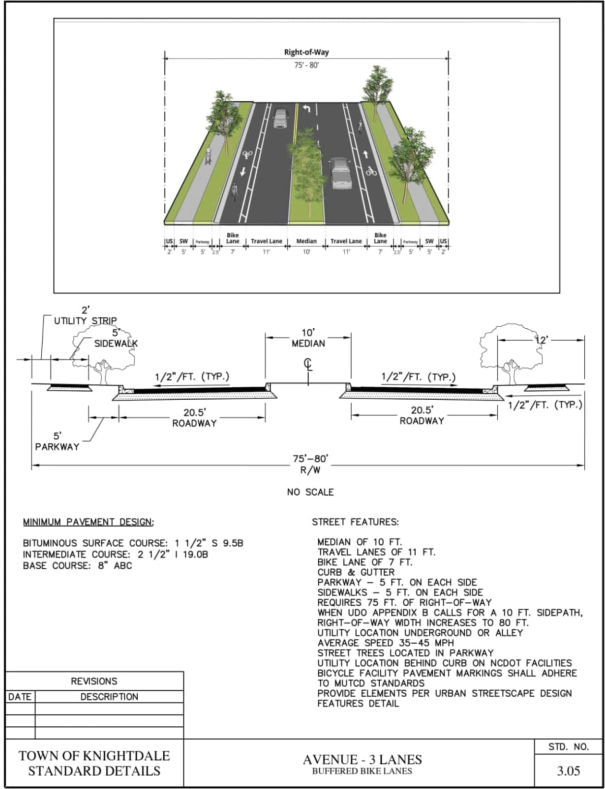


PAVEMENT SCHEDULE	
C1	2" ASPHALT CONCRETE SURFACE COURSE, TYPE S9.5B AT AN AVERAGE RATE OF 220 LBS. PER SQ. YD. OR 110 LBS. PER SQ. YD. IN EACH OF TWO LAYERS
J1	6" AGGREGATE BASE COURSE
J2	VARIABLE DEPTH AGGREGATE BASE COURSE
T	EARTH MATERIAL
V1	GEOTEXTILE FOR PAVEMENT STABILIZATION

See Town of Knightdale standard detail 4.09-1 for additional information.

Typical Greenway Section

Street Sections



Preliminary Stormwater Plan



STORMWATER

This plan is preliminary and subject to change as the project progresses.

Terravita proposes four (4) stormwater control measure (SCM) located as shown on the Preliminary Stormwater Management Plan. Stormwater containment shall be subject to the stormwater management requirements set forth in The Town of Knightdale Unified Development Ordinance, Chapter 9.

All SCMs shall utilize guidelines established in the NCDEQ Stormwater Design Manual.

Preliminary Utility Plan



WATER ALLOCATION TABLE	POINTS
BASE POINTS	
MAJOR SUBDIVISION	15
CATEGORY 1 - NON-CONFORMITY ABATEMENT AND PUBLIC INFRASTRUCTURE IMPROVEMENTS	
CATEGORY 2 - GREEN DEVELOPMENT STANDARDS	
2A - CONSERVATION OF NATURAL HABITATE MEETING ACTIVE OPEN SPACE REQUIREMENTS (OPEN SPACE LOT 1009 PRESERVING EXISTING POND AND WETLANDS)	3
2B - FOUNTAIN WITHIN WET POND SCM	4
2C - IMPLEMENT AFFORDABLE KNIGHTDALE PLAN (EXPANDED HOUSING: TH/COTTAGE COURTS)	10
2C - EXCLUSIVE USE OF NATIVE LANDSCAPE SPECIES	5
CATEGORY 3 - OUTDOOR ENHANCEMENT	
3A - OUTDOOR DISPLAY OF PUBLIC ART (2 ART LOCATIONS)	8
3A - ENHANCED ROADSIDE LANDSCAPING (STREET "H")	2
CATEGORY 4 - AMENITIES	
4C - OUTDOOR DECK (AT GREENWAY & EXISTING POND)	3
4F - IPEMA CERTIFIED PLAYGROUND EQUIPMENT	4
TOTAL UDO ALLOWABLE POINTS	54

TIA Recommendations

TRAFFIC IMPACT ANALYSIS TERRAVITA

Knightdale, North Carolina

EXECUTIVE SUMMARY

1. Development Overview

A Traffic Impact Analysis (TIA) was conducted for the proposed Terravita development in accordance with the Knightdale (Town) Unified Development Ordinance (UDO) and North Carolina Department of Transportation (NCDOT) capacity analysis guidelines. The proposed Terravita development is to be located south of Buffalo Road between Quiet Oaks Drive and Bobbitt Drive in Knightdale, North Carolina. The proposed development, anticipated to be completed in 2029, is assumed to consist of 170 single-family lots and 75 townhomes. Access to the parcel is proposed via one full movement driveway along Buffalo Road and internal connections to Quiet Oaks Road, Bobbitt Drive, Proc Ridge Lane, and the Old Knight Road extension (a part of the Weldon Village adjacent development).

2. Existing Traffic Conditions

The study area for the TIA was determined through coordination with the Town and consists of the following existing intersections:

- Buffalo Road and Lucas Road
- Buffalo Road and Quiet Oaks Drive
- Buffalo Road and Bobbitt Drive
- Buffalo Road and Horton Road
- Horton Road and Horton Mill Drive
- Horton Road and Old Knight Road
- Horton Road and Lucas Road

Existing peak hour traffic volumes were determined based on traffic counts conducted at the study intersection listed above, in October of 2024 during a typical weekday AM (7:00 AM – 9:00 AM) and PM (4:00 PM – 6:00 PM) peak periods. Traffic volumes were balanced between study intersections, where appropriate.



3. Future Traffic Conditions

Through coordination with the Town, it was determined that an annual growth rate of 3% would be used to generate 2030 (build-out+1) projected weekday AM and PM peak hour traffic volumes. Per the Town’s UDO, a 3% growth rate was applied to the existing traffic counts to project to the year 2030. For the +10 future analysis required by the Town UDO, traffic was projected beyond 2030 using a 1% growth rate. The following adjacent developments were identified to be included as an approved adjacent development in this study:

- Haywood Glen
- Weldon Village
- Brio Development

Based on coordination with the Town, no roadway improvement projects are planned within the study area.

4. Site Trip Generation

Average weekday daily, AM peak hour, and PM peak hour trips for the proposed development were estimated using methodology contained within the ITE Trip Generation Manual, 11.1th Edition. Table E-1 provides a summary of the trip generation potential for the site.

Table E-1: Site Trip Generation

Land Use (ITE Code)	Intensity	Daily Traffic (vpd)	Weekday AM Peak Hour Trips (vph)		Weekday PM Peak Hour Trips (vph)	
			Enter	Exit	Enter	Exit
Single Family Lots (210)	170 DU	1,644	30	91	103	61
Townhomes (215)	75 DU	522	8	25	24	17
Total Trips		2,166	38	116	127	78

5. Capacity Analysis Summary

The analysis considered weekday AM and PM peak hour traffic for 2024 existing, 2030 no-build, 2030 build, and 2039 future conditions. Refer to Section 7 of the TIA for the capacity analysis summary performed at each study intersection.



6. Recommendations

Based on the findings of this study, specific geometric and traffic control improvements have been identified at study intersections. The improvements are summarized below and are illustrated in Figure E-1.

Improvements by Weldon Village

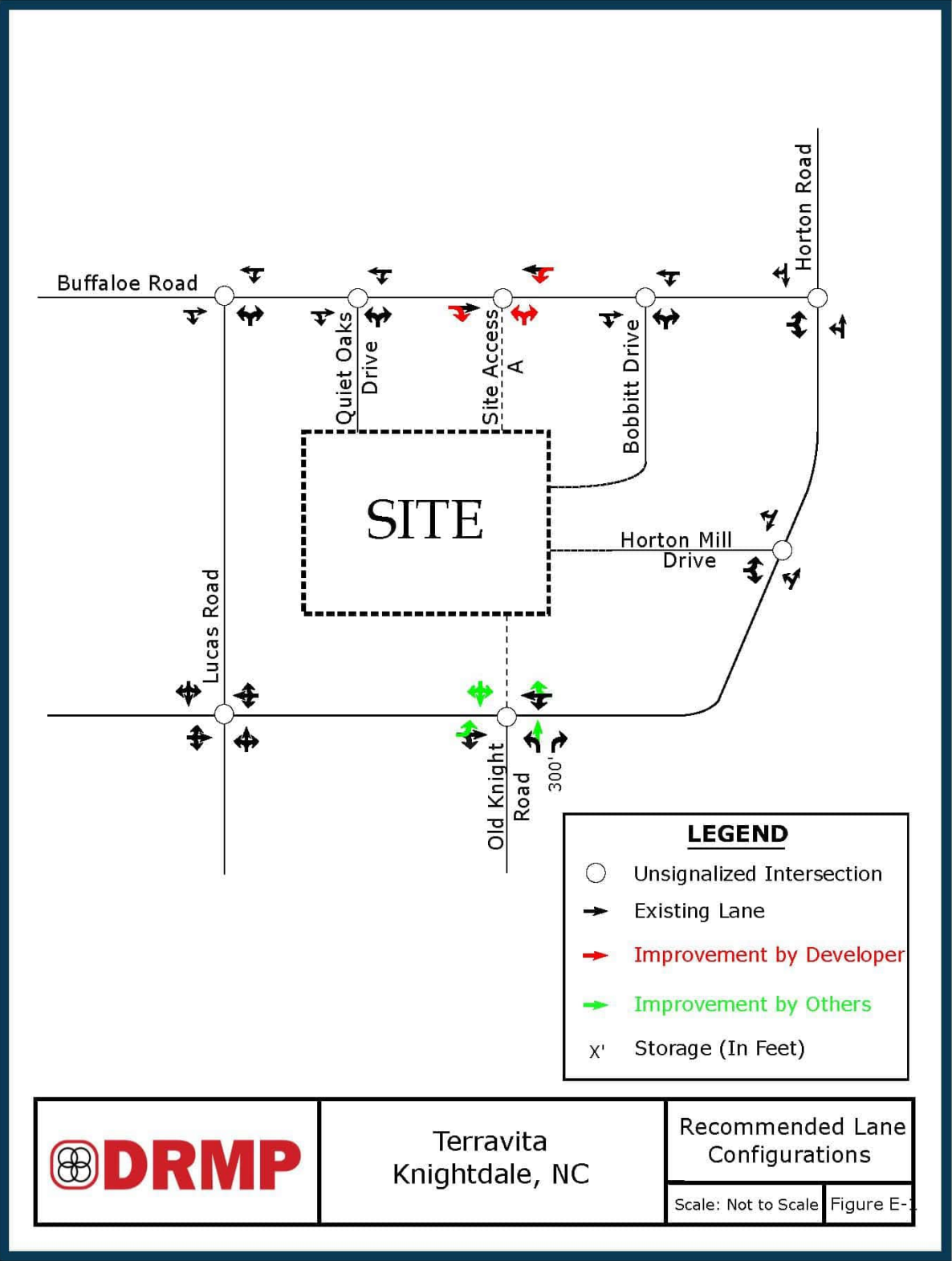
Horton Road and Old Knight Road

- Construct southbound approach (of Old Knight Road) with one ingress lane and one egress lane.
- Provide stop control for southbound approach.
- Construct eastbound left turn lane (on Horton Road) with 100' of storage plus appropriate deceleration and taper.

Recommended Modifications by Developer

Buffaloe Road and Site Access

- Construct northbound approach (of the proposed site access) with one ingress lane and one egress lane. Provide stop-control for the northbound approach.



Site Programming

Terravita will provide a variety of opportunities to promote a healthy lifestyle, enjoy the outdoors, and enjoy a sense of community. The site is proposing a connected network of ± 15 acres of open space with passive and active recreational amenities.

The proposed amenities are as follows:

10’ Greenway Trail, approximately 1700 LF, that aligns with The Town of Knightdale V.2 2035 Comprehensive Plan (KnightdaleNext) that proposes a greenway running through the site.

Central Park

The Park will be a large open green space that can be used for a variety of activities by the community. This includes enjoying the existing pond, walkways, and a public art installation site.

Playgrounds/ Play Areas

The playgrounds/areas and open lawn space will be distributed throughout the community. Each will be individually programmed with equipment and/or structures to allow residents to use for recreation or relaxation purposes.

Dog Park

The playground will be located in one of the active open space areas and will provide a place for residents to let their dogs run.

Pond Fountain

The pond fountain will provide an enhancement to the existing pond.

Public Art

There are two spaces within the Project to be dedicated to Public Art. One in the roundabout as part of a Gateway Design. The second will be in Central Park, near the existing pond as part of a public plaza walking bridge and at least 3000 SF of decking or patio.

Conceptual Open Space Imagery







Open Space Plan



OPEN SPACE CALCULATIONS				
TOTAL NUMBER OF BEDROOMS				739
DEDICATION RATE (520/UNIT)				739x 520
TOTAL RECREATIONAL OPEN SPACE REQUIRED (BEFORE CREDITS)	384280 SF			8.82 AC
CREDITS (PASSIVE OPEN SPACE)				
PARKWAY (PUB. ST. "A", 545 LF, 54' RW)	545x27	(14715) SF		(0.34) AC
TOTAL PASSIVE OPEN SPACE CREDITS		(14715) SF		(0.34) AC
ACTIVE RECREATIONAL SPACE REQ'D	50%			4.41 AC
PASSIVE RECREATIONAL SPACE REQ'D	50%	MINUS CREDITS ABOVE		4.07 AC
TOTAL RECREATIONAL OPEN SPACE PROVIDED				9.31 AC
ACTIVE RECREATIONAL SPACE PROVIDED				4.82 AC
PASSIVE RECREATIONAL SPACE PROVIDED				4.50 AC
ADDITIONAL COMMON OPEN SPACE (DOES NOT COUNT TOWARDS REQUIREMENTS)				11.42 AC
AREA IN COMMON AREA OPEN SPACE				7.74 AC
AREA IN PRIVATE ALLEY EASEMENTS				3.68 AC

Preliminary Landscape Plan



LANDSCAPING CALCULATIONS

STREET TREE CALCULATIONS & PLANT LIST (PLANTED AT 40' INTERVALS PER UDO 7.4.L)

CANOPY STREET TREES PROVIDED:		419	TREES
ACER RUBRUM (AR)	RED MAPLE	71	TREES
CARPINUS CAROLINIANA (CB)	AMERICAN HORNBEAM	70	TREES
NYSSA SYLVATICA 'WILDFIRE' (NS)	BLACK GUM	71	TREES
QUERCUS ALBA (QA)	WHITE OAK	71	TREES
QUERCUS RUBRA (QR)	EASTERN RED OAK	68	TREES
ULMUS AMERICANA (UA)	AMERICAN ELM	68	TREES

20' TYPE B BUFFER

TOTAL LENGTH OF TYPE BUFFER TO BE PLANTED	8550	LF
CANOPY TREES REQUIRED (3 PER 100 LF):	257	TREES
UNDERSTORY TREES REQUIRED (5 PER 100 LF):	428	TREES
SHRUBS REQUIRED (20 PER 100 LF):	1710	SHRUBS

CANOPY TREES PROVIDED:		257	TREES
ACER RUBRUM (AR)	RED MAPLE	128	TREES
ULMUS AMERICANA (UA)	AMERICAN ELM	129	TREES

UNDERSTORY TREES PROVIDED:		428	TREES
PRUNUS CAROLINIANA (PR)	CHERRY LAUREL	143	TREES
MAGNOLIA VIRGINIANA (MV)	SWEETBAY MAGNOLIA	143	TREES
ILEX CASSINE (IL)	DAHOON HOLLY	142	TREES

SHRUBS PROVIDED:	1710	SHRUBS
HYDRANGEA ARBORESCENS (HA)	570	SHRUBS
ILEX GLABRA (IG)	570	SHRUBS
MYRICA CERIFERA (MC)	570	SHRUBS

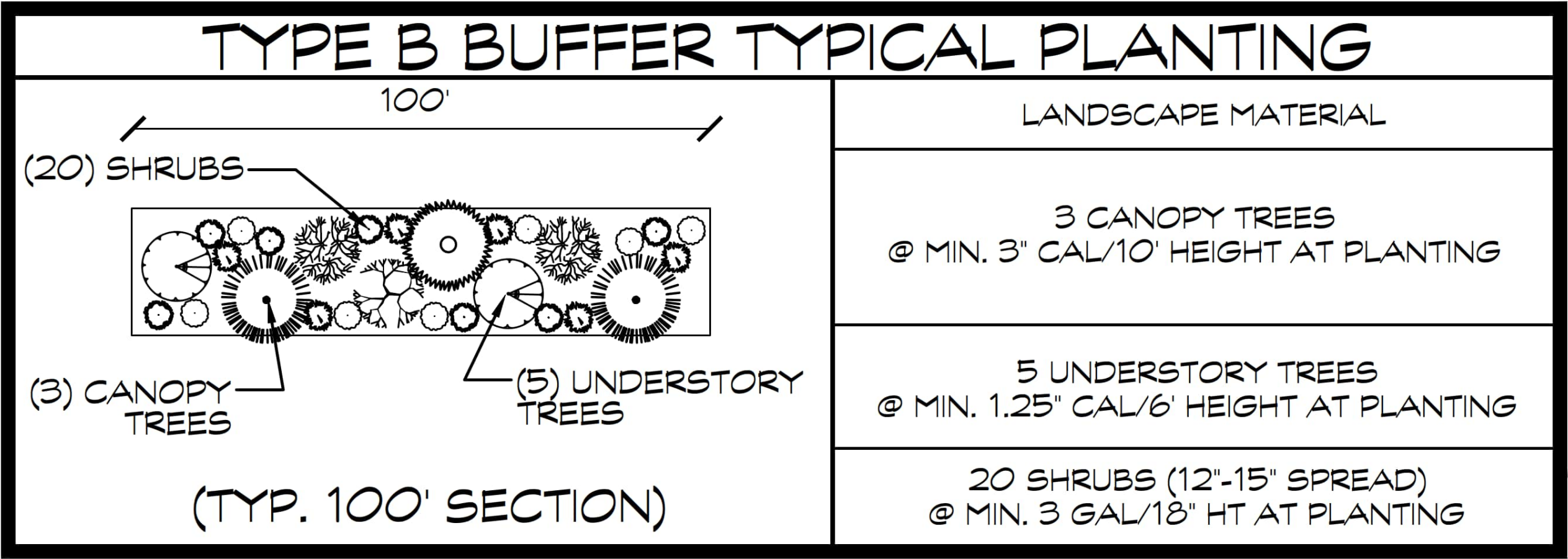
PARKING AREA TREES PROVIDED

CANOPY PARKING AREA TREES PROVIDED:		6	TREES
ACER RUBRUM (AR)	RED MAPLE	3	TREES
ULMUS AMERICANA (UA)	AMERICAN ELM	3	TREES

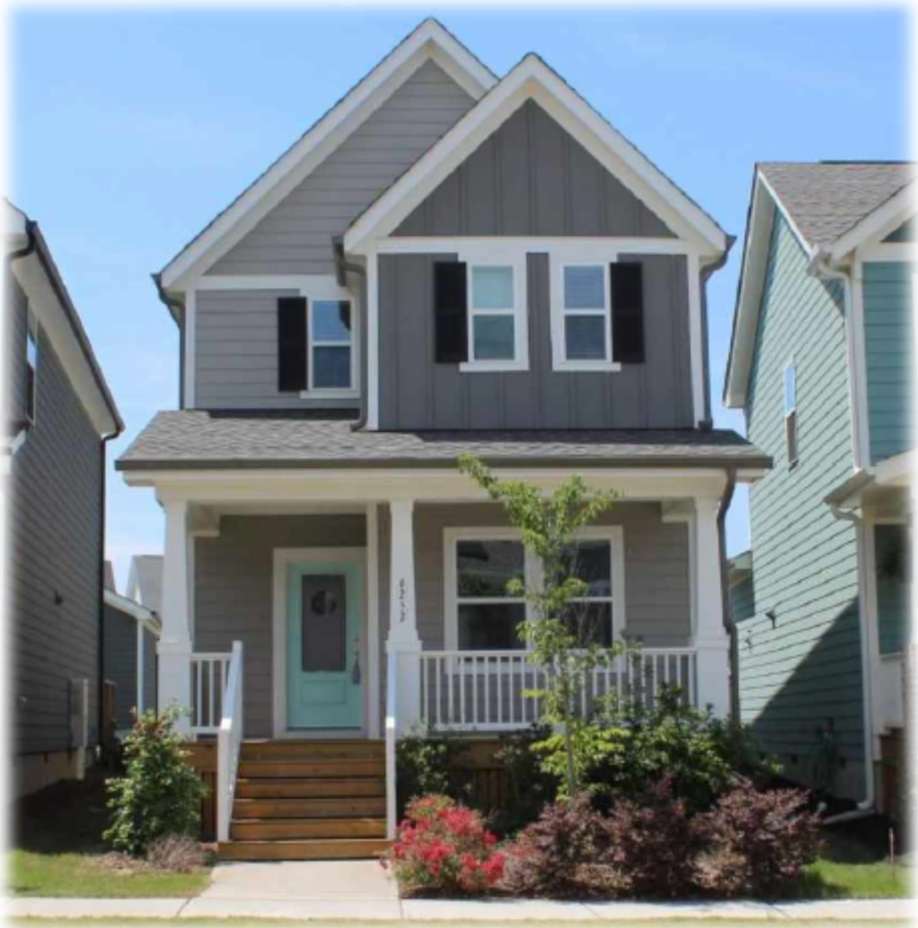
**ALL SPECIES SHALL BE NATIVE*

****PERIMETER BUFFER PLANT TOTALS ARE THE MAXIMUM REQUIRED TO REPLANT EACH BUFFER IN THEIR ENTIRETY IF EXISTING VEGETATION CANNOT BE USED. FINAL PROPOSED SUPPLEMENTAL PLANTINGS TO BE DETERMINED AT THE DIRECTION OF THE FIELD INSPECTOR AT TIME OF PLANTING.**

Landscape Buffers



Conceptual Single-Family Detached Products



* Elevations and renderings are an example of product.
Builder reserves the right to change plans, designs, elevations and pricing without notice.



* Elevations and renderings are an example of product.
Builder reserves the right to change plans, designs, elevations and pricing without notice.



* Elevations and renderings are an example of product.
Builder reserves the right to change plans, designs, elevations and pricing without notice.



Conceptual Single-Family Attached Products



Architectural Design Standards

1. Single-family homes built on lots at least 79 feet wide will have a minimum heated area of 2,500 square feet.
2. Single-family homes built on lots at least 59- 79 feet wide will have a minimum heated area of 2,000 square feet.
3. Single-family detached homes built on lots a minimum of 30 feet wide will have a minimum heated area of 1,600 square feet and be no less than 19 feet wide.
4. All single-family homes with stem wall, crawl, or slab foundations will provide a minimum of 2 stair risers, and the finished floor elevation is to be a minimum of 18” above the finished grade on the front-facing street elevation of the homes. Finished grade elevation shall be defined as the average height at the back of the curb along the unit frontage facing public streets. Foundations will be wrapped in either brick or stone.
5. All townhomes with stem wall or slab foundations will provide a minimum of 1 stair riser, and the finished floor elevation is to be a minimum of 12” above the finished grade on the front-facing street elevation of the homes. Finished grade elevation shall be defined as the average height at the back of the curb along the unit frontage facing public streets unless drainage dictates otherwise. Foundation fronts will be wrapped in either brick or stone.
6. All single-family homes and townhomes will have a combination of two or more of the following materials on the front façade (not counting foundation): stone, brick, lap siding, fiber cement siding, shakes, or board and batten. The exterior siding material on the side and rear facades, except for interior townhome units, will be fiber cement. When two materials are used, the materials shall be different but complementary colors. Vinyl may be used only for window trim, shutters, soffits, fascia, and/or corner boards.
7. All single-family detached homes will be limited to a three-story maximum and will provide for a variety of elevations. Units of the same elevation shall not be side by side. Exterior color schemes will not be repeated side by side.
8. All single-family detached homes will have a front porch with a minimum depth of 5 feet, which may encroach up to 6 feet into the front setback. Front porch posts will be at least 6”x6” in size.
9. Front-loaded garages will not protrude more than 6 feet from the front porch or stoop, and all garage doors shall contain decorative hardware and window inserts.
10. There shall be a minimum 10” overhang on every gable end for single-family homes and townhomes.
11. All homes will include architectural-style shingles.
12. Townhomes shall be two and/or three stories in height with a minimum width of 20 feet wide, and a minimum heated area of 1,500 square feet.
13. All townhomes shall have a covered porch element which may encroach up to 6 ft into the fron setback.
14. Single-family front-loaded detached homes shall have two-car garages, and single-family detached (townhomes) shall have maximum of two-car garages.

15. All single-family homes on lots 35 or less feet in width shall have a maximum two car garage and be accessed via a private rear-loaded alley.

Single-Family Attached (Townhomes)

16. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.

17. The roofline cannot be a single mass; it must be broken up horizontally and vertically no more than two units.

18. Garage doors must have windows, decorative details, or carriage-style adornments on them.

19. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.

20. The garage cannot protrude more than 4 feet out from the front façade or front porch.

21. The visible side of a townhome on a corner lot facing the public street shall contain at least 3 decorative elements such as, but not limited to, the following elements:

Windows	Bay window	Recessed window	Decorative window	Trim around the windows	Wrap around porch or side porch	Two or more building materials.
Decorative brick/stone		Decorative trim	Decorative shake	Decorative air vents on gable	Decorative gable	Decorative cornice
Column		Portico	Balcony	Dormer		

22. Building front facades shall have horizontal relief achieved by the use of recesses and projections.

23. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.

24. The rear and side elevations of the units that front on the public right-of-way shall have trim around the windows.

Single-Family Detached

25. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.

26. The roof shall be pitched at 5:12 or greater for 50% of the building designs.

27. Eaves shall project at least 10 inches from the wall of the structure.

28. Garage doors shall have windows, decorative details, or carriage-style adornments on them.

29. The garage, if used, shall not protrude more than 4 foot out from the front façade and front porch assuming the garage is attached to the Home.

30. The visible side of a home on a corner lot facing the public street shall contain at least 3 decorative elements such as, but not limited to, the following elements:

Windows	Bay window	Recessed window	Decorative window	Trim around the windows	Wrap around porch or side porch	Two or more building materials
Decorative brick/stone		Decorative trim	Decorative shake	Decorative air vents on gable	Decorative gable	Decorative cornice
Column		Portico	Balcony	Dormer		

31. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.

32. The rear and side elevations of the units that front on public right-of-way shall have trim around the windows.

Proposed PUD Allowances

The proposed zoning for Terravita is G8-PUD. Terravita meets all standards outlined in the Town of Knightdale’s Unified Development Ordinance except for a few conditions. Due to site constraints, the applicant is requesting the following site development allowances:
Bulk and Dimensional Standards (UDO Sec. 3.4)

Lot width (street loaded)

In the G8 base district, the minimum required lot width for a street-loaded lot is 80’. To create a variety of housing types and a more walkable community, we are proposing single-family detached street-loaded lots with lot widths of 60’ and 80’.

Lot width (alley loaded)

In the G8 base district, the minimum required lot width for an alley-loaded lot is 30’. To provide a variety of housing types and a more walkable community, we are proposing alley-loaded single-family detached lots with a minimum width of 30’, and townhome lots with minimum widths of 20’. The end townhomes will have a minimum of 20’ lots, and the interior townhomes will have a minimum of 20’ lots. The alley-loaded single-family detached and attached options create a pedestrian-friendly streetscape for the community.

Driveway length

In the G8 base district, the minimum required driveway length is 35’ for a residential lot. For townhomes and rear-loaded single-family lots, we are proposing a 20’ minimum driveway length. For single-family front-loaded lots, we are proposing a 25’ minimum driveway length.

Lot setbacks

In Sec. 6.5 of Knightdales’ UDO, the minimum rear setback for a house building type is 25’. For all rear-loaded single-family lots, we are proposing a minimum setback of 20’.

Standard Street Sections (Town of Knightdale Standard Details)

Local Street Section - Two Way. The standard detail calls for a 54.0’ right-of-way and allows for informal parking. Terravita is proposing on-street parking along sections of the road where there are no residential driveways. On-street parking, as shown on the Plan, will allow for guest parking. The design does not provide on-street parking on streets with front-loaded units to avoid any potential conflicts. As shown on the Plans, the street access to Buffaloe will require a modified cross section. We are currently showing sidewalk on both sides of the street at the connection to Buffaloe. However, the sidewalk location will vary from 0’ min. from the back of curb to 3’ max. depending on the final site grading (the standard 54’ section requires 6’ between boc & sidewalks).

Residential Clearing & Grading (UDO Sec. 9.3.B)

Terravita will require a site development allowance of Residential Clearing and Grading as specified in Section 9.3.B of the UDO. Currently, mass grading is prohibited on lots 60’ in width or greater. Terravita requests to mass grade all single-family and townhome lots less than 80’ wide. Any lot 80’ in width or greater shall not be mass-graded.

Buffalo Road Improvements

Terravita has very limited frontage on Buffalo Rd. From Staff, Buffalo Rd in the future will be 4 travel lanes with a devided median. With less than 60’ of frontage and the refusal of neighbors to allow for off-site construction, the current proposal is that widening based on the TIA will be constructed and a fee-in-lieu will be paid for future improvements defined by the limited Buffalo Rd frontage.

Home affordability and variety
G8 zoning matrix does not allow for townhomes. To give the best possibility for more affordable variety of homes in the Town, Terravita requests the ability to include townhomes.

Neighborhood Meeting Information

A neighborhood meeting was held via Teams online on July 25th at 6:00 pm.

There were approximately fifteen neighbors in attendance, along with three members of the design team, and one Senior Planner from the Town of Knightdale.

Date of meeting: July 25th, 2024

Time of meeting: 6:00 pm EST

Design consultants:
Charles R, Walker III from EPG,
Tommy Craven, Ben Williams, and Greg Elkins from Priest Craven and Associates

Town of Knightdale:
Kevin Lewis, Senior Planner, AICP, CZO

Discussion Points

At the neighborhood meeting for Terravita, the neighbors had questions about streets, traffic, the site buffers, proposed utilities, types of units, construction timing, and architectural standards. Their questions are as follows:

A neighbor asked if there was a clubhouse proposed.

Design Team confirmed there would not be a clubhouse but there would be a public greenway and private open space /play areas for the residents.

The neighbors in the Horton Mill subdivision raised a concern that their roads need maintenance/repair. Their roads are owned by a private HOA, and they are unable to get the former developer to make repairs.

Design Team stated that the residents would need to contact the Town of Knightdale to possibly turn their roads into Town public roads. The roads are currently in an NCDOT ROW.

One neighbor asked how many access points were planned because they were concerned about existing traffic in the area.

Design Team showed the Group the current layout of the Project including the access points. Stated the TIA was not complete at that time but the Project would make modifications if called for by the TIA.

A neighbor asked if Knightdale will be maintaining the roads in Terravita.

Design Team confirmed that Knightdale would maintain the roads once the Project was annexed into the Town.

The neighbor directly adjacent to the proposed street connection at Buffaloe Rd was concerned that the proposed connection limits their access to the Private Access Easement.

Design Team noted that they are required to make the connection at that location and a public ROW would take the place of the easement allowing for access.

Several neighbors asked if we would be putting a fence or wall around Terravita.

Design Team stated that there would not be a fence, but there would be a Type B 20' landscaped buffer around the entire property except where it will join with Weldon.

A neighbor asked to describe the plants in a Type B buffer.

The Design Team showed them the graphic from the UDO showing what is in a Type B buffer.

A neighbor asked what the overall time frame for this Project to begin.

Design Team stated that if approved actual construction would not start for another 18 to 24 months. Date of the meeting was July 25, 2024.

Matt Warner, For meeting minutes-- another concern is there is a 100 year floodplain in most of the proposed area near the existing pond, including Beaver Damn Creek and lot 47, etc.

We agreed to look into this. After review, it has been determined that there are no floodplains on this site according to map 3720175500K.

Michelle RUSSO, when do you expect clearing to start?

We responded that clearing may begin in 2 years.

Hans Kerekes, I believe its a 50' buffer along the creek/pond

The On-site Determination for DWR Project 23-319 stated that the pond is not subject to buffer rules. The buffer for the creek has been shown.

Tricia Montgomery, Good Evening....Just so that I'm clear, where exactly is 8908 Buffalo Rd on this map?

We pointed out the location of this parcel on the overall site plan during the meeting.

Hans Kerekes, I assume you will leave as much existing woods around SCM #4?

Our response to this was that we will leave it or it is always our intention to leave as many trees as possible except that the volume capability of each of the of each of the stormwater devices is the major concern. Thus, if we have to take down the trees to make the pond large enough to handle the stormwater requirements, then we won't be able to save the trees, but there will be a replanting plan in its place in the open space.

Matt Warner, I am located on lot 47, where it appears the road will cut into the previously established Horton Mill neighborhood. Can you elaborate what will happen to Beaver Damn Creek, which runs right behind my house-- which collects from where houses 223-226. Also have flow/drainage issues and call this area "the swamp".

We explained that our streets are required to be curb and gutters, and that they will have curb inlets. Thus, they will accept and divert the water away from that area toward the stormwater devices near the near the pond.

Hans kerekes, Are there going to be some traffic calming measures on street B to keep speeds low therefore reducing noise

We explained that we will be utilizing the town's street sections including a divided median street, and that the town does not allow speed bumps.

Michelle RUSSO, I assume the dotted/solid lines and such around the pond are to mark off where you cannot clear due to it being a part of the Neuse River Buffer? I think that's what the Zones mean but it's hard to read.

We explained that those represent the river buffers. However, now that the buffer determination has determined that the pond is not a buffered entity, those lines have been removed from the latest set of plans.

Michelle RUSSO, I've seen surveyors (I assume) coming through my yard from time to time. I'd appreciate advance notice before they come onto my land (or near it ideally/within eyesite). I have PTSD from a previous home break-in and appreciate your cooperation to avoid stress and anxiety.

We agreed to notify her if we were to be doing survey work in the area.

Michelle RUSSO, Will there be berms built up between your community and our neighboring community? Or any other landscaping/bushes?

We explained that our intention to not clear if we do not have to. However, if we do have to clear those areas that they will be re-planted with a Type B Landscape buffer where required by the town.

Michelle RUSSO, Right on the property line between my yard and your development are some trees that are damaged and at risk to fall. Will you be removing those dying trees? They are at risk of falling on my house/shed and I've been trying for awhile to find a contact of the property owner to have them taken down.

We explained that on-site trees will be evaluated at the time of survey, and that any dead and dying trees located on our site will be removed accordingly.

Michelle RUSSO, My house sits directly behind the small pond at the backside of this development. Currently it has erosion and drainage issues and floods my yard regularly (some of it caused by beavers too). What are your plans to correct the drainage issues to correct the flow problem into the creek as it should flow (and stop the flooding to my yard)?

We indicated that as we go deeper into the project, we will be more in tune with exactly how to deal with that level of detail. We also explained that we will have two stormwater retention ponds that will be located below the existing pond that will reduce the flow release rates to predevelopment levels.

Michelle RUSSO, According the plans I've seen, it appears that there will be 2 entrances into this neighborhood that pass through Horton Mill Subdivision. Our neighborhood streets are currently still private (our developer never fulfilled his commitment to update them to hand over to the state). With the size of your community and expected extra traffic, what are your plans to upgrade

We explained that it is our understanding from the process that we went through last time is that the roads in that neighborhood are in fact in a public right of way, but the DOT has not accepted them for maintenance. We also let her know that we are going connect to the one road that is stubbed to us, which is a requirement. The other stub road to the South will be going through Weldon village.

Jannet Barnes asked that we please remove the roundabout.

We responded that the town favors a round-a-bout in the location we are proposing.

Attendance Records

1. Summary

Meeting title Terravita Neighborhood Meeting
Attended participants 19
Start time 7/25/24, 5:30:00 PM
End time 7/25/24, 6:57:41 PM
Meeting duration 1h 23m 41s
Average attendance time 44m 47s

2. Participants

Name, Email, Phone, Number, Notes, First Join, Last Leave, In-Meeting Duration

+19192663127 (Unverified) 7/25/24, 5:58:37 PM 7/25/24, 6:57:39 PM 59m 2s
+19192951091 (Unverified) 7/25/24, 5:46:59 PM 7/25/24, 5:47:37 PM 37s
+19193397222 (Unverified) 7/25/24, 6:00:59 PM 7/25/24, 6:08:48 PM 7m 49s
+19196303161 (Unverified) 7/25/24, 6:50:45 PM 7/25/24, 6:57:41 PM 6m 55s
+19199713456 (Unverified) 7/25/24, 6:20:53 PM 7/25/24, 6:57:31 PM 36m 38s
Ben Williams (host) bwilliams@priestcraven.com 7/25/24, 5:34:01 PM 7/25/24, 6:57:38 PM 1h 23m 36s
Gideon Smith (External) Gideon.Smith@knightdalenc.gov 7/25/24, 5:52:08 PM 7/25/24, 6:57:31 PM 1h 1m 22s
Hans Kerekes (Unverified) hkerekes@gmail.com Lot 49 7/25/24, 5:38:19 PM 7/25/24, 6:57:26 PM 1h 19m 7s
Jannet Barnes (Unverified) 1609 Cotton Dr. Knightdale 7/25/24, 5:59:29 PM 7/25/24, 6:57:26 PM 57m 57s
J. Adam Ashbaugh jashbaugh@drbgroun.com 7/25/24, 6:06:07 PM 7/25/24, 6:57:25 PM 51m 18s
Kevin Lewis (External) kevin.lewis@knightdalenc.gov 7/25/24, 6:03:23 PM 7/25/24, 6:54:26 PM 51m 3s
Matt Warner (External) matt.warner@duncan-parnell.com Lot 47, Proc Ridge Ln. 7/25/24, 6:08:38 PM 7/25/24, 6:57:35 PM 48m 56s
Michelle RUSSO (External) mrusso@kds.com, michellerusso1@yahoo.com Lot 48 7/25/24, 5:54:36 PM 7/25/24, 6:57:30 PM 1h 2m 53s
P Underwood (Unverified) 7/25/24, 6:01:28 PM 7/25/24, 6:54:42 PM 53m 14s
Sergio Maciel (Unverified) 919-917-6375 asked to be called about staking 7/25/24, 6:14:11 PM 7/25/24, 6:57:29 PM 43m 18s
Sharon (Unverified) 7/25/24, 6:02:38 PM 7/25/24, 6:57:34 PM 54m 55s
Tamia Ray (Unverified) 7/25/24, 6:03:23 PM 7/25/24, 6:33:44 PM 30m 21s
Tricia Montgomery (Unverified) triceswork@gmail 7/25/24, 5:57:56 PM 7/25/24, 6:57:33 PM 59m 36s
Tracy Warner tracy.warner@syneoshealth.com 7/25/24, 6:06:33 PM 7/25/24, 6:08:41 PM 2m 7s