

**GENERAL NOTES**

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE, AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY BATEMAN CIVIL SURVEY COMPANY DATED JUNE 27TH 2025.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO GRADING, DEVELOPMENT, OR LAND-DISTURBING ACTIVITIES SHALL OCCUR WITHIN A BUFFER YARD IF FOREST CANOPY, SPECIMEN TREES, OR SIGNIFICANT VEGETATION EXISTS WITHIN THESE AREAS, UNLESS APPROVED BY THE LAND USE ADMINISTRATOR. IF GRADING WITHIN A BUFFER YARD IS PROPOSED, SLOPES OF 1:3 OR LESS ARE ENCOURAGED TO ENSURE THE PROPER TRANSITION OF GRADES TO THE ADJACENT PROPERTY AND TO FACILITATE LANDSCAPING AND MAINTENANCE.

**SHEET LIST TABLE:**

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MP 1.3	TREE SAVE AREA BREAKDOWN
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MP 2.1	PRELIMINARY SITE LAYOUT PLAN NORTH
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MP 6.4	SITE DETAILS
EX 1.0	ROUNDABOUT EXHIBIT

**RALEIGH WATER CONDITIONS OF APPROVAL:**

- ALL WATER, SANITARY SEWER AND REFUSE FACILITIES SHALL BE INSTALLED, INSPECTED, TESTED, AND ACCEPTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR OPERATIONS AND MAINTENANCE PRIOR TO 1ST CO A PETITION FOR ANNEXATION INTO THE CITY LIMITS SHALL BE SUBMITTED IN ACCORDANCE WITH CITY COUNCIL POLICY FOR EXTENSION OF UTILITY SERVICE TO PROPERTIES CURRENTLY OUTSIDE OF THE CITY LIMITS PRIOR TO PLAT RECORDATION.
- CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS PRIOR TO PLAT RECORDATION.
- A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS PRIOR TO BUILDING PERMIT ISSUANCE.
- A DOWNSTREAM SEWER CAPACITY STUDY IN COMPLIANCE WITH CORPUD HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- A DEED SHALL BE RECORDED PRIOR TO CONSTRUCTION DRAWING APPROVAL FOR ALL NECESSARY OFFSITE CITY OF RALEIGH SANITARY SEWER EASEMENTS TO ACCOMMODATE FUTURE SEWER LINE CONSTRUCTION.

**ATTENTION CONTRACTORS**

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division to schedule a Pre-construction meeting on the Development Portal prior to beginning any construction.

Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require re-installation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of Raleigh Water Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

**WATER ALLOCATION POINT TABLE:**

BASE POINTS:	NOTES
MAJOR SUBDIVISION	15 PTS
<b>CATEGORY 2 - GREEN DEVELOPMENT STANDARDS:</b>	
2B: STORMWATER - BIORETENTION	5 PTS
2B: STORMWATER - WETLAND	5 PTS
2C: IMPLEMENT RECOMMENDATIONS OF THE AFFORDABLE KNIGHTDALE PLAN	10 PTS
2C: EXCLUSIVE USE OF NATIVE LANDSCAPE SPECIES	5 PTS
<b>CATEGORY 3 - OUTDOOR ENHANCEMENT:</b>	
3: OUTDOOR DISPLAY OF PUBLIC ART	4 PTS
3: INSTALLATION OF WAYFINDING/TOWN SIGNAGE	3 PTS
<b>CATEGORY 4 - AMENITIES:</b>	
4A: PRIVATE GREENWAY	2 PTS
4B: LAP POOL (4 LANE MIN.)	3 PTS
4E: CLUBHOUSE (BATH & CHANGING ROOM ONLY)	3 PTS
4F: IPEMA CERTIFIED PLAYGROUND EQUIPMENT	4 PTS
TOTAL POINTS	59 PTS

**GREENWAY NOTE:**  
PUBLIC GREENWAY TRAIL ROUTE SHOULD LIMIT ITS INTERACTION WITH ROADWAYS THROUGHOUT THE DEVELOPMENT.

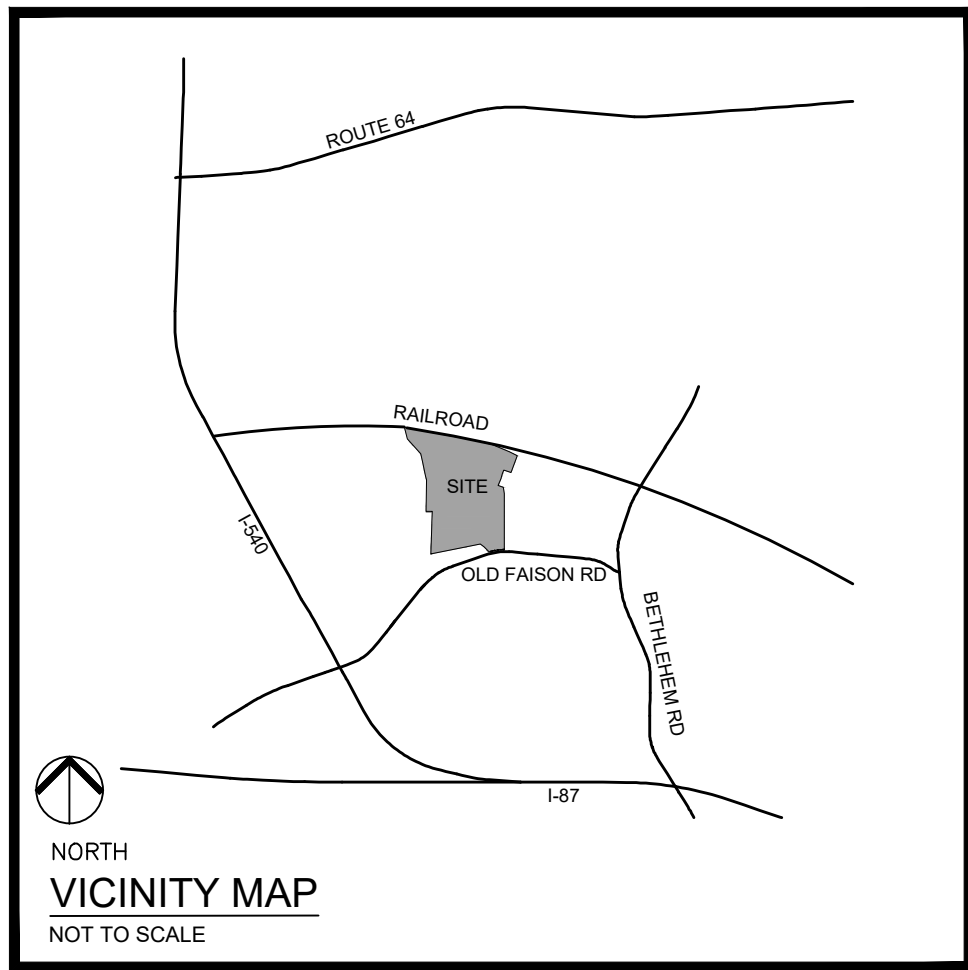
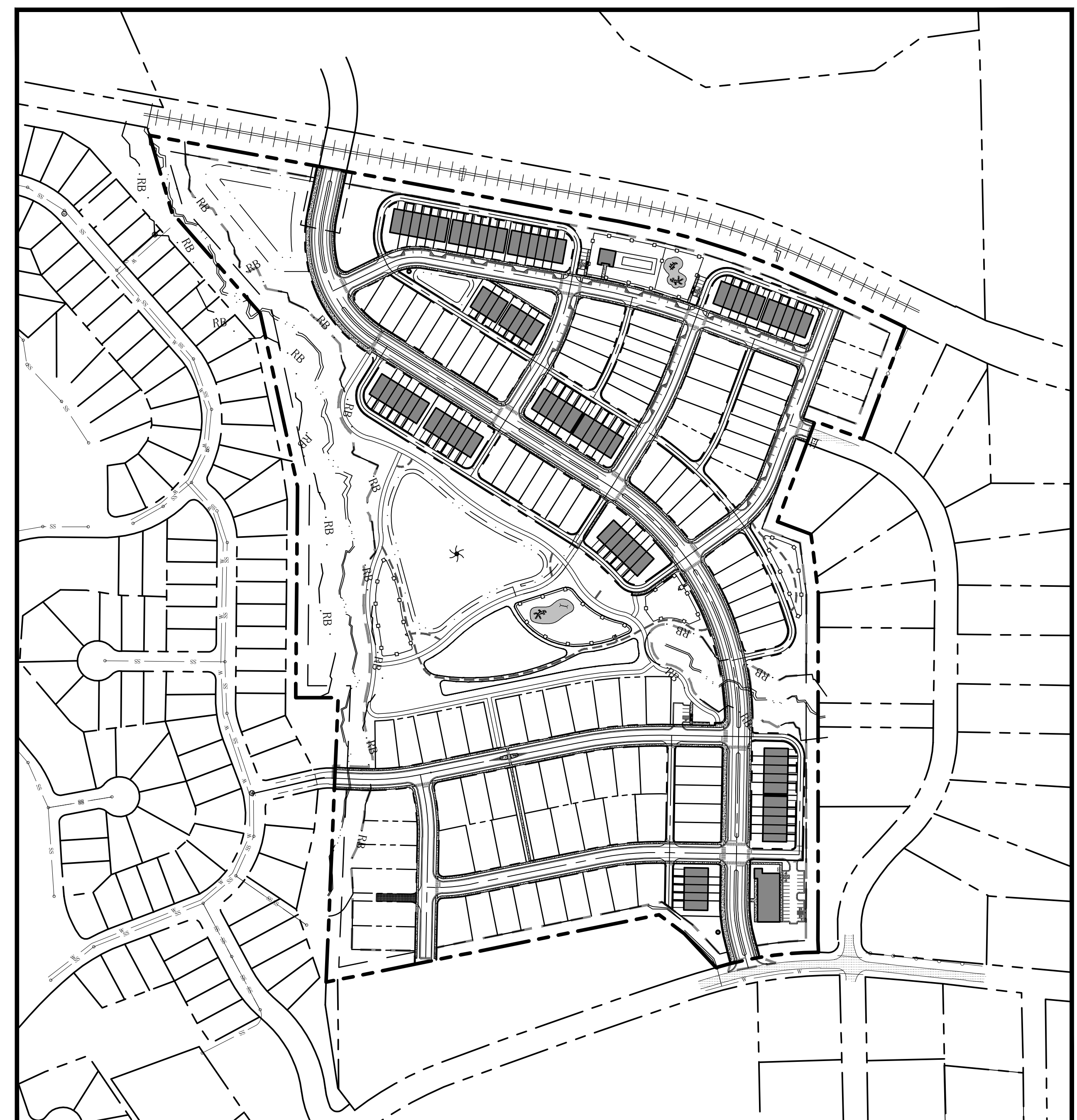
**PROJECT NOTE:**  
THIS MASTER PLAN IS CONCEPTUAL AND NOT FOR CONSTRUCTION. THIS PROJECT WILL REQUIRE TOWN OF KNIGHTDALE SITE PLAN APPROVAL AND PERMITTING PRIOR TO CONSTRUCTION. CONCEPT PLAN IS INTENDED TO BE USED FOR PLANNING AND SCOPE DEVELOPMENT ONLY.

# FAISON RESERVE

## 4402 OLD FAISON ROAD

### Knightsdale, North Carolina

#### MASTER PLANS (ZMA-1-25)



**SITE DATA SUMMARY**

PROJECT NAME:	FAISON RESERVE
PROPERTY OWNER:	MARLOWE & MOYE LLC PO BOX 20667 RALEIGH, NC 27619 PHONE: (919) 844-7888
PARCEL #:	0031642
PIN(S):	1743-89-5866, 1743-88-6921
SITE ADDRESS:	4402 OLD FAISON ROAD
JURISDICTION:	KNIGHTDALE
EXISTING ZONING:	RT
PROPOSED ZONING:	UR12 PUD
OVERLAY DISTRICT:	N/A
WATERSHED:	NEUSE RIVER
GROSS LOT ACREAGE:	2,518,207 SF/57.81 AC.
RIGHT OF WAY DEDICATION:	534,715 SF/12.27 AC.
NET LOT ACREAGE:	1,983,722 SF/45.54 AC.
WIDEWATERS PARKWAY LENGTH:	2,470 LF.
GREENWAY (PUBLIC & PRIVATE):	3,500 LF.
PUBLIC SIDEWALKS (5' WIDE):	5,000+ LF.
SANITARY SEWER LINES & MANHOLES:	±6,700 LF. SS, 36 MANHOLES MIN.
CURRENT USE:	VACANT
PROPOSED USE:	TOWNHOMES, 40' SINGLE-FAMILY ROW HOUSES, 60' SINGLE-FAMILY HOMES, COMMERCIAL BUILDING
CURRENT USE OF ADJACENT PARCELS:	SINGLE FAMILY RESIDENTIAL
COMMERCIAL BUILDING AREA:	7,500 SF.
COMMERCIAL LOT:	28,674 SF/0.66 AC.
BUILDING HEIGHT:	42'
PROPOSED UNITS:	78 TOWNHOMES (42%) 53 SINGLE-FAMILY ROW HOUSES (29%) 53 SINGLE-FAMILY HOMES (29%) 4.04 DU/AC AFTER R/W DEDICATION
PROPOSED DENSITY:	
BUILDING SETBACKS:	
TOWNHOMES:	24'108 UNITS=212 SPACES
FRONT (MAX.):	25'
SIDE (MIN.):	3'
REAR (MIN.):	15'
SINGLE-FAMILY:	
FRONT (MIN.):	10'
CORNER SIDE (MIN.):	10'
SIDE (MIN.):	20% LOT WIDTH (AS AGGREGATE)
REAR (MIN.):	SINGLE FAM: 25'; SINGLE FAM. ROW: 20'
COMMERCIAL (CLUBHOUSE):	
FRONT (MIN.):	10'
FRONT (MAX.):	30'
SIDE (MIN.):	6'
MIXED-USE (RETAIL):	
FRONT (MAX.):	10'
SIDE (MIN.):	10'
PARKING CALCULATIONS:	
TOWNHOMES:	1 PER BEDROOM UP TO 2 PER UNIT
REQUIRED PARKING (MIN.):	2*78 UNITS=156 SPACES
PARKING PROVIDED:	156 SPACES (DRIVEWAY/GARAGE), 17 ON-STREET SPACES
SINGLE-FAMILY:	
REQUIRED PARKING (MIN.):	1 PER BEDROOM UP TO 2 PER UNIT
PARKING PROVIDED:	212 SPACES (DRIVEWAY/GARAGE), 18 ON-STREET SPACES
COMMERCIAL (COMMUNITY FACILITY):	
REQUIRED PARKING (MIN.):	1/2 OF MAXIMUM=X SPACES
REQUIRED PARKING (MAX.):	1 PER 3 PERSONS PERMITTED CAP *X PERSONS=X SPACES
PARKING PROVIDED:	10 OFF-STREET SPACES(INCL. 2 ADA), 8 ON-STREET SPACES
MIXED-USE (RETAIL):	
REQUIRED PARKING (MIN.):	1/2 OF MAXIMUM=13 SPACES
REQUIRED PARKING (MAX.):	3.5*7.5 KSF GFA=26 SPACES
PARKING PROVIDED:	24 OFF-STREET SPACES (INCL. 2 ADA & 3 EV CHARGING)
FLOOD ZONE:	NW CORNER LOCATED IN FLOOD ZONE ACCORDING TO FEMA MAP #3720174500K, 07/19/2022

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

NORTH

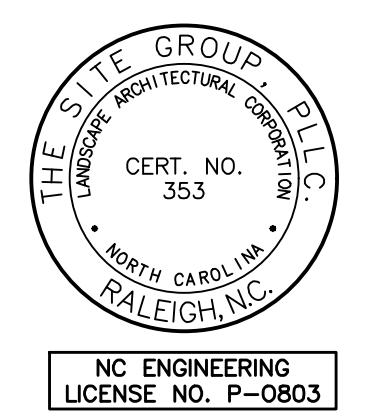
COVER SHEET

SCALE: 1" = 200'

0 200 400 600 800

Job Code L70FRZ

Dwg No. MP 0.1



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CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
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E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
4402 OLD FAISON ROAD  
KNIGHTDALE, NORTH CAROLINA  
WAKE COUNTY

Drawn By: JHJ  
Checked By: BDM

DATE:  
24 NOV 2025  
REVISED:  
26 JAN 2026  
31 MAR 2026

MASTER PLANS

COVER SHEET

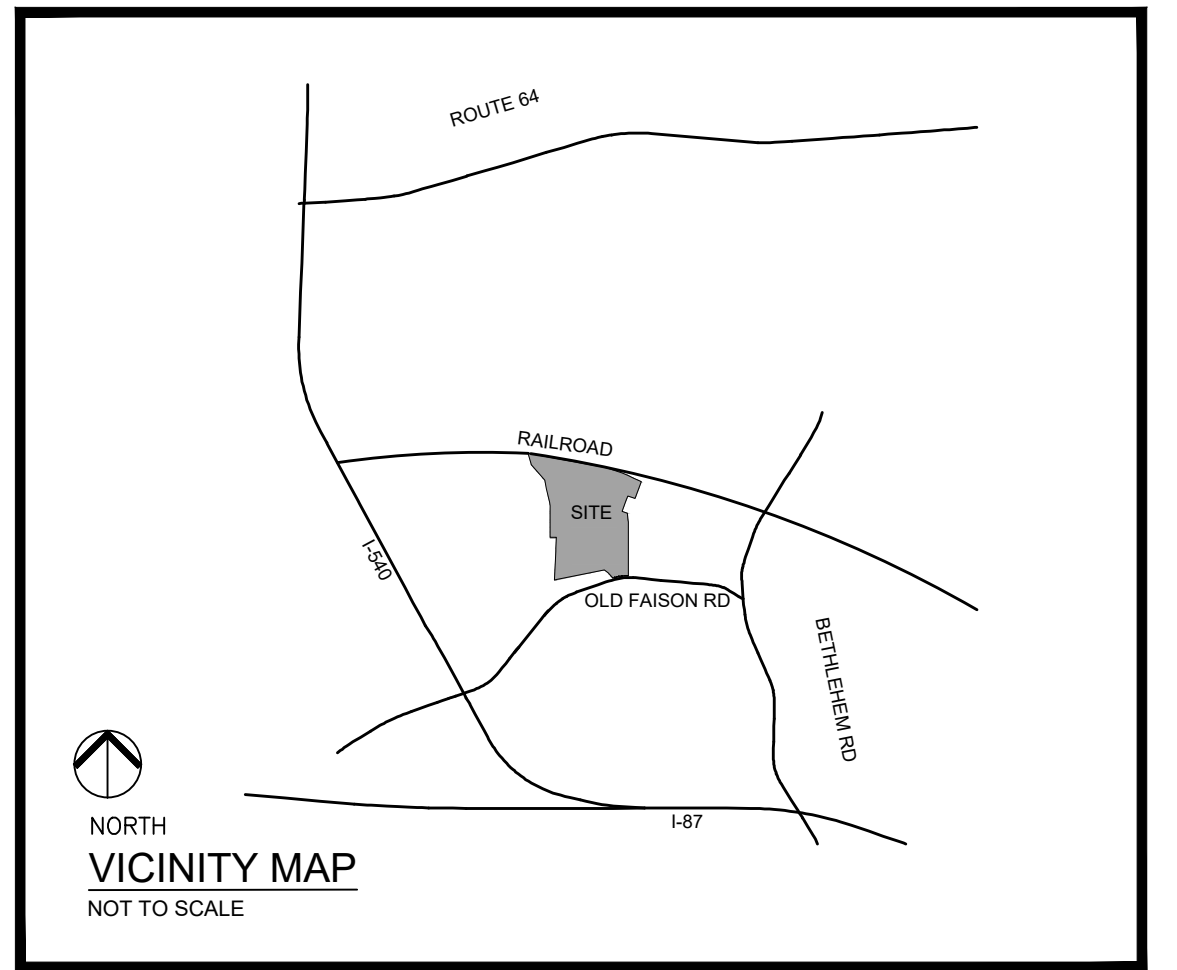
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- LEGEND**
- EIP EXISTING IRON PIPE
  - EIR EXISTING IRON REBAR
  - ECM EXISTING CONCRETE MONUMENT
  - EPK EXISTING PKI MAG NAIL
  - IPS IRON PIPE SET
  - PKS PK NAIL SET
  - DB DEED BOOK
  - PB PLAT BOOK
  - PG PAGE
  - R/W RIGHT OF WAY
  - N/F NOW OR FORMERLY
  - (T) TOTAL
  - TYP TYPICAL
  - RCP REINFORCED CONCRETE PIPE
  - DIP DUCTILE IRON PIPE
  - CPP CORRUGATED PLASTIC PIPE
  - BCF BOUNDARY CORNER FOUND
  - BCS BOUNDARY CORNER SET
  - MPF MONUMENT FOUND
  - CPM COMPUTED POINT
  - SB SITE BENCHMARK
  - U VALVE
  - AM UTILITY MANHOLE
  - UHM UTILITY HAND HOLE
  - UM UTILITY METER
  - UMK UTILITY MARKER
  - UP UTILITY POLE
  - GW GUY WIRE
  - LP LIGHT POLE
  - FH FIRE HYDRANT
  - CO CLEAN OUT
  - CB CATCH BASIN
  - DI DROP INLET
  - TR TRANSFORMER
  - EP ELECTRIC PEDESTAL / BOX
  - TP TELEPHONE PEDESTAL / BOX
  - CP CABLE PEDESTAL / BOX
  - W WELL
  - S SIGN
  - AC UNIT
  - PL PROPERTY LINE SURVEYED
  - PLN PROPERTY LINE NOT SURVEYED
  - BL BOUNDARY TIE LINE
  - R/W RIGHT OF WAY
  - EASEMENTS
  - SETBACKS
  - OUH OVERHEAD UTILITY LINE
  - SSL SANITARY SEWER LINE
  - US UNDERGROUND SEWER LINE
  - SD STORM DRAINAGE LINE
  - WL WATER LINE
  - UE UNDERGROUND ELECTRIC
  - UW UNDERGROUND WATER
  - UF UNDERGROUND FIBER
  - UG UNDERGROUND GAS
  - UT UNDERGROUND TELEPHONE
  - UKM UNDERGROUND UNKNOWN LINE
  - PAV PAVEMENT
  - CON CONCRETE
  - GRAV GRAVEL



- NOTES**
- THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY COMPANY UNDER THE SUPERVISION OF F. REX COOPER, PLS.
  - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE BASED ON GPS OBSERVATIONS, NAD83 / NSRS 2011 / SPC, UNLESS OTHERWISE SHOWN.
  - PROPERTY LIES IN ZONE "X" PER NATIONAL INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBERS 3720174300K & 37210174400K, DATED 07/19/2022.
  - SUBJECT PROPERTY ZONED "RT" FOR THE TOWN OF KNIGHTDALE PER WAKE COUNTY GIS.
  - AREAS COMPUTED BY COORDINATE METHOD.
  - THIS MAP HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
  - PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND/OR PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY CLIENT.
  - NO CEMETERIES WERE OBSERVED AS A RESULT OF THIS SURVEY.
  - THE SUBJECT PARCEL HAS DIRECT ACCESS OLD FAISON ROAD, A PUBLIC RIGHT OF WAY.
  - NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
  - BUILDINGS AND STRUCTURES SHOWN AS OBSERVED.
  - BOUNDARY CORNERS SET ARE 3/4" IPS UNLESS OTHERWISE NOTED.
  - NO EVIDENCE OF RECENT EARTH MOVING OR CONSTRUCTION WAS OBSERVED AT THE TIME OF SURVEY.
  - SURVEYOR IS NOT AWARE OF ANY PROPOSED CHANGES TO STREET RIGHT OF WAY LINES. NO EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED AT THE TIME OF SURVEY.
  - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

CURVE TABLE				
CURVE#	LENGTH	RADIUS	BEARING	CHORD
C1	260.96'	698.70'	S81°34'28"W	260.04'

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PRELIMINARY  
 DO NOT USE FOR CONSTRUCTION

NORTH  
 EXISTING  
 CONDITIONS PLAN

SCALE: 1" = 100'

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 Raleigh, NC 27605-1136 USA  
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**MASTER PLANS (ZMA-1-25) FOR:**  
**FAISON RESERVE**  
 4402 OLD FAISON ROAD  
 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

---

Drawn By: **JHJ**  
 Checked By: **BDM**

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DATE: 24 NOV 2025  
 REVISED:  
 ▲ 26 JAN 2026  
 ▲ 31 MAR 2026

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**MASTER PLANS**  
**EXISTING CONDITIONS PLAN**

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Job Code: **L70FRZ**  
 Dwg No.: **MP 1.0**

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TREE SAVE AREA LEGEND

-  TIER 1 TSA
-  TIER 2 TSA
-  TIER 3 TSA

GENERAL NOTES

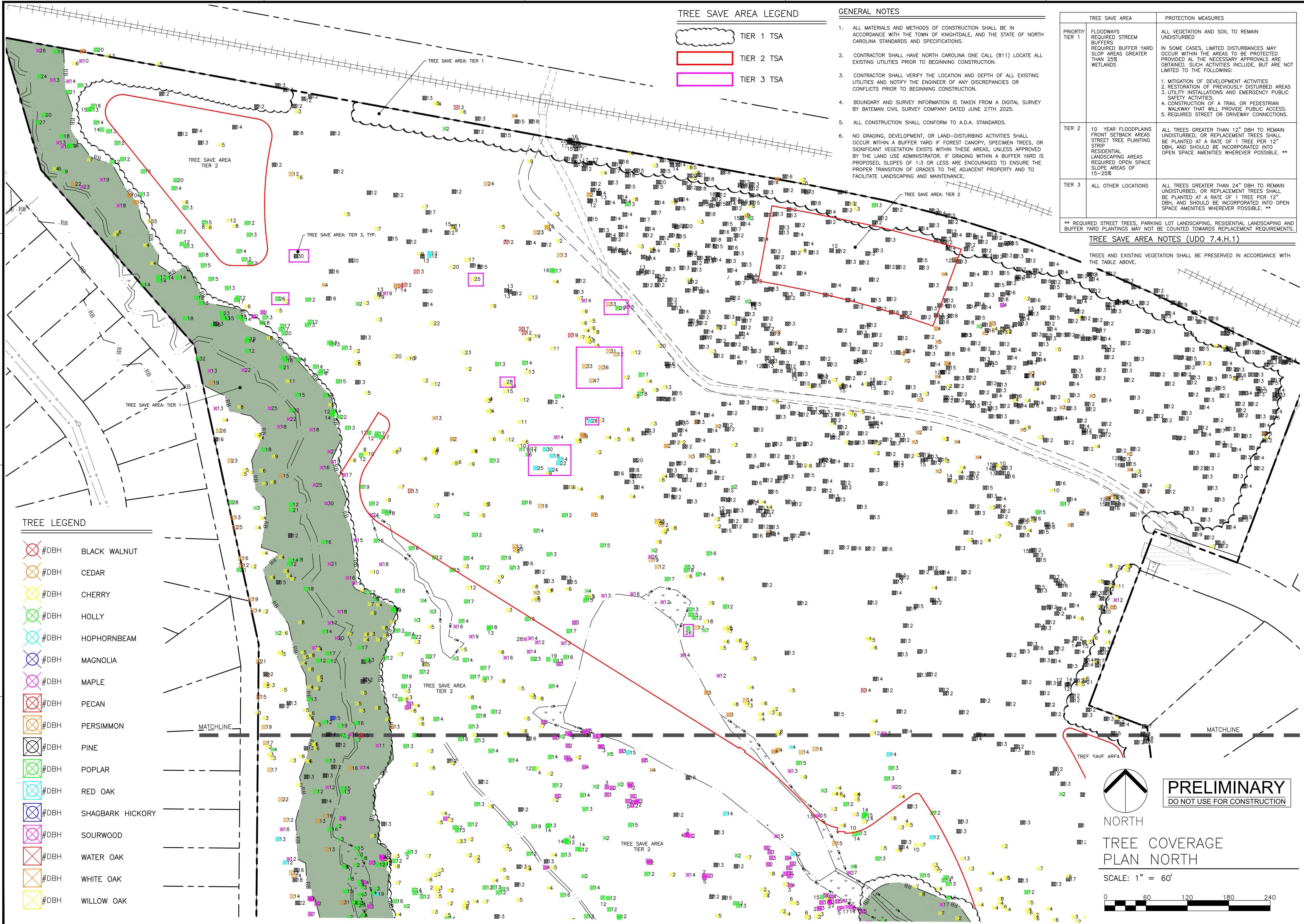
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TREE SAVE AREA	PROTECTION MEASURES
PRIORITY TIER 1 FLOODWAYS REQUIRED STREAM BUFFERS REQUIRED BUFFER YARD SLOP AREAS GREATER THAN 25% WETLANDS	ALL VEGETATION AND SOIL TO REMAIN UNDISTURBED  IN SOME CASES, LIMITED DISTURBANCES MAY OCCUR WITHIN THE AREAS TO BE PROTECTED PROVIDED AL THE NECESSARY APPROVALS ARE OBTAINED, SUCH ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: 1. MITIGATION OF DEVELOPMENT ACTIVITIES 2. RESTORATION OF PREVIOUSLY DISTURBED AREAS 3. UTILITY INSTALLATIONS AND EMERGENCY PUBLIC SAFETY ACTIVITIES 4. CONSTRUCTION OF A TRAIL OR PEDESTRIAN WALKWAY THAT WILL PROVIDE PUBLIC ACCESS. 5. REQUIRED STREET OR DRIVEWAY CONNECTIONS.
TIER 2 10 YEAR FLOODPLAINS BUFFERS SETBACK AREAS STREET TREE PLANTING STRIP RESIDENTIAL LANDSCAPING AREAS REQUIRED OPEN SPACE SLOPE AREAS OF 15-25%	ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. **
TIER 3 ALL OTHER LOCATIONS	ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. **

\*\* REQUIRED STREET TREES, PARKING LOT LANDSCAPING, RESIDENTIAL LANDSCAPING AND BUFFER YARD PLANTINGS MAY NOT BE COUNTED TOWARDS REPLACEMENT REQUIREMENTS.

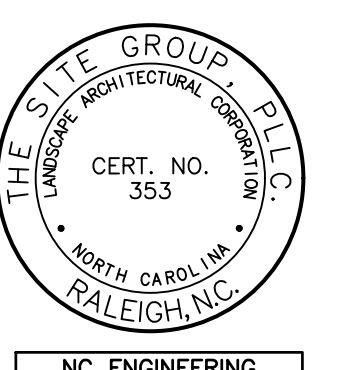
TREE SAVE AREA NOTES (UDO 7.4.H.1)

TREES AND EXISTING VEGETATION SHALL BE PRESERVED IN ACCORDANCE WITH THE TABLE ABOVE.



TREE LEGEND

-  #DBH BLACK WALNUT
-  #DBH CEDAR
-  #DBH CHERRY
-  #DBH HOLLY
-  #DBH HOPHORNBEAM
-  #DBH MAGNOLIA
-  #DBH MAPLE
-  #DBH PECAN
-  #DBH PERSIMMON
-  #DBH PINE
-  #DBH POPLAR
-  #DBH RED OAK
-  #DBH SHAGBARK HICKORY
-  #DBH SOURWOOD
-  #DBH WATER OAK
-  #DBH WHITE OAK
-  #DBH WILLOW OAK



NC ENGINEERING LICENSE NO. P-0803

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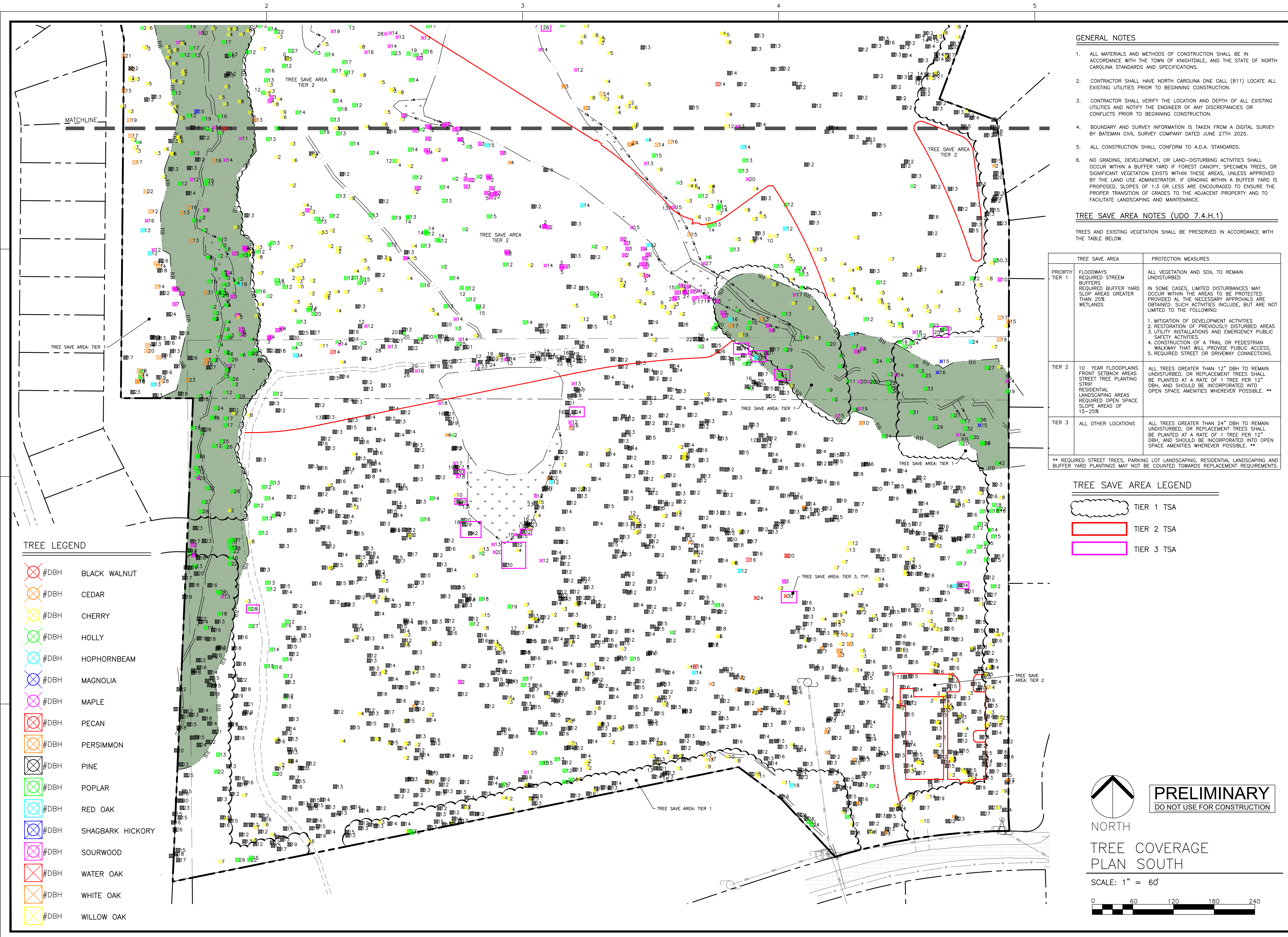
**PRELIMINARY**  
 DO NOT USE FOR CONSTRUCTION

MASTER PLANS  
 TREE COVERAGE PLAN  
 NORTHWEST

Job Code L70FRZ

Dwg No.  
**MP 1.1**

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**TREE LEGEND**

⊗	#DBH	BLACK WALNUT
⊗	#DBH	CEDAR
⊗	#DBH	CHERRY
⊗	#DBH	HOLLY
⊗	#DBH	HOPHORNBEAM
⊗	#DBH	MAGNOLIA
⊗	#DBH	MAPLE
⊗	#DBH	PECAN
⊗	#DBH	PERSIMMON
⊗	#DBH	PINE
⊗	#DBH	POPLAR
⊗	#DBH	RED OAK
⊗	#DBH	SHAGBARK HICKORY
⊗	#DBH	SOURWOOD
⊗	#DBH	WATER OAK
⊗	#DBH	WHITE OAK
⊗	#DBH	WILLOW OAK

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**TREE SAVE AREA NOTES (UDO 7.4.H.1)**

TREES AND EXISTING VEGETATION SHALL BE PRESERVED IN ACCORDANCE WITH THE TABLE BELOW.

TREE SAVE AREA	PROTECTION MEASURES
PRIORITY TIER 1 FLOODWAYS REQUIRED STREAM BUFFERS REQUIRED BUFFER YARD SLOP AREAS GREATER THAN 25% WETLANDS	ALL VEGETATION AND SOIL TO REMAIN UNDISTURBED  IN SOME CASES, LIMITED DISTURBANCES MAY OCCUR WITHIN THE AREAS TO BE PROTECTED PROVIDED ALL THE NECESSARY APPROVALS ARE OBTAINED. SUCH ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: 1. MITIGATION OF DEVELOPMENT ACTIVITIES 2. RESTORATION OF PREVIOUSLY DISTURBED AREAS 3. UTILITY INSTALLATIONS AND EMERGENCY PUBLIC SAFETY ACTIVITIES 4. CONSTRUCTION OF A TRAIL OR PEDESTRIAN WALKWAY THAT WILL PROVIDE PUBLIC ACCESS. 5. REQUIRED STREET OR DRIVEWAY CONNECTIONS.
TIER 2 10 YEAR FLOODPLAINS FRONT SETBACK AREAS STREET TREE PLANTING STRIP RESIDENTIAL LANDSCAPING AREAS REQUIRED OPEN SPACE SLOPE AREAS OF 15-25%	ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. **
TIER 3 ALL OTHER LOCATIONS	ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. **

\*\* REQUIRED STREET TREES, PARKING LOT LANDSCAPING, RESIDENTIAL LANDSCAPING AND BUFFER YARD PLANTINGS MAY NOT BE COUNTED TOWARDS REPLACEMENT REQUIREMENTS.

**TREE SAVE AREA LEGEND**

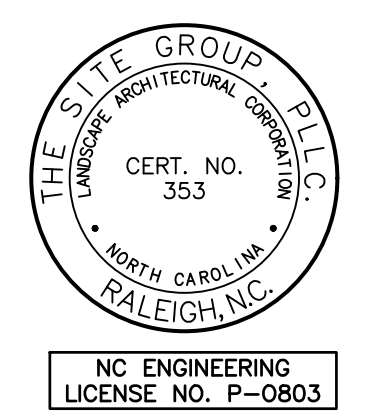
	TIER 1 TSA
	TIER 2 TSA
	TIER 3 TSA

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

NORTH

**TREE COVERAGE PLAN SOUTH**

SCALE: 1" = 60'



**THE SITE GROUP**  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

THE SITE GROUP, P.L.L.C.  
1111 S. OAKWOOD  
RALEIGH, NC 27605-1136 USA  
Office: 919.835.4787  
E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
4402 OLD FAISON ROAD  
KNIGHTDALE, NORTH CAROLINA  
WAKE COUNTY

Drawn By: **JHJ**  
Checked By: **BDM**

DATE: 24 NOV 2025  
REVISED:  
△ 26 JAN 2026  
△ 31 MAR 2026

**MASTER PLANS**

**TREE COVERAGE PLAN SOUTH**

Job Code: **L70FRZ**

Dwg No. **MP 1.2**

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**TREE SAVE AREA NOTES (UDO 7.4.H.1)**

TREES AND EXISTING VEGETATION SHALL BE PRESERVED IN ACCORDANCE WITH THE TABLE BELOW.

TREE SAVE AREA	PROTECTION MEASURES
<p>PRIORITY TIER 1</p> <p>FLOODWAYS REQUIRED STREAM BUFFERS REQUIRED BUFFER YARD SLOP AREAS GREATER THAN 25% WETLANDS</p>	<p>ALL VEGETATION AND SOIL TO REMAIN UNDISTURBED</p> <p>IN SOME CASES, LIMITED DISTURBANCES MAY OCCUR WITHIN THE AREAS TO BE PROTECTED PROVIDED ALL THE NECESSARY APPROVALS ARE OBTAINED. SUCH ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:</p> <ol style="list-style-type: none"> <li>1. MITIGATION OF DEVELOPMENT ACTIVITIES</li> <li>2. RESTORATION OF PREVIOUSLY DISTURBED AREAS</li> <li>3. UTILITY INSTALLATIONS AND EMERGENCY PUBLIC SAFETY ACTIVITIES.</li> <li>4. CONSTRUCTION OF A TRAIL OR PEDESTRIAN WALKWAY THAT WILL PROVIDE PUBLIC ACCESS.</li> <li>5. REQUIRED STREET OR DRIVEWAY CONNECTIONS.</li> </ol>
<p>TIER 2</p> <p>10 YEAR FLOODPLANS FRONT SETBACK AREAS STREET TREE PLANTING STRIP RESIDENTIAL LANDSCAPING AREAS REQUIRED OPEN SPACE SLOPE AREAS OF 15-25%</p>	<p>ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. **</p>
<p>TIER 3</p> <p>ALL OTHER LOCATIONS</p>	<p>ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE. **</p>

\*\* REQUIRED STREET TREES, PARKING LOT LANDSCAPING, RESIDENTIAL LANDSCAPING AND BUFFER YARD PLANTINGS MAY NOT BE COUNTED TOWARDS REPLACEMENT REQUIREMENTS.

**GENERAL NOTES**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE, AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY BATEMAN CIVIL SURVEY COMPANY DATED JUNE 27TH 2025.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
6. NO GRADING, DEVELOPMENT, OR LAND-DISTURBING ACTIVITIES SHALL OCCUR WITHIN A BUFFER YARD IF FOREST CANOPY, SPECIMEN TREES, OR SIGNIFICANT VEGETATION EXISTS WITHIN THESE AREAS, UNLESS APPROVED BY THE LAND USE ADMINISTRATOR. IF GRADING WITHIN A BUFFER YARD IS PROPOSED, SLOPES OF 1:3 OR LESS ARE ENCOURAGED TO ENSURE THE PROPER TRANSITION OF GRADES TO THE ADJACENT PROPERTY AND TO FACILITATE LANDSCAPING AND MAINTENANCE.

**TREE SAVE AREA BREAKDOWN:**

TIER 2 - REQUIRED OPEN SPACE: ALL TREES GREATER THAN 12" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE/12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE.

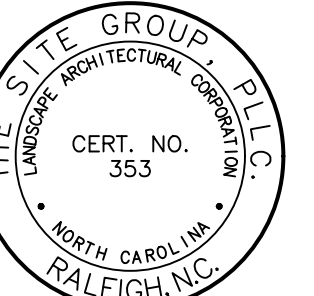
TREES WITHIN REQUIRED OPEN SPACE TO REMAIN UNDISTURBED OR REMOVED+REPLACED = 326 TREES

- (1) 12" CHERRY
- (3) 12" MAPLE
- (2) 13" MAPLE
- (8) 14" MAPLE
- (1) 15" MAPLE
- (3) 16" MAPLE
- (2) 17" MAPLE
- (1) 18" MAPLE
- (1) 19" MAPLE
- (1) 23" MAPLE
- (1) 27" MAPLE
- (1) 28" MAPLE
- (1) 12" PINE
- (36) 13" PINE
- (23) 14" PINE
- (11) 15" PINE
- (9) 16" PINE
- (7) 17" PINE
- (5) 18" PINE
- (4) 19" PINE
- (4) 20" PINE
- (4) 21" PINE
- (9) 22" PINE
- (2) 23" PINE
- (2) 24" PINE
- (4) 25" PINE
- (4) 26" PINE
- (4) 27" PINE
- (1) 28" PINE
- (1) 29" PINE
- (2) 30" PINE
- (29) 12" POPLAR
- (22) 13" POPLAR
- (21) 14" POPLAR
- (8) 15" POPLAR
- (5) 16" POPLAR
- (6) 17" POPLAR
- (2) 18" POPLAR
- (4) 19" POPLAR
- (3) 20" POPLAR
- (1) 22" POPLAR
- (1) 23" POPLAR
- (1) 25" POPLAR
- (1) 27" POPLAR
- (2) 12" RED OAK
- (1) 14" RED OAK
- (1) 34" RED OAK
- (1) 14" WATER OAK
- (1) 13" WHITE OAK
- (1) 15" WHITE OAK
- (2) 12" WILLOW OAK

TIER 3 - ALL OTHER LOCATIONS: ALL TREES GREATER THAN 24" DBH TO REMAIN UNDISTURBED, OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE/12" DBH, AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE.

TREES IN OTHER LOCATIONS TO REMAIN UNDISTURBED OR REMOVED+REPLACED = 26 TREES

- (1) 30" BLACK WALNUT
- (1) 24" PINE
- (2) 25" PINE
- (2) 29" PINE
- (3) 30" PINE
- (2) 32" PINE
- (1) 34" PINE
- (1) 42" PINE
- (2) 26" POPLAR
- (1) 28" POPLAR
- (1) 29" POPLAR
- (1) 41" POPLAR
- (1) 24" WHITE OAK
- (1) 31" WHITE OAK
- (1) 33" WHITE OAK
- (1) 36" WHITE OAK
- (1) 47" WHITE OAK
- (1) 25" WILLOW OAK
- (1) 28" WILLOW OAK
- (1) 24" RED OAK
- (1) 25" RED OAK
- (1) 26" RED OAK
- (1) 28" RED OAK
- (1) 30" RED OAK



NC ENGINEERING LICENSE NO. P-0803

**THE SITE GROUP**  
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MASTER PLANS (ZMA-1-25) FOR:  
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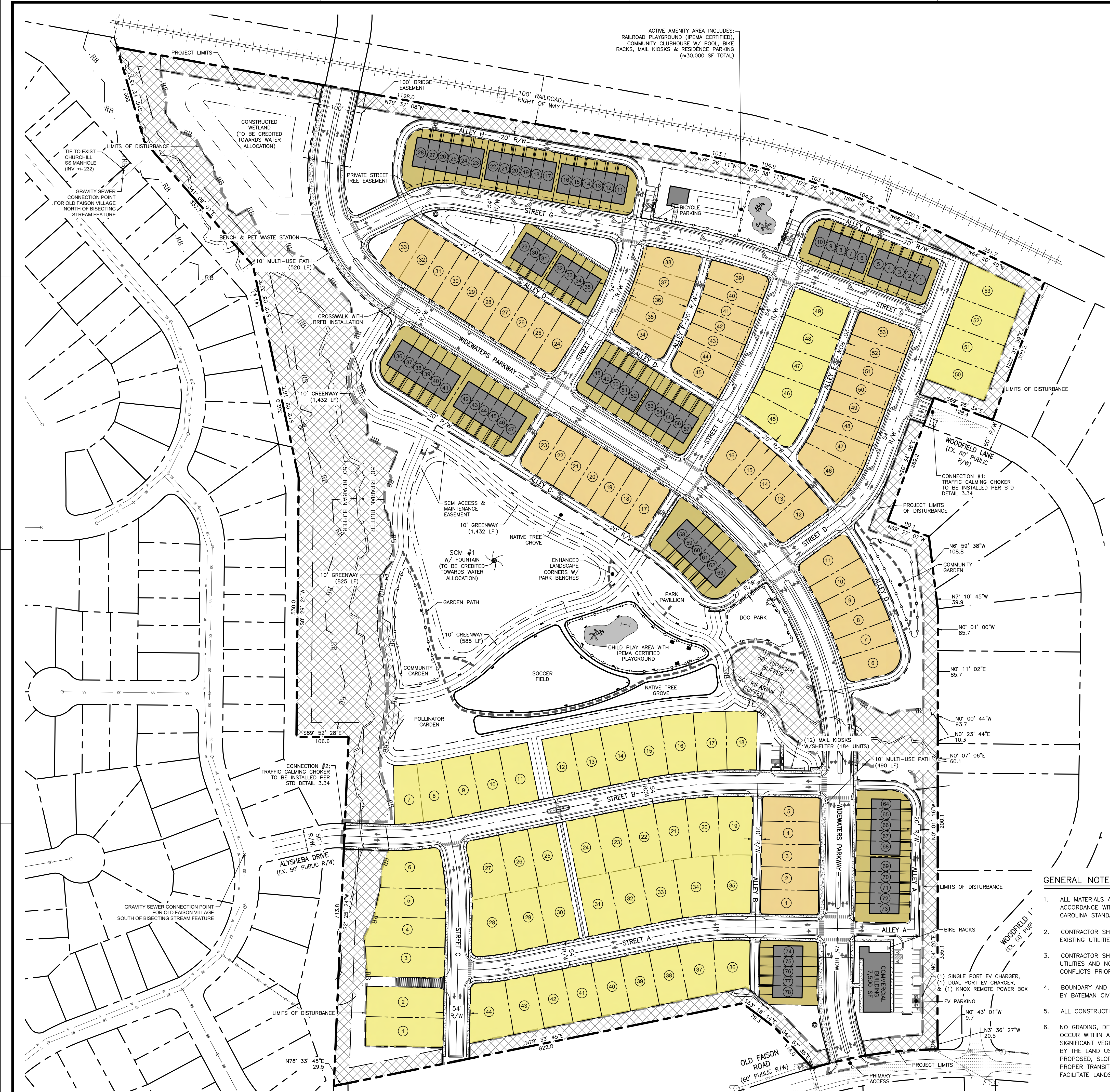
Drawn By: **JHJ**  
 Checked By: **BDM**

DATE:  
 31 MAR 2026

MASTER PLANS  
 TREE SAVE AREA BREAKDOWN

Job Code: **L70FRZ**

Dwg No.  
**MP 1.3**



ACTIVE AMENITY AREA INCLUDES:  
RAILROAD PLAYGROUND (PEMA CERTIFIED),  
COMMUNITY CLUBHOUSE W/ POOL, BIKE  
RACKS, MAIL KIOSKS & RESIDENCE PARKING  
(~30,000 SF TOTAL)

**STREET LENGTH TABLE:**

WIDEWATERS PARKWAY	2,495 LF.
STREET A	941 LF.
STREET B	1,023 LF.
STREET C	463 LF.
STREET D	745 LF.
STREET E	643 LF.
STREET F	547 LF.
STREET G	1,262 LF.
ALLEY A	430 LF.
ALLEY B	424 LF.
ALLEY C	1,148 LF.
ALLEY D	1,591 LF.
ALLEY E	362 LF.
ALLEY F	272 LF.
ALLEY G	430 LF.
ALLEY H	775 LF.

**SITE DATA SUMMARY**

PROJECT NAME:	FAISON RESERVE
PROPERTY OWNER:	MARLOWE & MOYE LLC PO BOX 20667 RALEIGH, NC 27619 PHONE: (919) 844-7888
PARCEL #:	0031642
PIN(S):	1743-89-5866, 1743-88-6921
SITE ADDRESS:	4402 OLD FAISON ROAD
JURISDICTION:	KNIGHTDALE
EXISTING ZONING:	RT
PROPOSED ZONING:	UR12 PUD
OVERLAY DISTRICT:	N/A
WATERSHED:	NEUSE RIVER
GROSS LOT ACREAGE:	2,518,207 SF, 57.81 AC.
RIGHT OF WAY DEDICATION:	534,715 SF, 12.27 AC.
NET LOT ACREAGE:	1,983,492 SF, 45.54 AC.
WIDEWATERS PARKWAY LENGTH:	2,470 LF.
GREENWAY (PUBLIC & PRIVATE):	3,500 LF.
PUBLIC SIDEWALKS (5' WIDE):	5,000+ LF.
SANITARY SEWER LINES & MANHOLES:	±6,700 LF. SS, 36 MANHOLES MIN.
CURRENT USE:	VACANT
PROPOSED USE:	TOWNHOMES, 40' SINGLE-FAMILY ROW HOUSES, 60' SINGLE FAMILY HOMES, COMMERCIAL BUILDING
CURRENT USE OF ADJACENT PARCELS:	SINGLE FAMILY RESIDENTIAL
COMMERCIAL BUILDING AREA:	7,500 SF.
COMMERCIAL LOT:	28,674 SF, 0.66 AC.
BUILDING HEIGHT:	42'
PROPOSED UNITS:	78 TOWNHOMES (42%) 53 SINGLE-FAMILY ROW HOUSES (29%) 53 SINGLE FAMILY HOMES (29%) 4.04 DU/AC AFTER R/W DEDICATION
PROPOSED DENSITY:	
BUILDING SETBACKS:	
TOWNHOMES:	
FRONT (MAX.):	25'
SIDE (MIN.):	3'
REAR (MIN.):	15'
SINGLE-FAMILY:	
FRONT (MIN.):	10'
CORNER SIDE (MIN.):	10'
SIDE (MIN.):	20% LOT WIDTH (AS AGGREGATE)
REAR (MIN.):	SINGLE FAM: 25'; SINGLE FAM. ROW: 20'
COMMERCIAL (CLUBHOUSE):	
FRONT (MIN.):	30'
SIDE (MIN.):	6'
MIXED-USE (RETAIL):	
FRONT (MAX.):	10'
SIDE (MIN.):	10'
PARKING CALCULATIONS:	
TOWNHOMES:	1 PER BEDROOM UP TO 2 PER UNIT
REQUIRED PARKING (MIN.):	2,478 UNITS=156 SPACES
PARKING PROVIDED:	156 SPACES (DRIVEWAY/GARAGE), 17 ON-STREET SPACES
SINGLE-FAMILY:	1 PER BEDROOM UP TO 2 PER UNIT
REQUIRED PARKING (MIN.):	2,106 UNITS=212 SPACES
PARKING PROVIDED:	212 SPACES (DRIVEWAY/GARAGE), 18 ON-STREET SPACES
COMMERCIAL (COMMUNITY FACILITY):	1/2 OF MAXIMUM=X SPACES
REQUIRED PARKING (MIN.):	1 PER 3 PERSONS PERMITTED CAP
REQUIRED PARKING (MAX.):	*X PERSONS=X SPACES
PARKING PROVIDED:	10 OFF-STREET SPACES(INCL. 2 ADA), 8 ON-STREET SPACES
MIXED-USE (RETAIL):	1/2 OF MAXIMUM=13 SPACES
REQUIRED PARKING (MIN.):	3.5 PER KSP GFA
REQUIRED PARKING (MAX.):	3.5*7.5 KSP GFA=26 SPACES
PARKING PROVIDED:	24 OFF-STREET SPACES (INCL. 2 ADA & 3 EV CHARGING)
FLOOD ZONE:	NW CORNER LOCATED IN FLOOD ZONE ACCORDING TO FEMA MAP #372017A300K; 07/19/2022

**LEGEND**

[Light Yellow Box]	SINGLE FAMILY HOMES
[Orange Box]	SF ROW HOUSES
[Dark Orange Box]	TOWNHOMES

**WATER ALLOCATION POINT TABLE:**

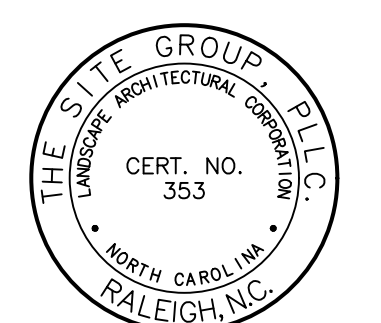
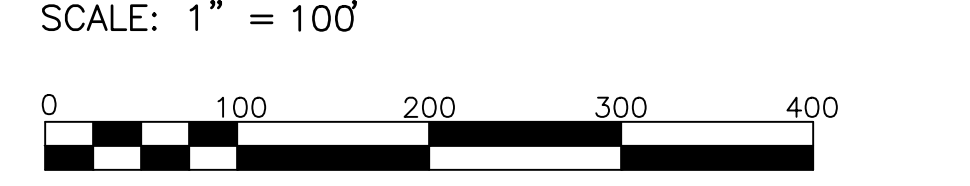
BASE POINTS:	NOTES
MAJOR SUBDIVISION	15 PTS
CATEGORY 2 - GREEN DEVELOPMENT STANDARDS:	
2B: STORMWATER - BIORETENTION	5 PTS INSTALL BIORETENTION FACILITIES TO IMPROVE WATER QUALITY AND MANAGE STORMWATER RUNOFF
2B: STORMWATER - WETLAND	5 PTS INCORPORATE CONSTRUCTED STORMWATER WETLANDS FOR NATURAL FILTRATION AND ENHANCED WATER TREATMENT
2C: IMPLEMENT RECOMMENDATIONS OF THE AFFORDABLE KNIGHTDALE PLAN	10 PTS SUPPORT THE TOWN'S AFFORDABLE HOUSING GOALS THROUGH A MONETARY CONTRIBUTION AND PROVIDING A RANGE OF AFFORDABLE HOUSING OPTIONS
2C: EXCLUSIVE USE OF NATIVE LANDSCAPE SPECIES	5 PTS UTILIZE ONLY NATIVE PLANTS IN COMMON AREAS TO PROMOTE SUSTAINABILITY AND ECOLOGICAL HEALTH
CATEGORY 3 - OUTDOOR ENHANCEMENT:	
3: OUTDOOR DISPLAY OF PUBLIC ART	4 PTS PROVIDE PUBLICLY VISIBLE ART IN AT LEAST TWO LOCATIONS TO ENHANCE NEIGHBORHOOD IDENTITY AND CHARACTER
3: INSTALLATION OF WAYFINDING/TOWN SIGNAGE	3 PTS INCLUDE TOWN-PROPOSED WAYFINDING SIGNAGE TO IMPROVE NAVIGATION AND COMMUNITY CONNECTIVITY
CATEGORY 4 - AMENITIES:	
4A: PRIVATE GREENWAY	2 PTS CONSTRUCT A 2,000 LF OR LONGER 10-FT-WIDE PAVED PATH
4B: LAP POOL (4 LANE MIN.)	3 PTS CONSTRUCT A FOUR-LANE LAP POOL AS PART OF THE COMMUNITY RECREATION AMENITIES
4E: CLUBHOUSE (BATH & CHANGING ROOM ONLY)	3 PTS CONSTRUCT A CLUBHOUSE WITH RESTROOMS AND CHANGING FACILITIES
4F: PEMA CERTIFIED PLAYGROUND EQUIPMENT	4 PTS INSTALL PLAYGROUND EQUIPMENT
TOTAL POINTS	59 PTS

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**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

NORTH  
**OVERALL PRELIMINARY SITE LAYOUT PLAN**



NC ENGINEERING LICENSE NO. P-0803

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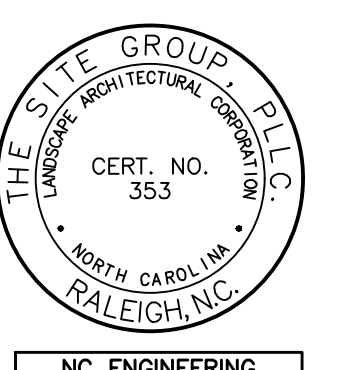
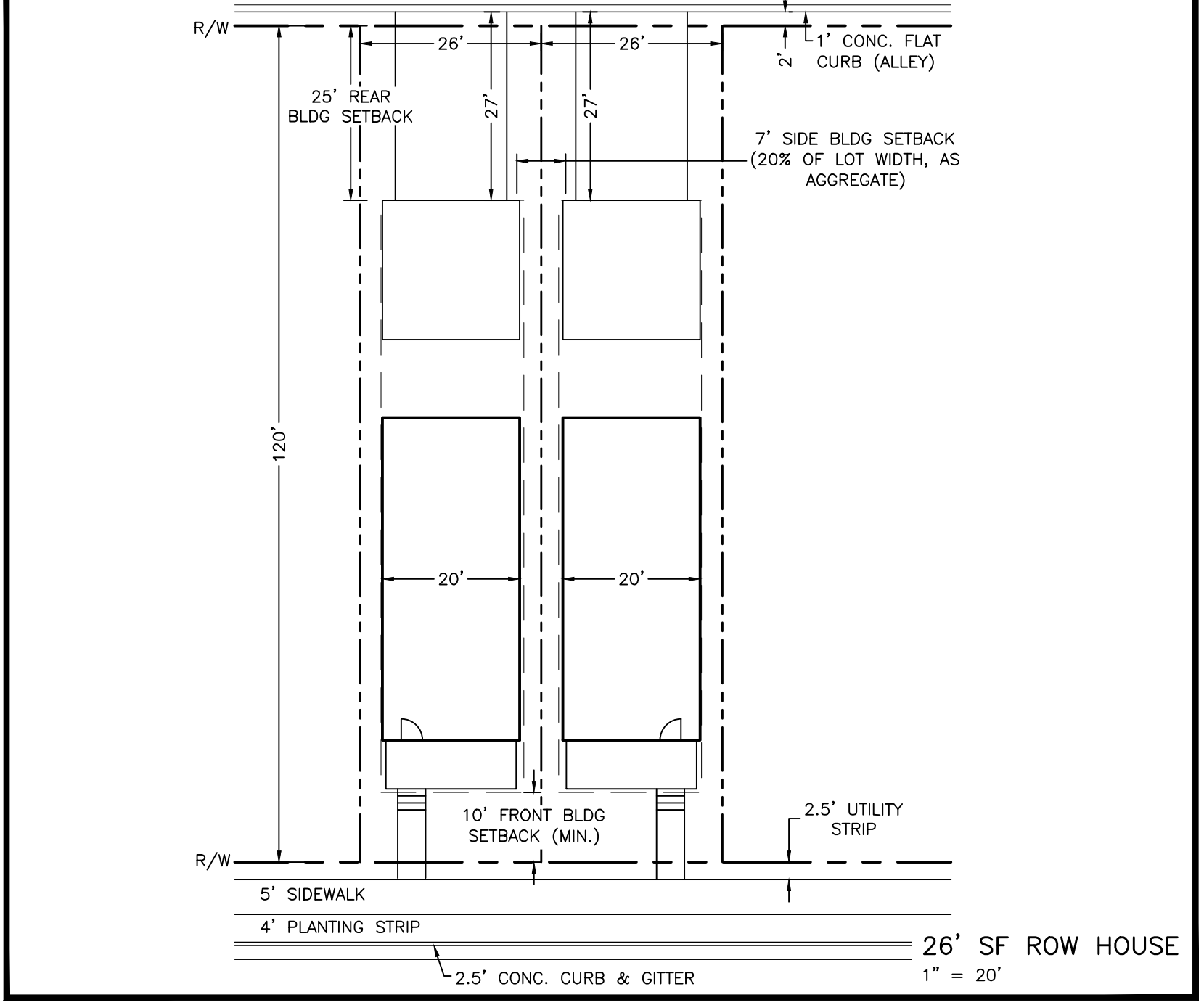
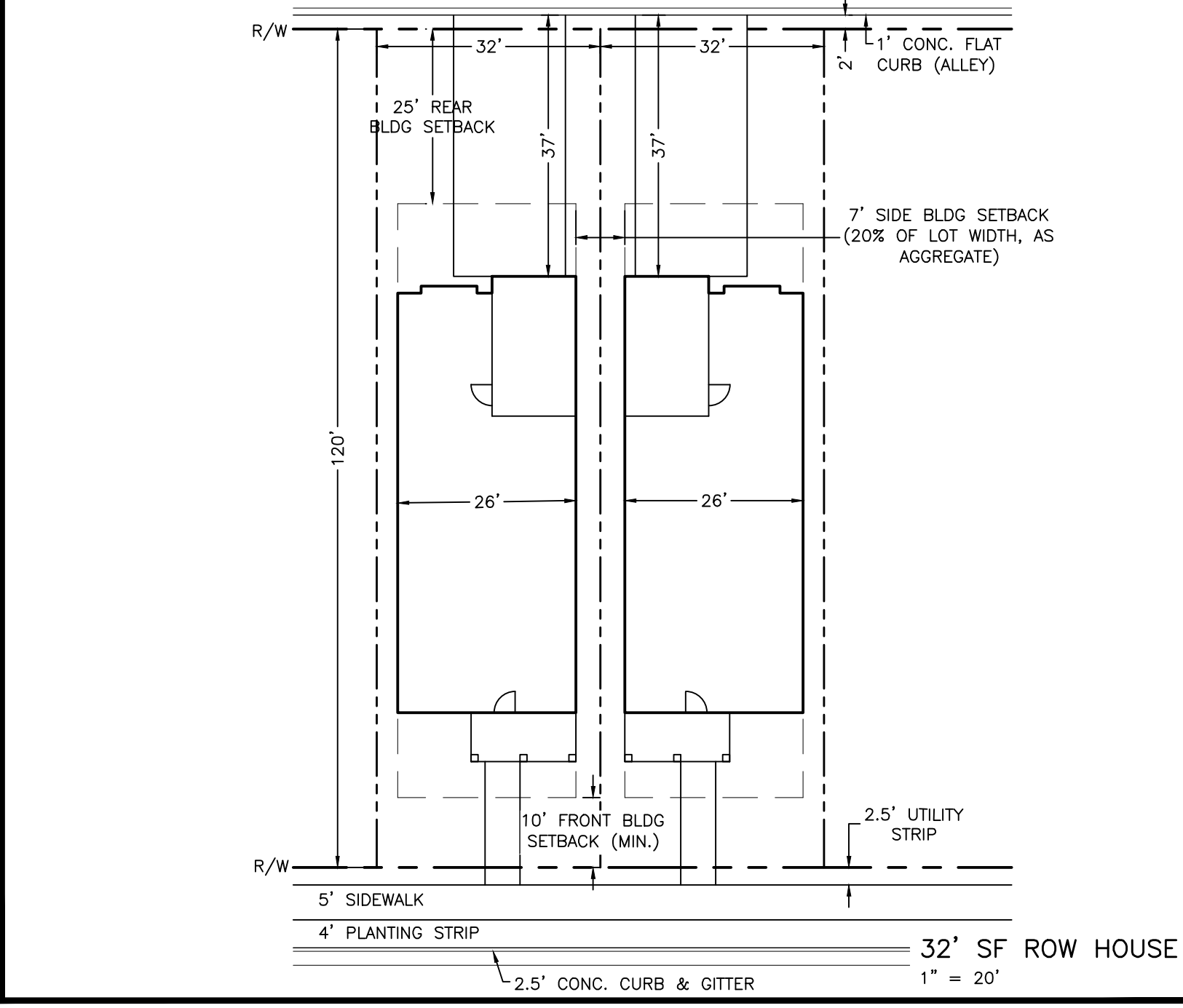
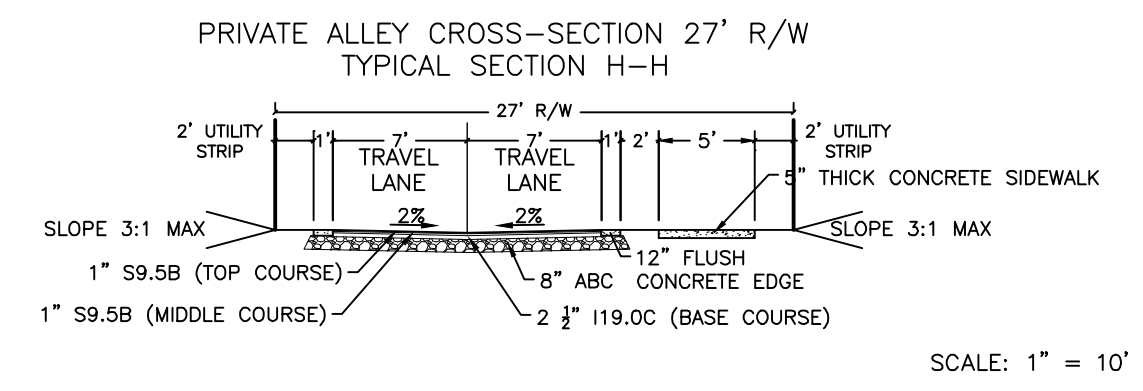
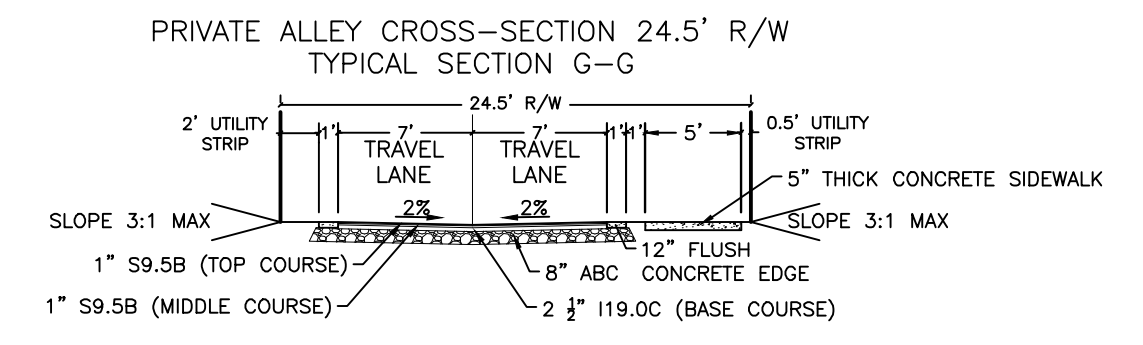
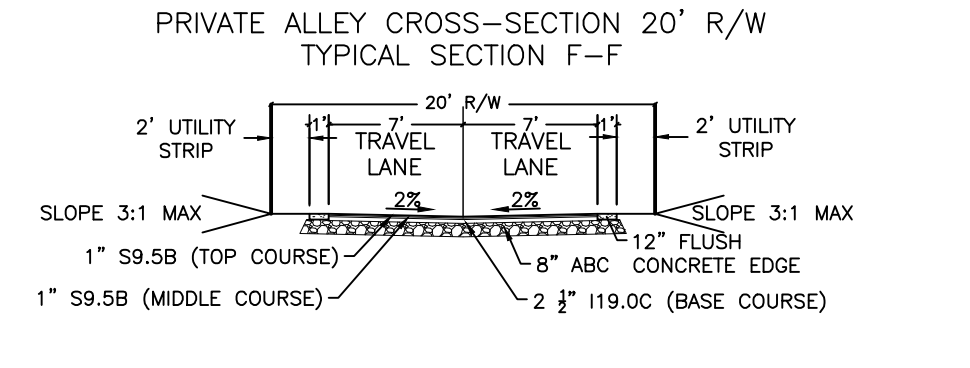
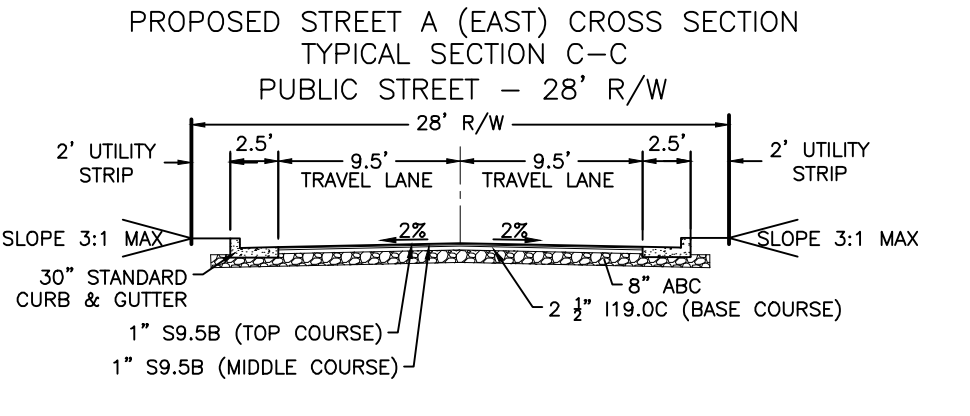
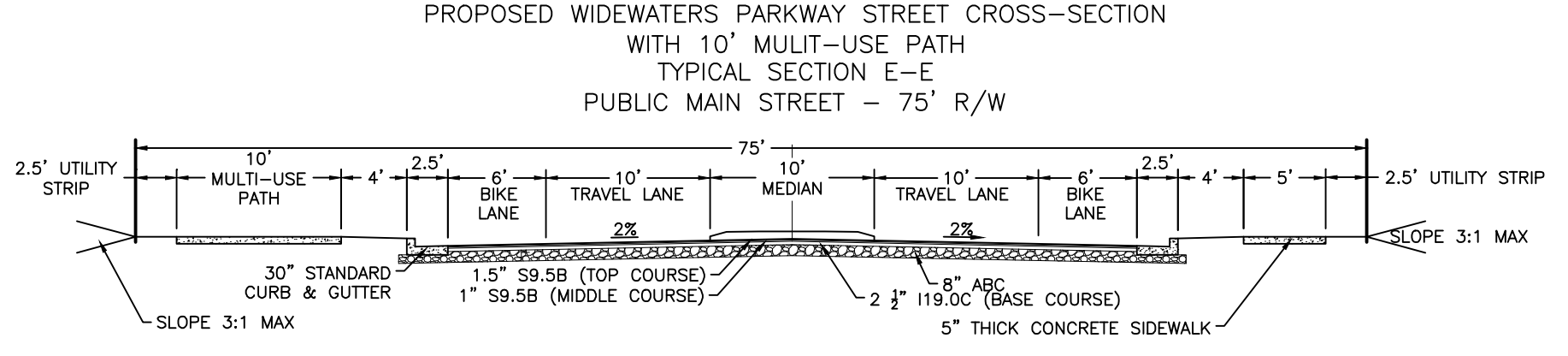
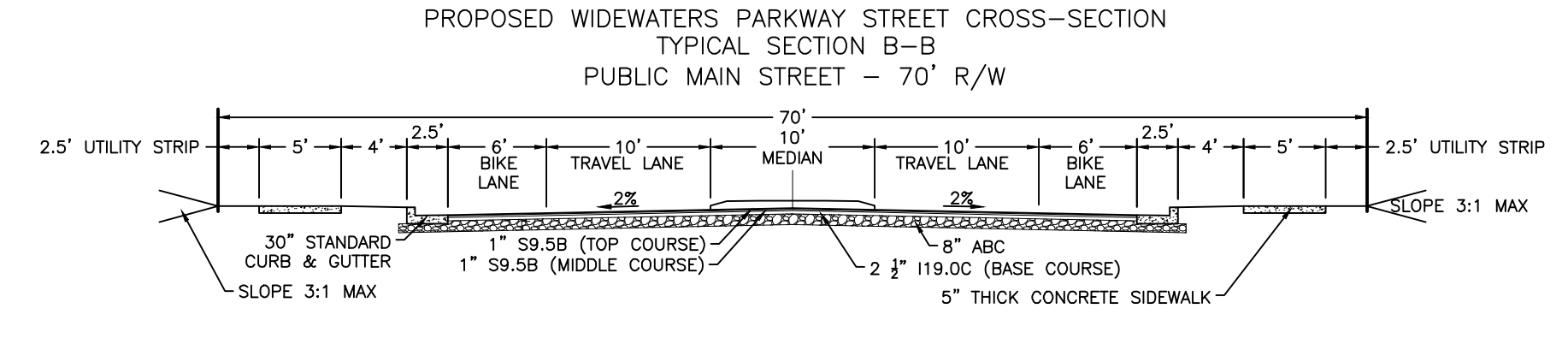
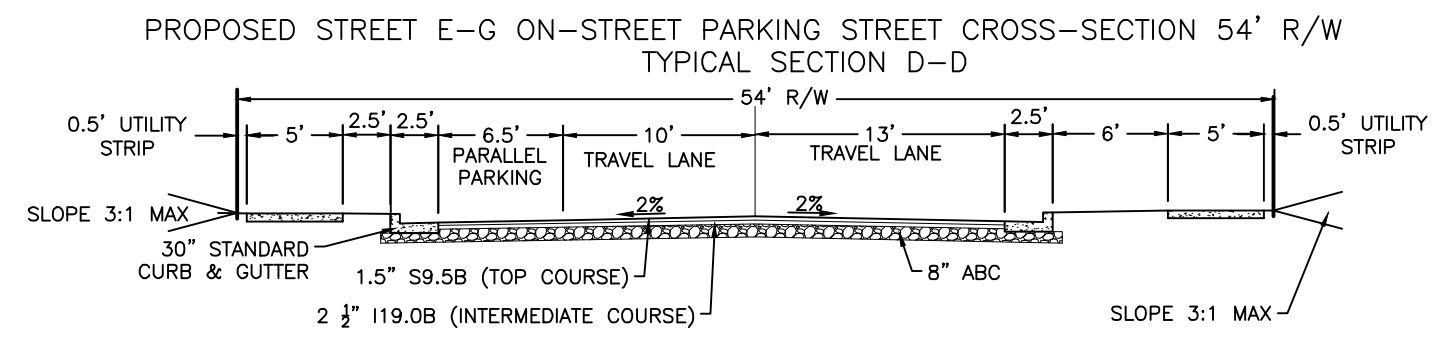
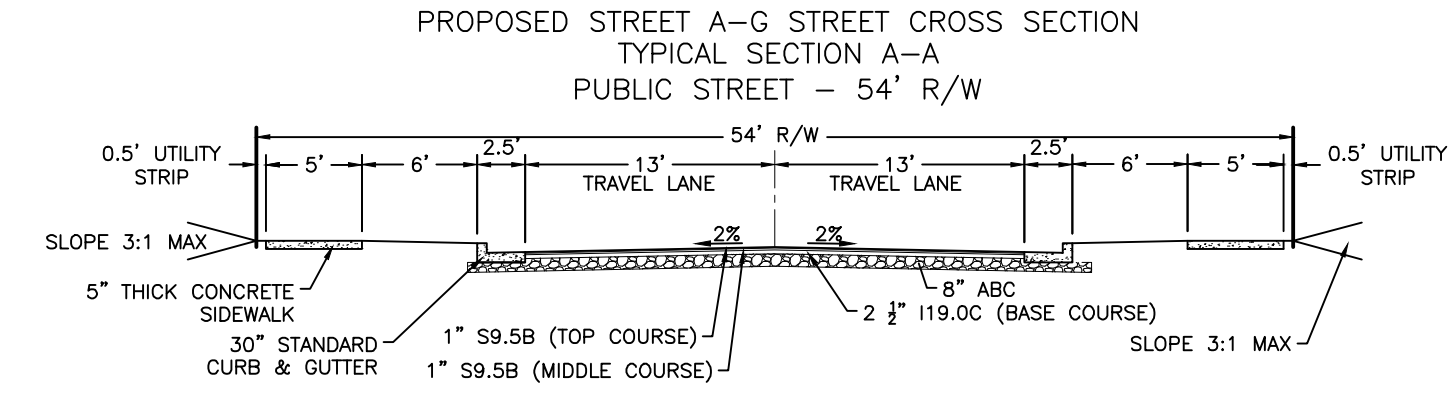
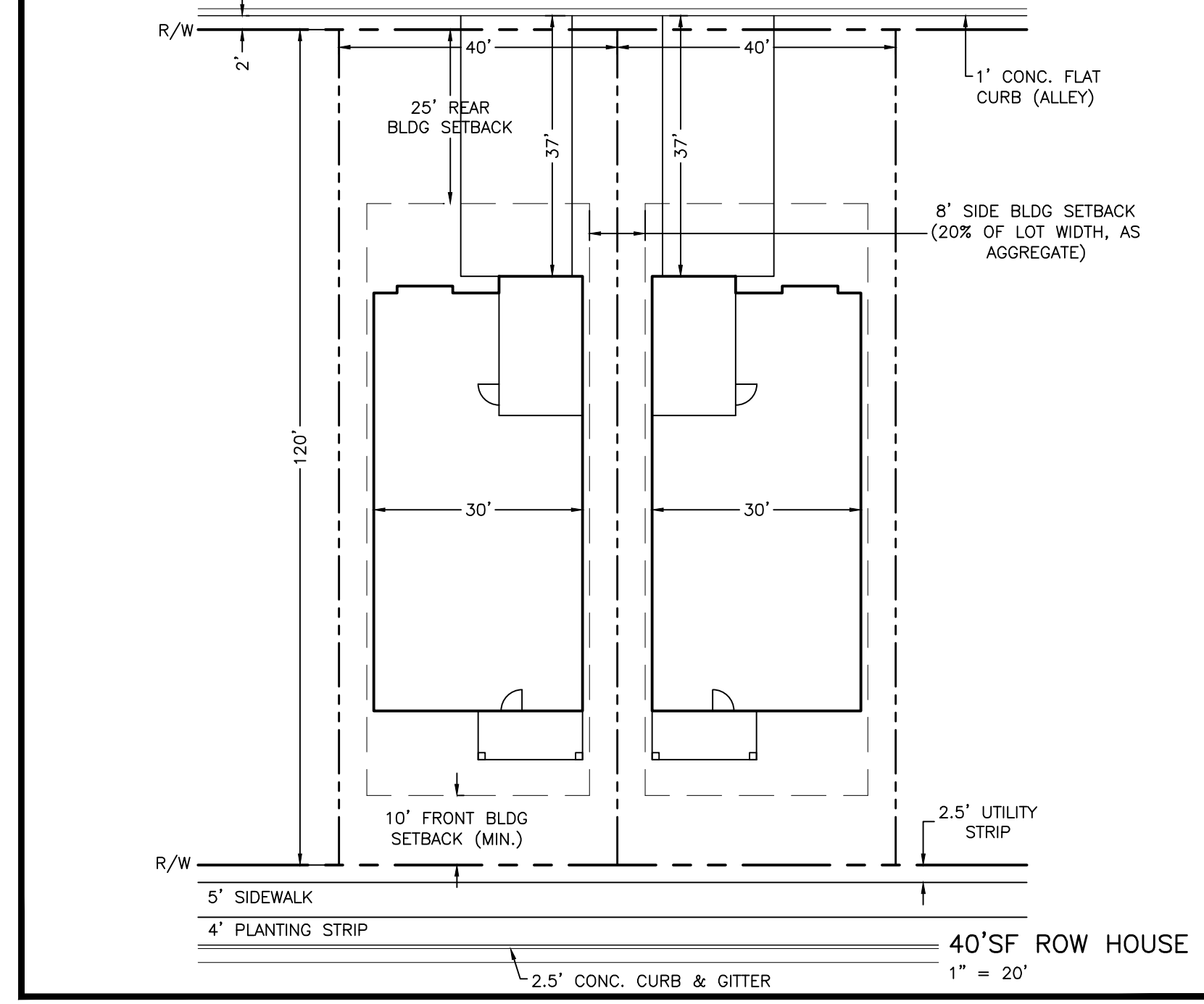
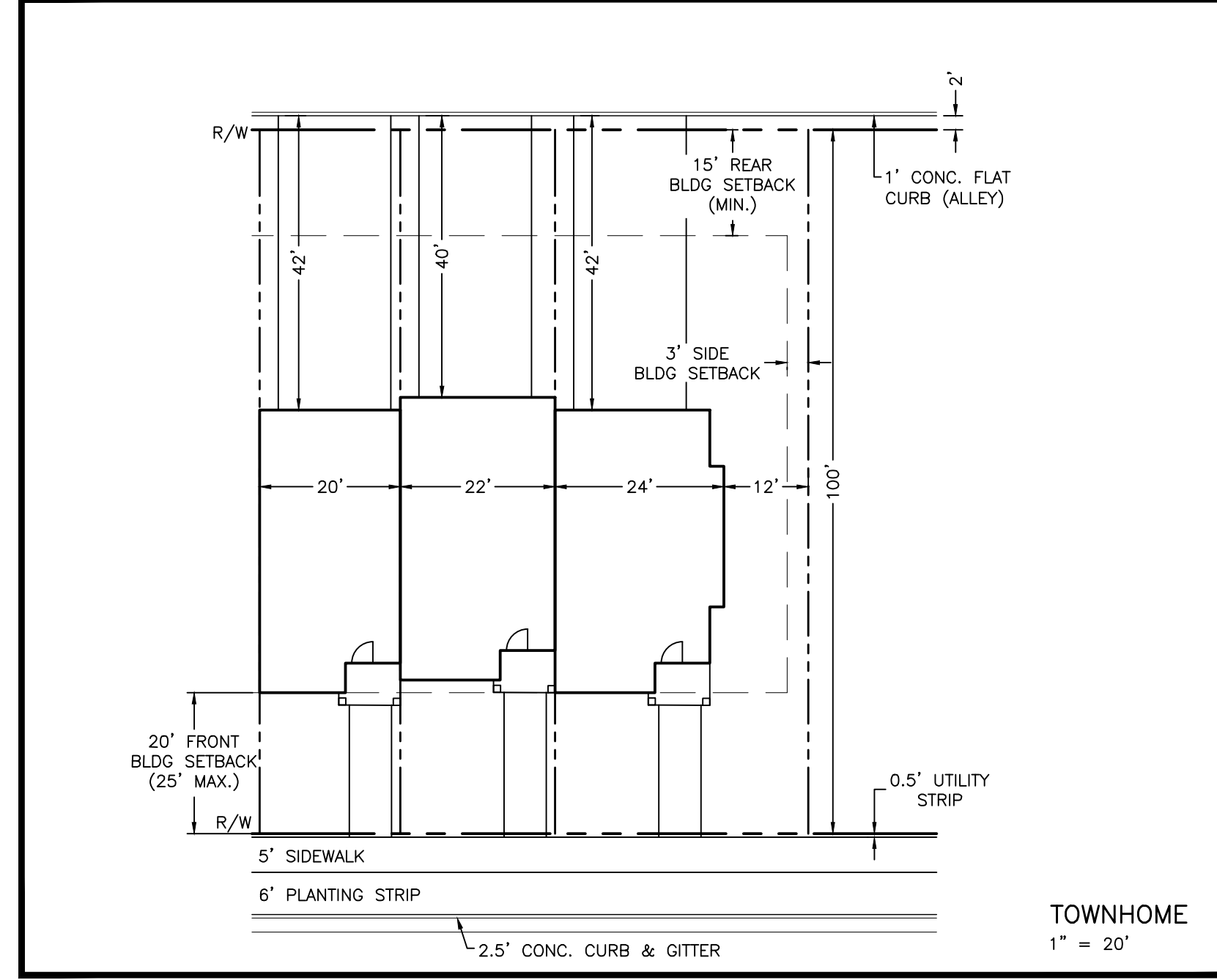
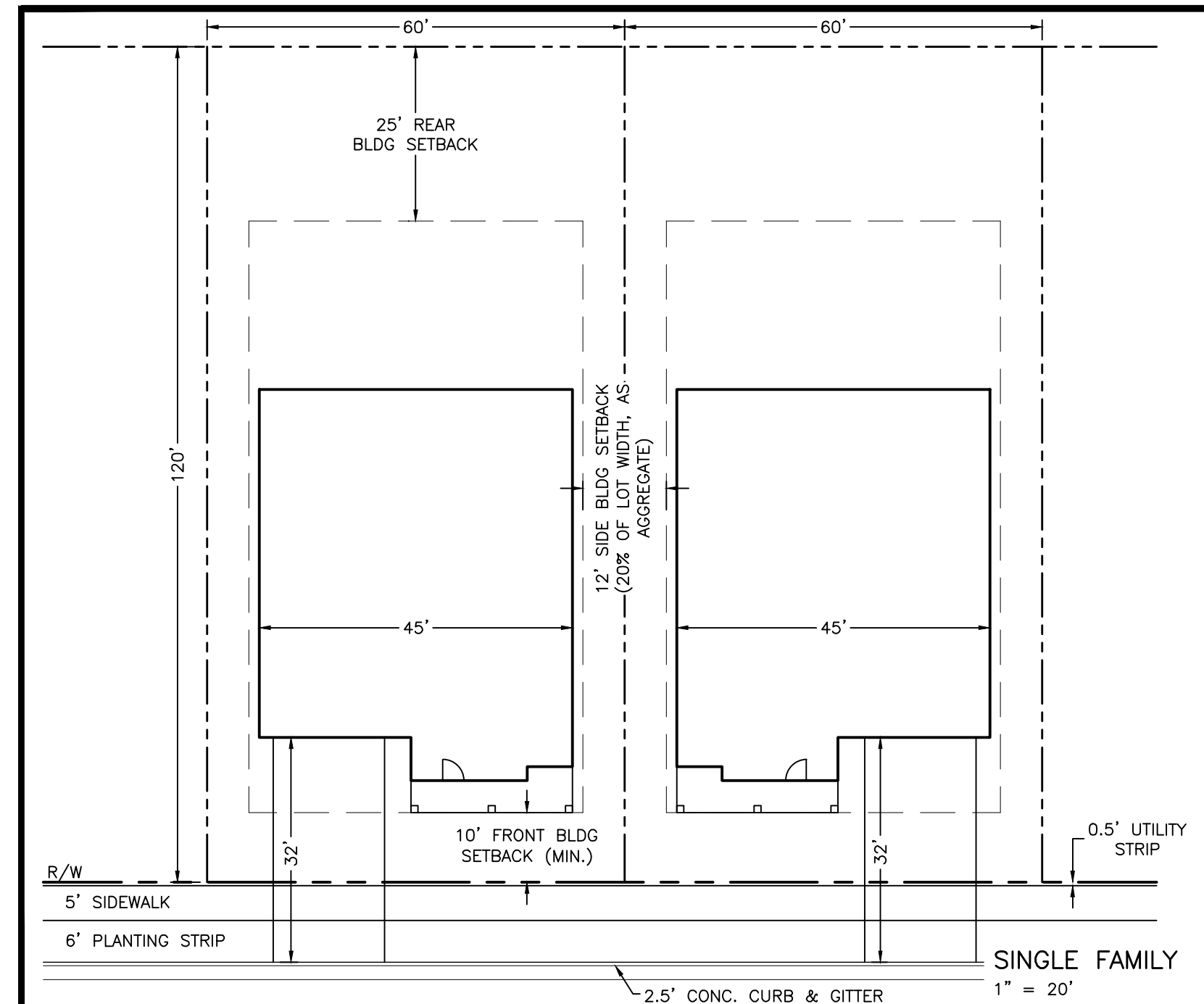
MASTER PLANS

OVERALL PRELIMINARY SITE LAYOUT PLAN

Job Code: L70FRZ

Dwg No. MP 2.0

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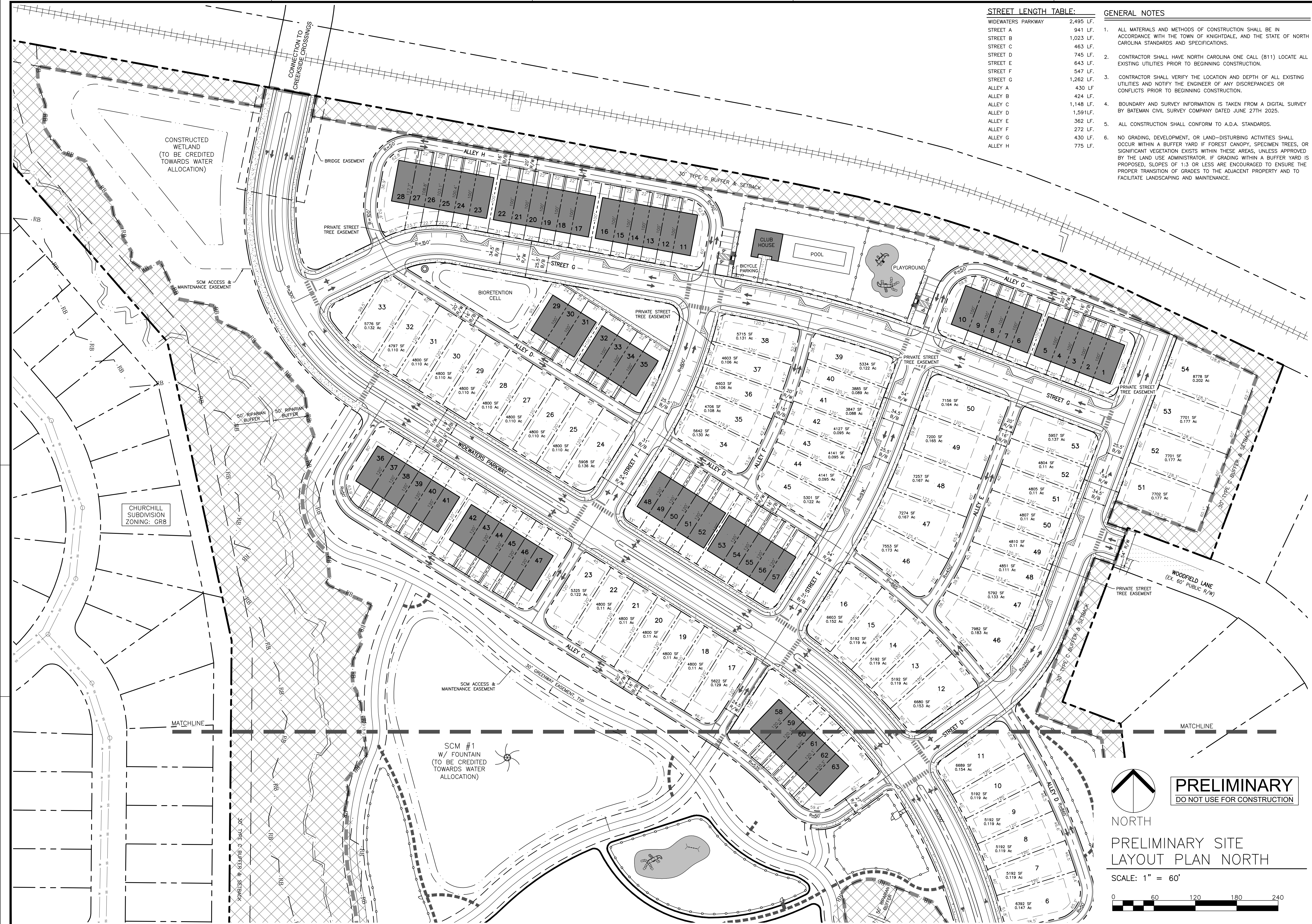
**MASTER PLANS**  
**SITE LAYOUT DETAILS**

Job Code: **L70FRZ**

Dwg No. **MP 2.0A**

**PRELIMINARY**  
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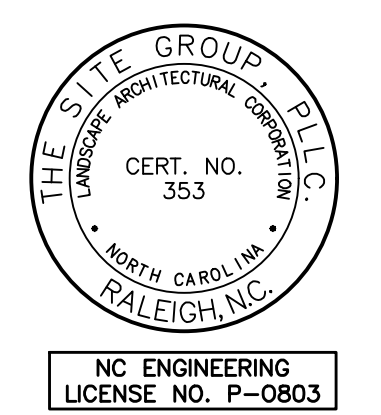
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**STREET LENGTH TABLE:**

WIDEWATERS PARKWAY	2,495 LF.
STREET A	941 LF.
STREET B	1,023 LF.
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ALLEY H	775 LF.

- GENERAL NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE, AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
  - BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY BATEMAN CIVIL SURVEY COMPANY DATED JUNE 27TH 2025.
  - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
  - NO GRADING, DEVELOPMENT, OR LAND-DISTURBING ACTIVITIES SHALL OCCUR WITHIN A BUFFER YARD IF FOREST CANOPY, SPECIMEN TREES, OR SIGNIFICANT VEGETATION EXISTS WITHIN THESE AREAS, UNLESS APPROVED BY THE LAND USE ADMINISTRATOR. IF GRADING WITHIN A BUFFER YARD IS PROPOSED, SLOPES OF 1:3 OR LESS ARE ENCOURAGED TO ENSURE THE PROPER TRANSITION OF GRADES TO THE ADJACENT PROPERTY AND TO FACILITATE LANDSCAPING AND MAINTENANCE.



**THE SITE GROUP**  
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MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
4402 OLD FAISON ROAD  
KNIGHTDALE, NORTH CAROLINA  
WAKE COUNTY

Drawn By: JHJ  
Checked By: BDM

DATE:  
24 NOV 2025  
REVISED:  
26 JAN 2026  
31 MAR 2026

MASTER PLANS

PRELIMINARY SITE LAYOUT PLAN NORTH

Job Code: L70FRZ

Dwg No. MP 2.1

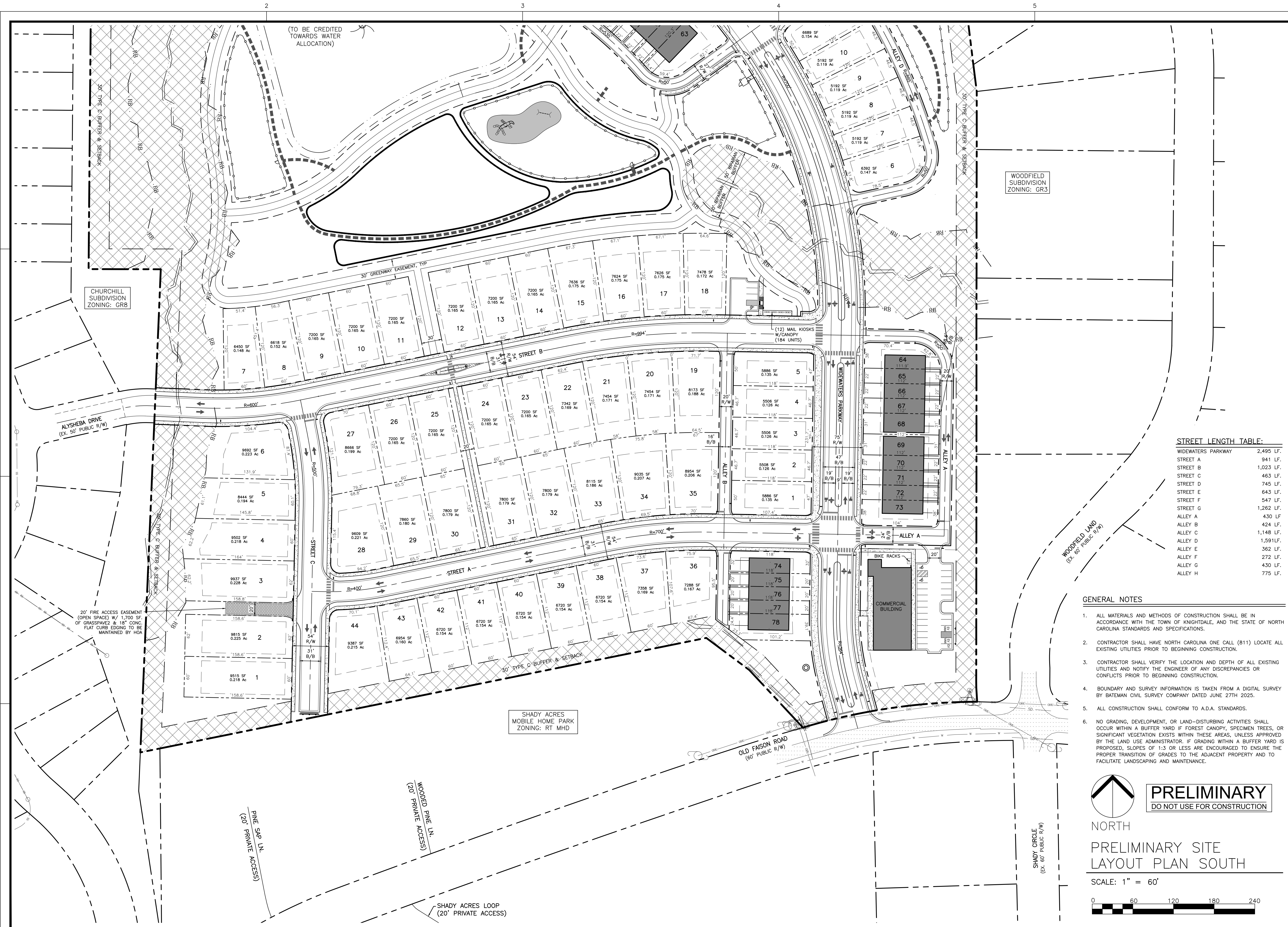
**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

NORTH

PRELIMINARY SITE LAYOUT PLAN NORTH

SCALE: 1" = 60'

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(TO BE CREDITED TOWARDS WATER ALLOCATION)

CHURCHILL SUBDIVISION ZONING: GR3

WOODFIELD SUBDIVISION ZONING: GR3

SHADY ACRES MOBILE HOME PARK ZONING: RT MHD

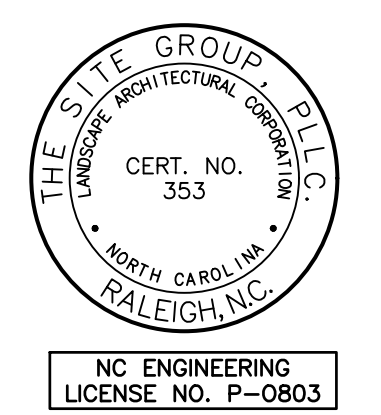
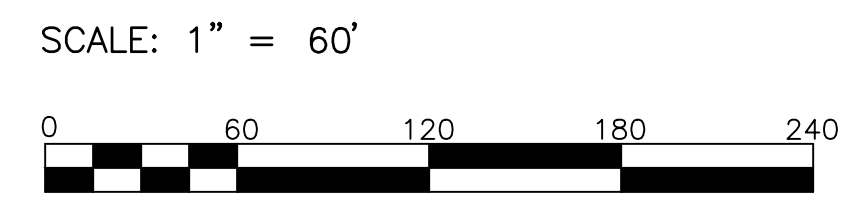
**STREET LENGTH TABLE:**

WIDEWATERS PARKWAY	2,495 LF.
STREET A	941 LF.
STREET B	1,023 LF.
STREET C	463 LF.
STREET D	745 LF.
STREET E	643 LF.
STREET F	547 LF.
STREET G	1,262 LF.
ALLEY A	430 LF.
ALLEY B	424 LF.
ALLEY C	1,148 LF.
ALLEY D	1,591 LF.
ALLEY E	362 LF.
ALLEY F	272 LF.
ALLEY G	430 LF.
ALLEY H	775 LF.

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**PRELIMINARY**  
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NORTH  
PRELIMINARY SITE LAYOUT PLAN SOUTH



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MASTER PLANS (ZMA-1-25) FOR:  
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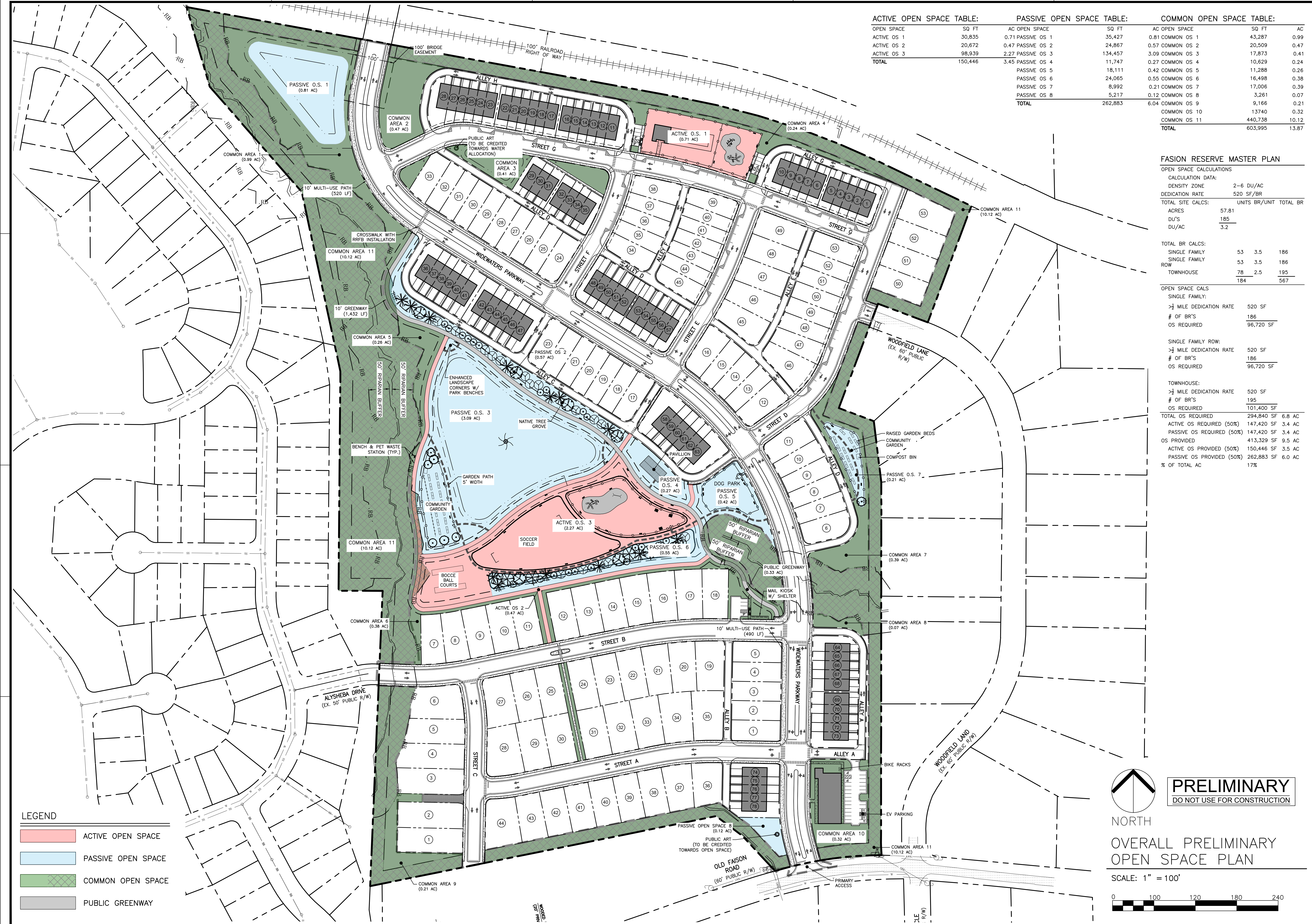
MASTER PLANS

PRELIMINARY SITE LAYOUT PLAN SOUTH

Job Code: L70FRZ

Dwg No.  
**MP 2.2**

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ACTIVE OPEN SPACE TABLE:		PASSIVE OPEN SPACE TABLE:		COMMON OPEN SPACE TABLE:	
OPEN SPACE	SQ FT	AC OPEN SPACE	SQ FT	AC OPEN SPACE	SQ FT
ACTIVE OS 1	30,835	0.71	PASSIVE OS 1	35,427	0.81
ACTIVE OS 2	20,672	0.47	PASSIVE OS 2	24,867	0.57
ACTIVE OS 3	98,939	2.27	PASSIVE OS 3	134,457	3.09
<b>TOTAL</b>	<b>150,446</b>	<b>3.45</b>	PASSIVE OS 4	11,747	0.27
			PASSIVE OS 5	18,111	0.42
			PASSIVE OS 6	24,065	0.55
			PASSIVE OS 7	8,992	0.21
			PASSIVE OS 8	5,217	0.12
			<b>TOTAL</b>	<b>262,883</b>	<b>6.04</b>
			COMMON OS 9	9,166	0.21
			COMMON OS 10	1,3740	0.32
			COMMON OS 11	440,738	10.12
			<b>TOTAL</b>	<b>603,995</b>	<b>13.87</b>

**FAISON RESERVE MASTER PLAN**

OPEN SPACE CALCULATIONS

CALCULATION DATA:

DENSITY ZONE 2-6 DU/AC

DEDICATION RATE 520 SF/BR

TOTAL SITE CALCS: UNITS BR/UNIT TOTAL BR

ACRES 57.81

DU'S 185

DU/AC 3.2

TOTAL BR CALCS:

SINGLE FAMILY	53	3.5	186
SINGLE FAMILY ROW	53	3.5	186
TOWNHOUSE	78	2.5	195
	184		567

OPEN SPACE CALS

SINGLE FAMILY:

> 1/4 MILE DEDICATION RATE 520 SF

# OF BR'S 186

OS REQUIRED 96,720 SF

SINGLE FAMILY ROW:

> 1/4 MILE DEDICATION RATE 520 SF

# OF BR'S 186

OS REQUIRED 96,720 SF

TOWNHOUSE:

> 1/4 MILE DEDICATION RATE 520 SF

# OF BR'S 195

OS REQUIRED 101,400 SF

TOTAL OS REQUIRED 294,840 SF 6.8 AC

ACTIVE OS PROVIDED (50%) 147,420 SF 3.4 AC

PASSIVE OS PROVIDED (50%) 147,420 SF 3.4 AC

OS PROVIDED 413,329 SF 9.5 AC

ACTIVE OS PROVIDED (50%) 150,446 SF 3.5 AC

PASSIVE OS PROVIDED (50%) 262,883 SF 6.0 AC

% OF TOTAL AC 17%

**LEGEND**

	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	COMMON OPEN SPACE
	PUBLIC GREENWAY

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

NORTH

OVERALL PRELIMINARY  
OPEN SPACE PLAN

SCALE: 1" = 100'

**THE SITE GROUP, PLLC**  
LANDSCAPE ARCHITECTS  
CIVIL ENGINEERS

CERT. NO. 353  
NC ENGINEERING LICENSE NO. P-0803

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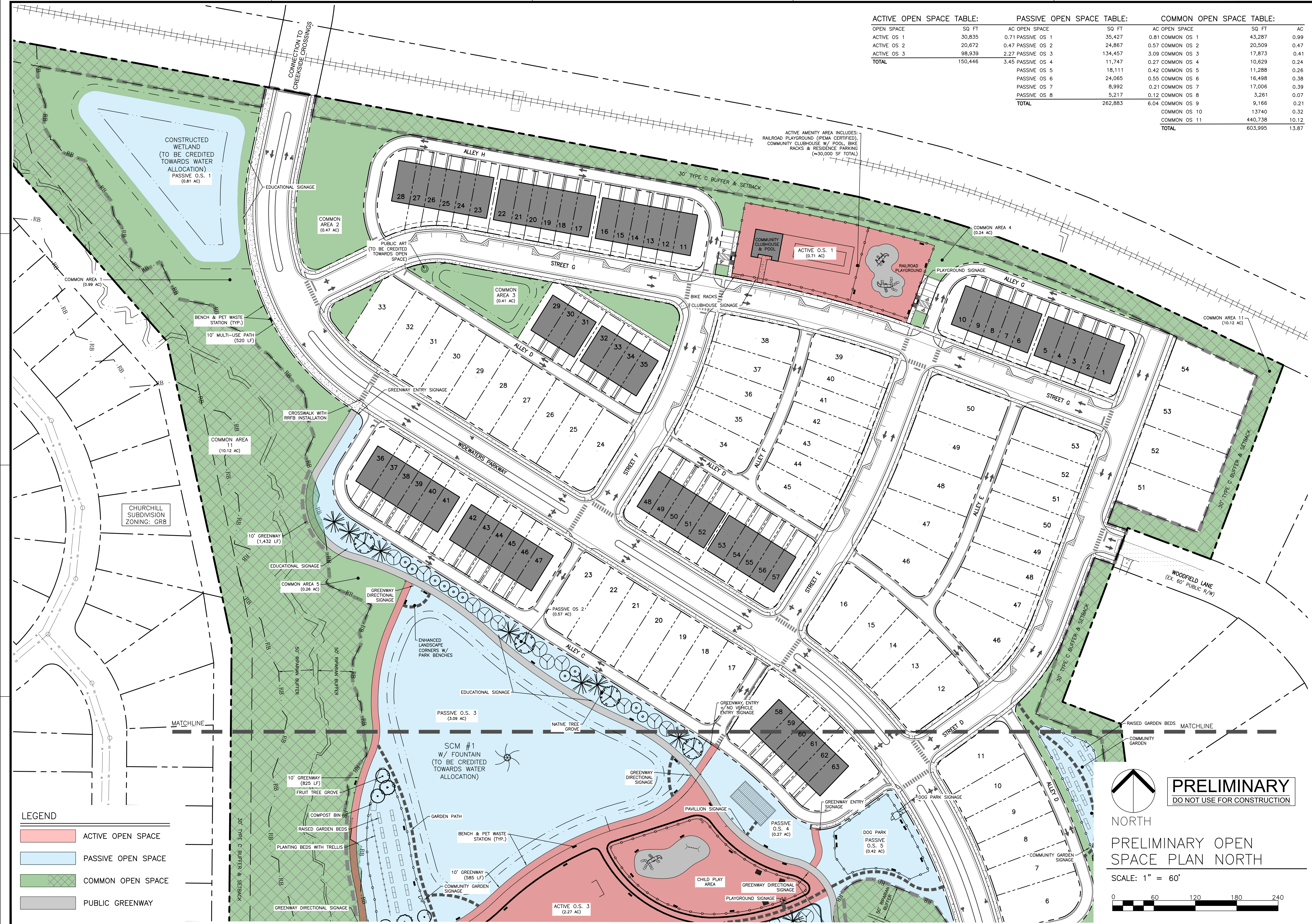
**MASTER PLANS**

OVERALL PRELIMINARY OPEN SPACE PLAN

Job Code **L70FRZ**

Dwg No. **MP 2.3**

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ACTIVE OPEN SPACE TABLE:		PASSIVE OPEN SPACE TABLE:		COMMON OPEN SPACE TABLE:	
OPEN SPACE	SQ FT	AC OPEN SPACE	SQ FT	AC OPEN SPACE	SQ FT
ACTIVE OS 1	30,835	0.71	PASSIVE OS 1	35,427	0.81
ACTIVE OS 2	20,672	0.47	PASSIVE OS 2	24,867	0.57
ACTIVE OS 3	98,939	2.27	PASSIVE OS 3	134,457	3.09
<b>TOTAL</b>	<b>150,446</b>	<b>3.45</b>	PASSIVE OS 4	11,747	0.27
			PASSIVE OS 5	18,111	0.42
			PASSIVE OS 6	24,065	0.55
			PASSIVE OS 7	8,992	0.21
			PASSIVE OS 8	5,217	0.12
			<b>TOTAL</b>	<b>262,883</b>	<b>6.04</b>
			COMMON OS 9	9,166	0.21
			COMMON OS 10	1,370	0.03
			COMMON OS 11	440,738	10.12
			<b>TOTAL</b>	<b>603,995</b>	<b>13.87</b>

**LEGEND**

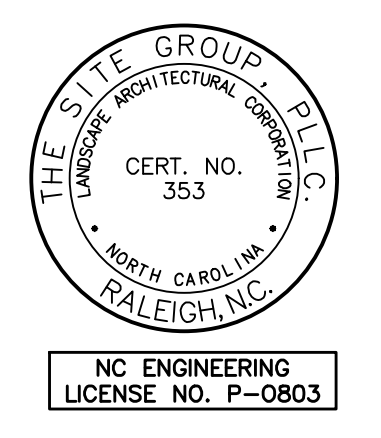
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	COMMON OPEN SPACE
	PUBLIC GREENWAY

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

NORTH

PRELIMINARY OPEN SPACE PLAN NORTH

SCALE: 1" = 60'



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 WAKE COUNTY

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**MASTER PLANS**

**PRELIMINARY OPEN SPACE PLAN NORTH**

Job Code: **L70FRZ**

Dwg No. **MP 2.4**

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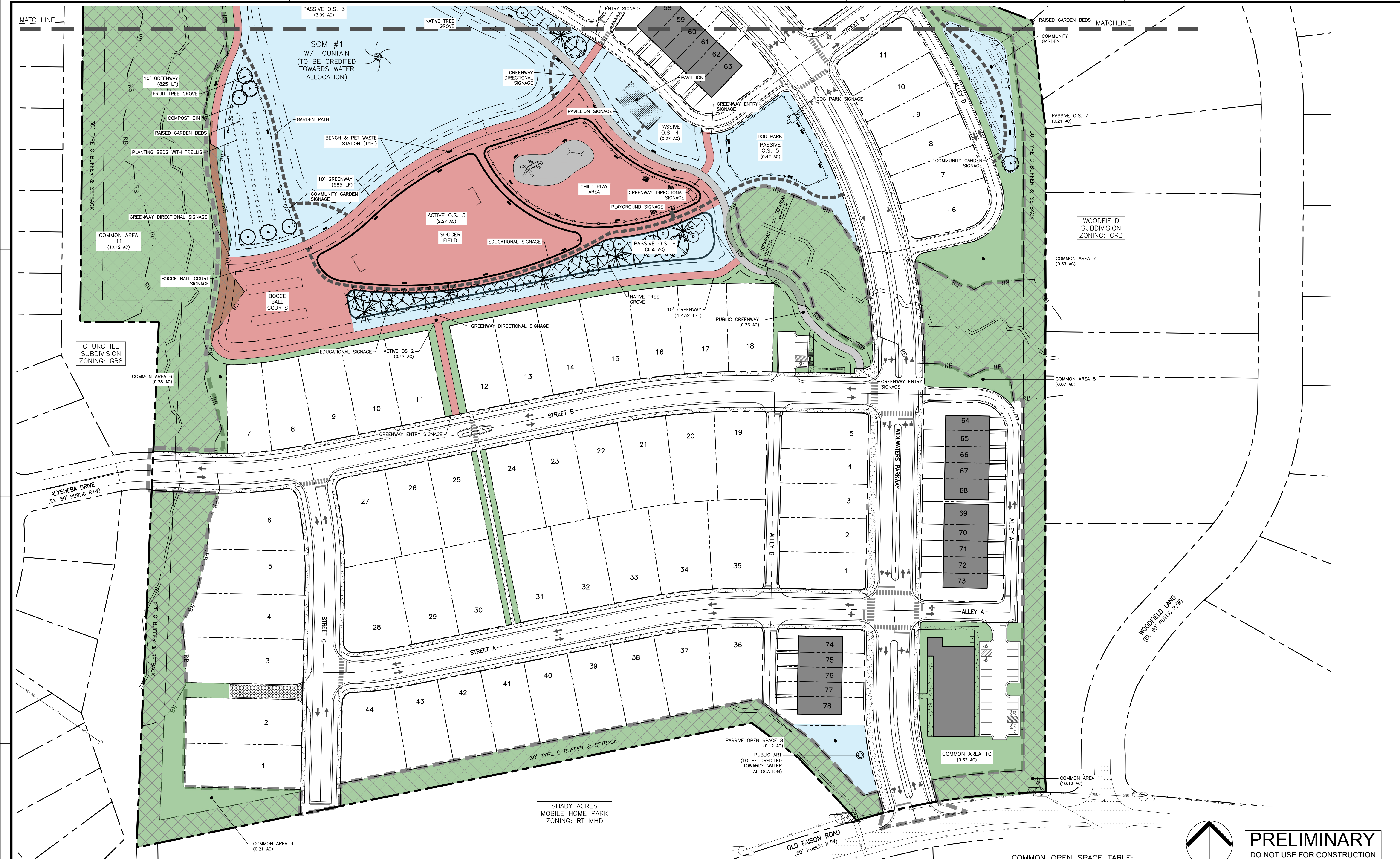
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MASTER PLANS

PRELIMINARY OPEN SPACE PLAN SOUTH

Job Code: L70FRZ

Dwg No. MP 2.5



**LEGEND**

- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- COMMON OPEN SPACE
- PUBLIC GREENWAY

**ACTIVE OPEN SPACE TABLE:**

OPEN SPACE	SQ FT	AC
ACTIVE OS 1	30,835	0.71
ACTIVE OS 2	20,672	0.47
ACTIVE OS 3	98,939	2.27
<b>TOTAL</b>	<b>150,446</b>	<b>3.45</b>

**PASSIVE OPEN SPACE TABLE:**

OPEN SPACE	SQ FT	AC
PASSIVE OS 1	35,427	0.81
PASSIVE OS 2	24,867	0.57
PASSIVE OS 3	134,457	3.09
PASSIVE OS 4	11,747	0.27
PASSIVE OS 5	18,111	0.42
PASSIVE OS 6	24,065	0.55
PASSIVE OS 7	8,992	0.21
PASSIVE OS 8	5,217	0.12
<b>TOTAL</b>	<b>262,883</b>	<b>6.04</b>

**COMMON OPEN SPACE TABLE:**

OPEN SPACE	SQ FT	AC
COMMON OS 1	43,287	0.99
COMMON OS 2	20,509	0.47
COMMON OS 3	17,873	0.41
COMMON OS 4	10,629	0.24
COMMON OS 5	11,288	0.26
COMMON OS 6	16,498	0.38
COMMON OS 7	17,006	0.39
COMMON OS 8	3,261	0.07
COMMON OS 9	9,166	0.21
COMMON OS 10	13,740	0.32
COMMON OS 11	440,738	10.12
<b>TOTAL</b>	<b>603,995</b>	<b>13.87</b>

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

NORTH  
PRELIMINARY OPEN SPACE PLAN SOUTH  
SCALE: 1" = 60'



ABB.	SIGN	MUTCD STD.	SIZE
S01	STOP	R1-1	30"X30"
S02	SPEED LIMIT	R2-1	24"X30"
S03	ROAD CLOSED	R11-4	60"X30"
S04	STREET NAME	D3-1	VARIES"X12"
S05	PEDESTRIAN CROSSING	W11-2 & W16-7P	36"X36"
S06	TYPE 4 END OF ROADWAY	OM4-3	21"X15"
S07	BIKE LANE	R3-17	24"X18"
S08	KEEP RIGHT	R4-7	24"X30"
S09	STOP AHEAD	W3-1	30"X30"
S10	ACCESSIBLE PARKING	R7-8	12"X18"
S11	VAN ACCESSIBLE	RT-8AP	12"X8"
S12	DEAD END - NO OUTLET	W14-1	30"X30"
S13	ROAD CLOSED	R11-2	48"X30"

ALL SIGNAGE AND PAVEMENT MARKINGS IN TOWN OF KNIGHTDALE R/W SHALL BE PER TOWN SPECIFICATIONS.

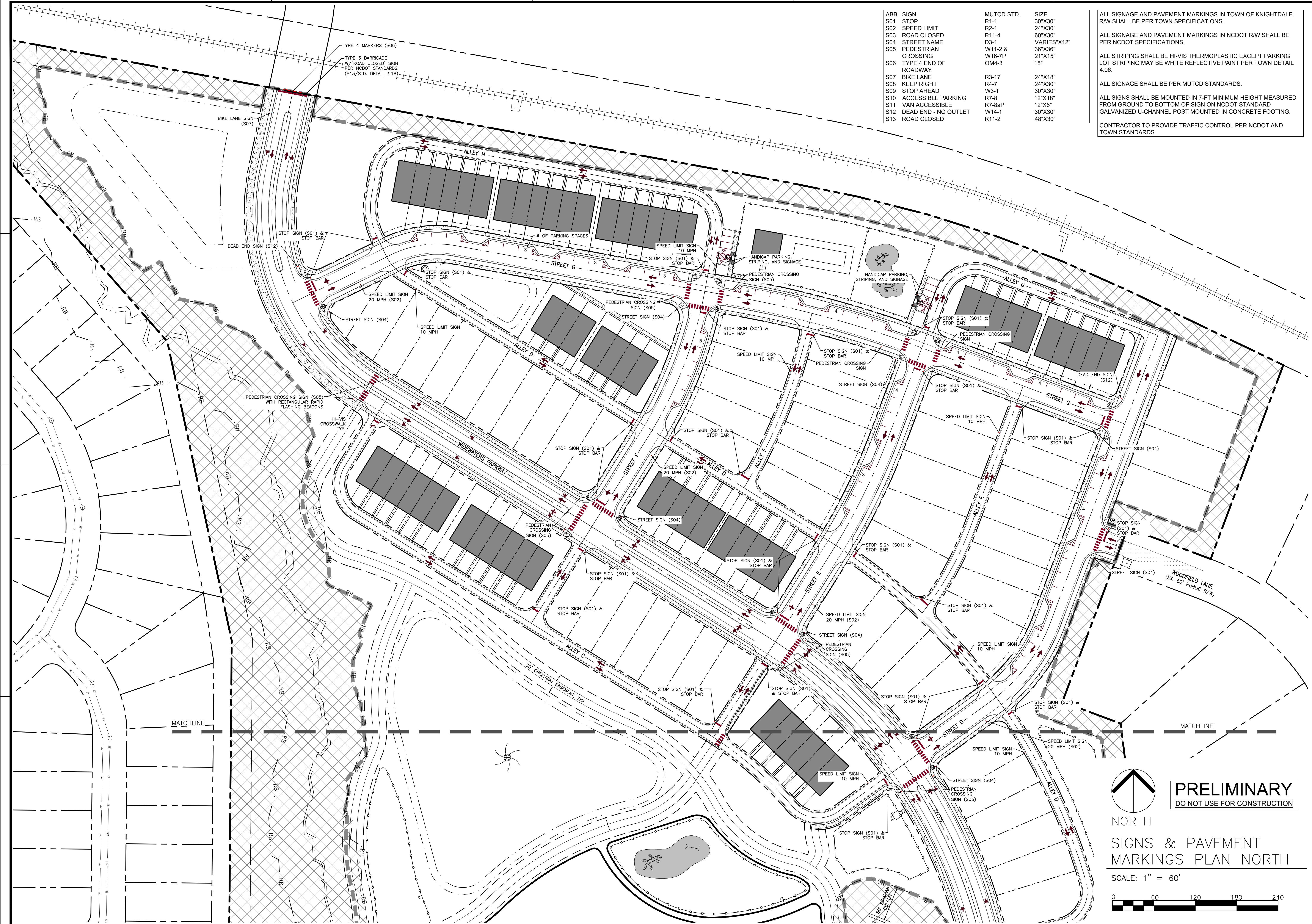
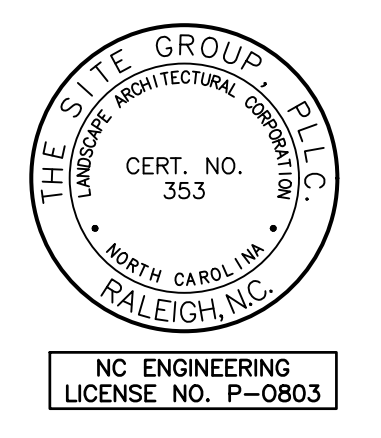
ALL SIGNAGE AND PAVEMENT MARKINGS IN NCDOT RW SHALL BE PER NCDOT SPECIFICATIONS.

ALL STRIPING SHALL BE HI-VIS THERMOPLASTIC EXCEPT PARKING LOT STRIPING MAY BE WHITE REFLECTIVE PAINT PER TOWN DETAIL 4.06.

ALL SIGNAGE SHALL BE PER MUTCD STANDARDS.

ALL SIGNS SHALL BE MOUNTED IN 7-FT MINIMUM HEIGHT MEASURED FROM GROUND TO BOTTOM OF SIGN ON NCDOT STANDARD GALVANIZED U-CHANNEL POST MOUNTED IN CONCRETE FOOTING.

CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER NCDOT AND TOWN STANDARDS.



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MASTER PLANS (ZMA-1-25) FOR:  
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 4402 OLD FAISON ROAD  
 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

Drawn By: **JHJ**  
 Checked By: **BDM**

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**MASTER PLANS**

**SIGNS & PAVEMENT MARKINGS PLAN NORTH**

Job Code: **L70FRZ**

Dwg No. **MP 2.6**

**PRELIMINARY**  
 DO NOT USE FOR CONSTRUCTION

NORTH  
 SIGNS & PAVEMENT MARKINGS PLAN NORTH



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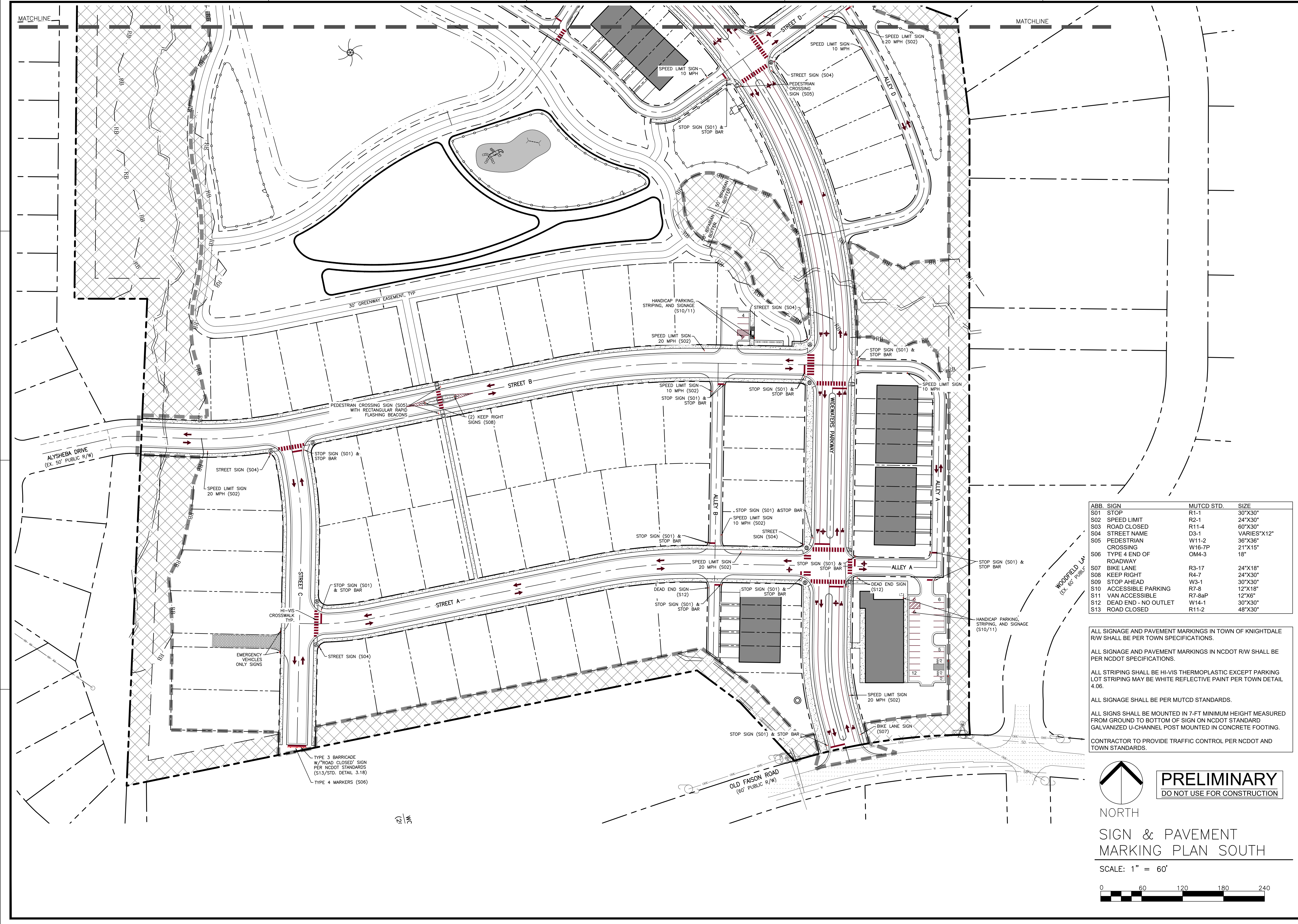


ABB. SIGN	MUTCD STD.	SIZE
S01 STOP	R1-1	30"x30"
S02 SPEED LIMIT	R2-1	24"x30"
S03 ROAD CLOSED	R11-4	60"x30"
S04 STREET NAME	D3-1	VARIES"x12"
S05 PEDESTRIAN CROSSING	W11-2	36"x36"
S06 TYPE 4 END OF ROADWAY	W16-7P	21"x15"
S07 BIKE LANE	OM4-3	18"
S08 KEEP RIGHT	R3-17	24"x18"
S09 STOP AHEAD	R4-7	24"x30"
S10 ACCESSIBLE PARKING	W3-1	30"x30"
S11 VAN ACCESSIBLE	R7-8	12"x18"
S12 DEAD END - NO OUTLET	R7-8aP	12"x8"
S13 ROAD CLOSED	W14-1	30"x30"
	R11-2	48"x30"

ALL SIGNAGE AND PAVEMENT MARKINGS IN TOWN OF KNIGHTDALE RW SHALL BE PER TOWN SPECIFICATIONS.

ALL SIGNAGE AND PAVEMENT MARKINGS IN NCDOT RW SHALL BE PER NCDOT SPECIFICATIONS.

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ALL SIGNAGE SHALL BE PER MUTCD STANDARDS.

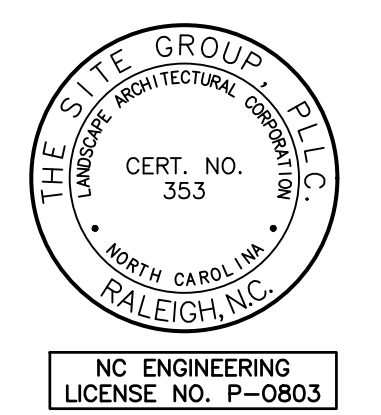
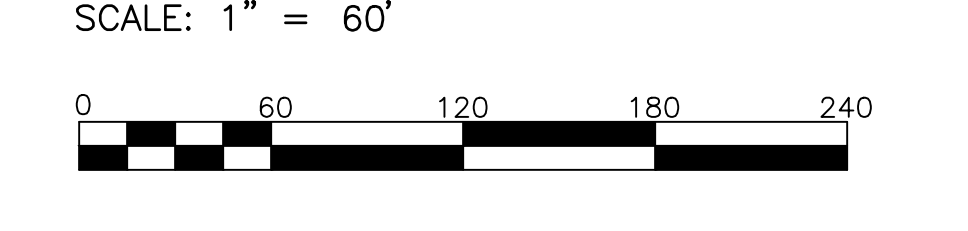
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CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER NCDOT AND TOWN STANDARDS.

PRELIMINARY  
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NORTH  
 SIGN & PAVEMENT MARKING PLAN SOUTH

SCALE: 1" = 60'



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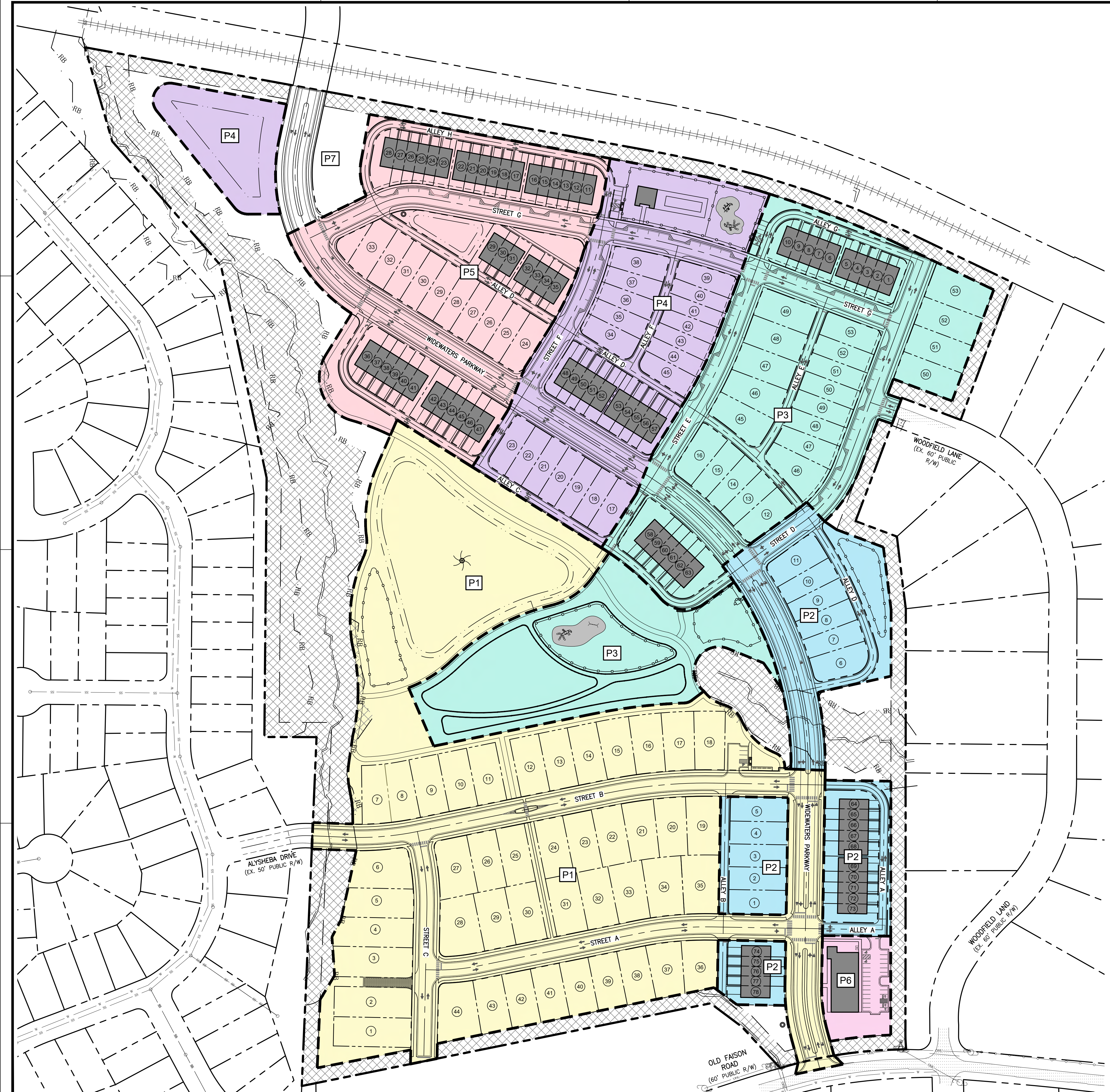
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 Dwg No.: **MP 2.7**

MASTER PLANS  
 SIGN & PAVEMENT MARKING PLAN SOUTH  
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**GENERAL NOTES**

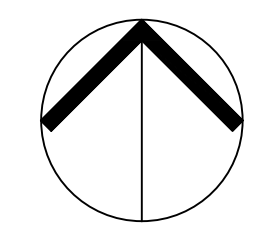
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**PHASING NOTES**

1. CONSTRUCTION OF WIDEWATERS PARKWAY WILL BEGIN WITH THE INITIAL PHASE.
2. AN SCM APPROPRIATE TO STORMWATER REQUIREMENTS WILL BE CONSTRUCTED WITH THE INITIAL PHASE.
3. PHASES 1-7 MAY BE CONSTRUCTED IN ANY ORDER.
4. DEAD-END STREET IN EXCESS OF 150 FT RESULTING FROM A PHASE PROJECT SHALL BE PROVIDED WITH AN APPROVED TEMPORARY TURNAROUND.

**NUMBER OF LOTS PER PHASE:**

PHASE 1	44 SF LOTS, SCM #1
PHASE 2	15 TH LOTS, 11 SF ROW LOTS
PHASE 3	16 TH LOTS, 18 SF ROW LOTS, 4 SF LOTS, ACTIVE O.S.
PHASE 4	10 TH LOTS, 19 SF ROW LOTS, CLUBHOUSE, SCM #2
PHASE 5	37 TH LOTS, 10 SF ROW LOTS
PHASE 6	COMMERCIAL

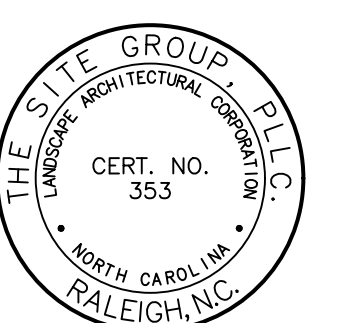


NORTH  
**OVERALL PRELIMINARY PHASING PLAN**

SCALE: 1" = 100'



**PRELIMINARY**  
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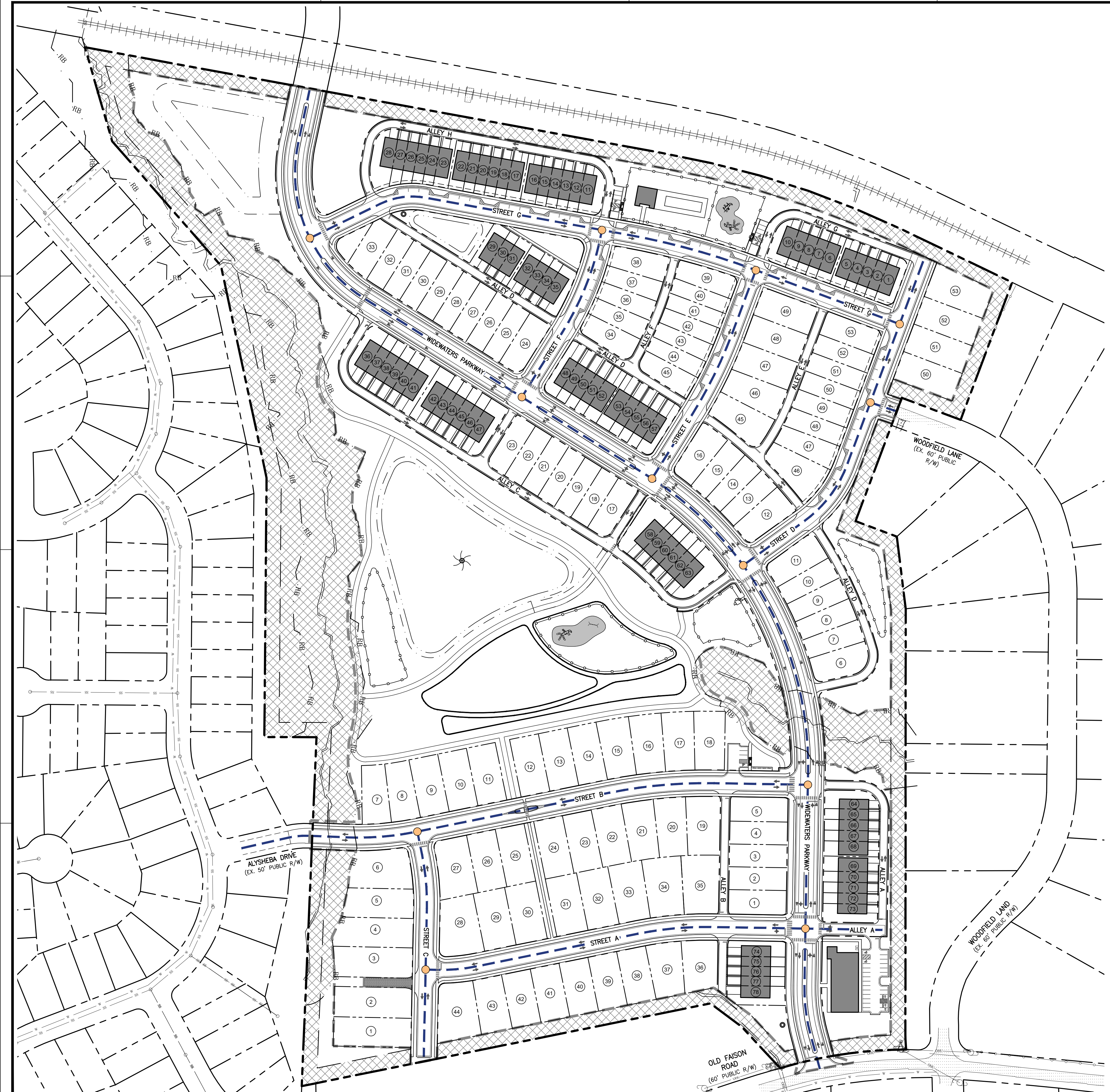
MASTER PLANS

OVERALL PRELIMINARY PHASING PLAN

Job Code: L70FRZ

Dwg No. **MP 2.8**

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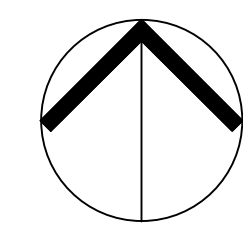
**GENERAL NOTES**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE, AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY BATEMAN CIVIL SURVEY COMPANY DATED JUNE 27TH 2025.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
6. NO GRADING, DEVELOPMENT, OR LAND-DISTURBING ACTIVITIES SHALL OCCUR WITHIN A BUFFER YARD IF FOREST CANOPY, SPECIMEN TREES, OR SIGNIFICANT VEGETATION EXISTS WITHIN THESE AREAS, UNLESS APPROVED BY THE LAND USE ADMINISTRATOR. IF GRADING WITHIN A BUFFER YARD IS PROPOSED, SLOPES OF 1:3 OR LESS ARE ENCOURAGED TO ENSURE THE PROPER TRANSITION OF GRADES TO THE ADJACENT PROPERTY AND TO FACILITATE LANDSCAPING AND MAINTENANCE.

**LEGEND**

- LINKS - 22
- NODES - 13

MINIMUM CONNECTIVITY INDEX SCORE (UR12): 1.40  
 PROPOSED CONNECTIVITY INDEX: 22/13=1.69

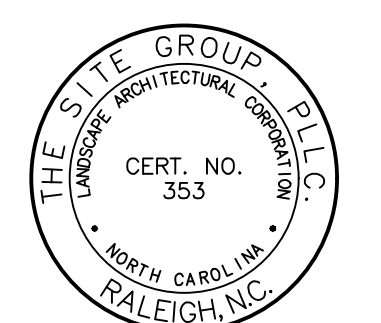


NORTH

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

OVERALL PRELIMINARY  
CONNECTIVITY INDEX

SCALE: 1" = 100'



NC ENGINEERING  
LICENSE NO. P-0803

**THE SITE GROUP**  
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
 THE SITE GROUP, P.L.L.C.  
 1111 Old Faison Road  
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 Office: 919.835.4787  
 E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
 4402 OLD FAISON ROAD  
 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

Drawn By: **JHJ**  
 Checked By: **BDM**

DATE: 24 NOV 2025  
 REVISED:  
 ▲ 26 JAN 2026  
 ▲ 31 MAR 2026

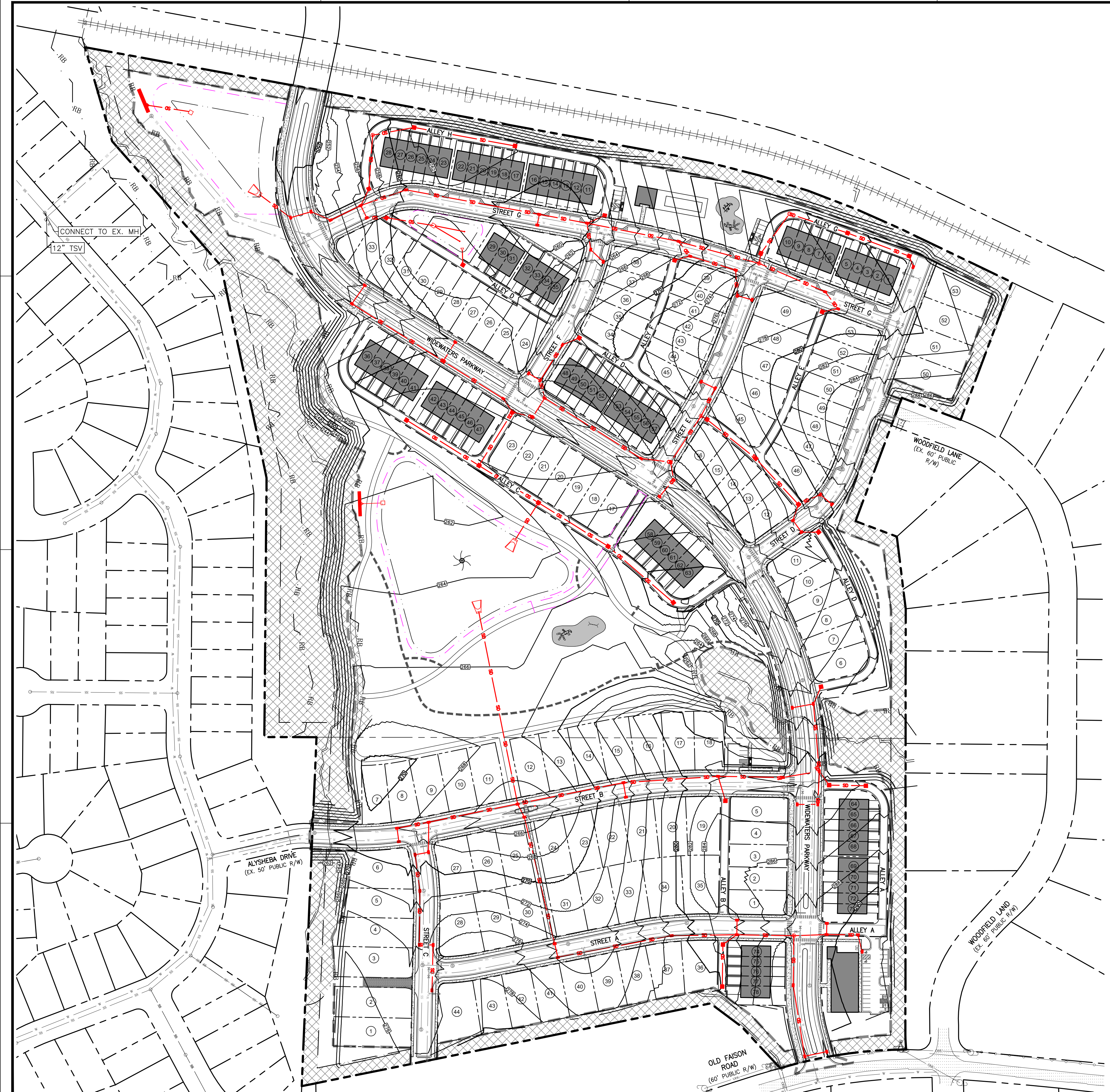
MASTER PLANS

OVERALL PRELIMINARY  
CONNECTIVITY INDEX

Job Code: L70FRZ

Dwg No.  
**MP 2.8**

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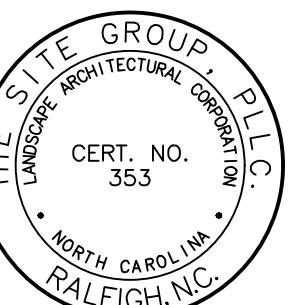


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**LINE LEGEND**

	STORMWATER LINE
	GRATE
	CURB INLET
	STORMWATER MANHOLE
	LEVEL SPREADER
	CONTROL STRUCTURE
	SANITARY SEWER
	SANITARY MANHOLE
	RIPARIAN BUFFER
	WATER



NC ENGINEERING  
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MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
4402 OLD FAISON ROAD  
KNIIGHTDALE, NORTH CAROLINA  
WAKE COUNTY

Drawn By: **HCJ**  
Checked By: **BDM**

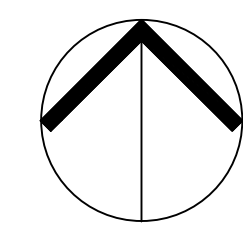
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MASTER PLANS

OVERALL STORMWATER MANAGEMENT PLAN

Job Code: L70FRZ

Dwg No. **MP 3.0**

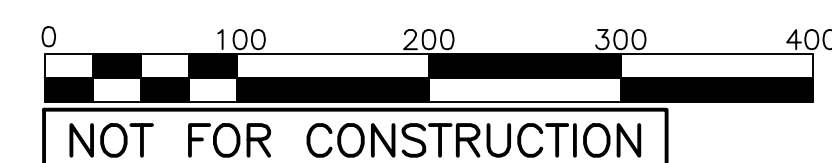


**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

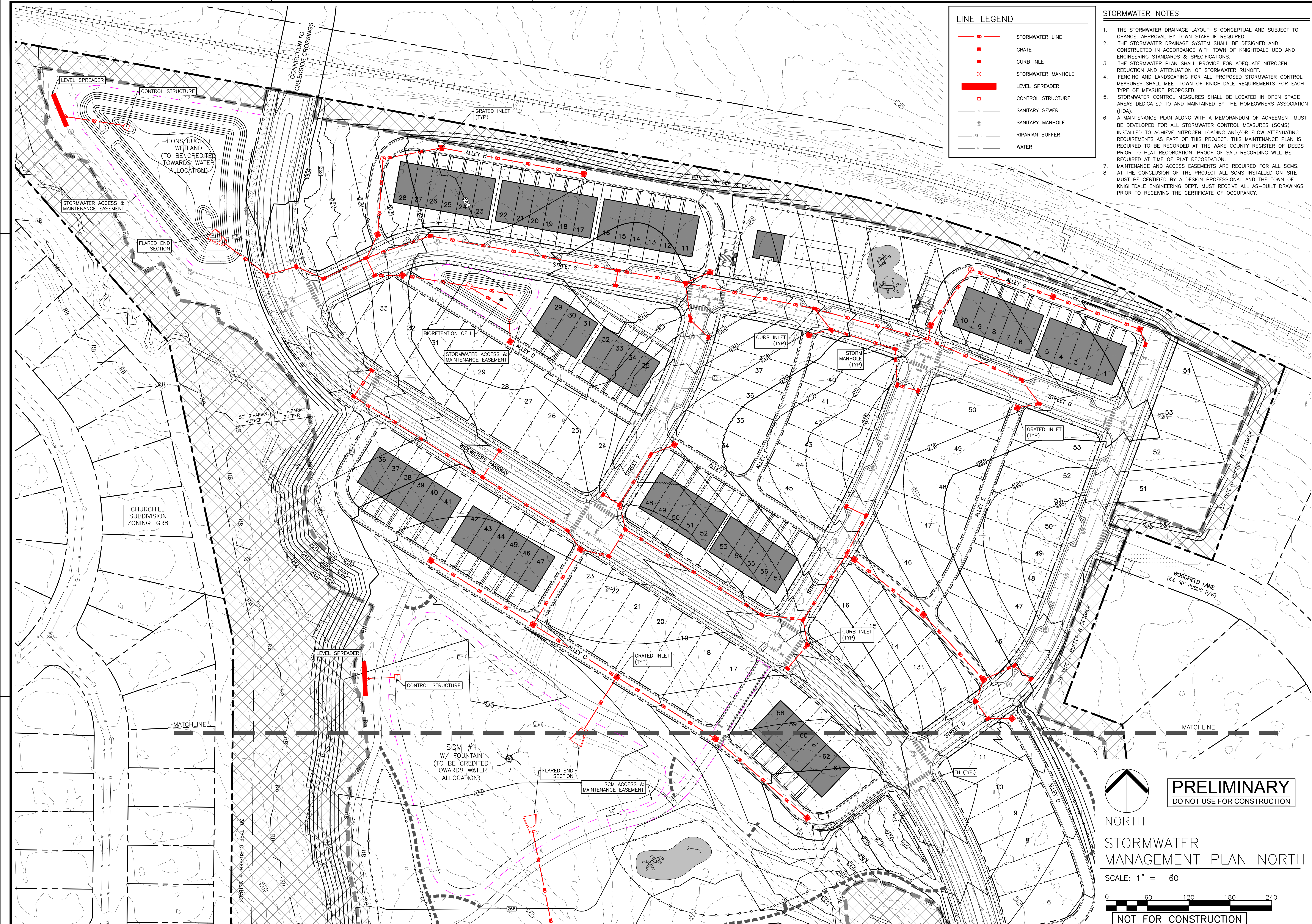
NORTH

OVERALL STORMWATER MANAGEMENT PLAN

SCALE: 1" = 100'



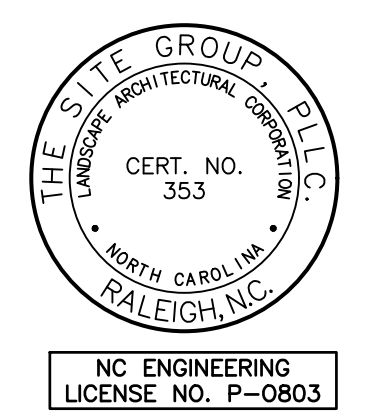
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**LINE LEGEND**

	STORMWATER LINE
	GRATE
	CURB INLET
	STORMWATER MANHOLE
	LEVEL SPREADER
	CONTROL STRUCTURE
	SANITARY SEWER
	SANITARY MANHOLE
	RIPARIAN BUFFER
	WATER

- STORMWATER NOTES**
1. THE STORMWATER DRAINAGE LAYOUT IS CONCEPTUAL AND SUBJECT TO CHANGE. APPROVAL BY TOWN STAFF IF REQUIRED.
  2. THE STORMWATER DRAINAGE SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH TOWN OF KNIGHTDALE UDO AND ENGINEERING STANDARDS & SPECIFICATIONS.
  3. THE STORMWATER PLAN SHALL PROVIDE FOR ADEQUATE NITROGEN REDUCTION AND ATTENUATION OF STORMWATER RUNOFF.
  4. FENCING AND LANDSCAPING FOR ALL PROPOSED STORMWATER CONTROL MEASURES SHALL MEET TOWN OF KNIGHTDALE REQUIREMENTS FOR EACH TYPE OF MEASURE PROPOSED.
  5. STORMWATER CONTROL MEASURES SHALL BE LOCATED IN OPEN SPACE AREAS DEDICATED TO AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (HOA).
  6. A MAINTENANCE PLAN ALONG WITH A MEMORANDUM OF AGREEMENT MUST BE DEVELOPED FOR ALL STORMWATER CONTROL MEASURES (SCMS) INSTALLED TO ACHIEVE NITROGEN LOADING AND/OR FLOW ATTENUATING REQUIREMENTS AS PART OF THIS PROJECT. THIS MAINTENANCE PLAN IS REQUIRED TO BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO PLAT RECORDATION. PROOF OF SAID RECORDING WILL BE REQUIRED AT TIME OF PLAT RECORDATION.
  7. MAINTENANCE AND ACCESS EASEMENTS ARE REQUIRED FOR ALL SCMS.
  8. AT THE CONCLUSION OF THE PROJECT ALL SCMS INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF KNIGHTDALE ENGINEERING DEPT. MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO RECEIVING THE CERTIFICATE OF OCCUPANCY.



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MASTER PLANS

STORMWATER MANAGEMENT PLAN NORTH

Job Code: L70FRZ

Dwg No. **MP 3.1**

**PRELIMINARY**  
 DO NOT USE FOR CONSTRUCTION

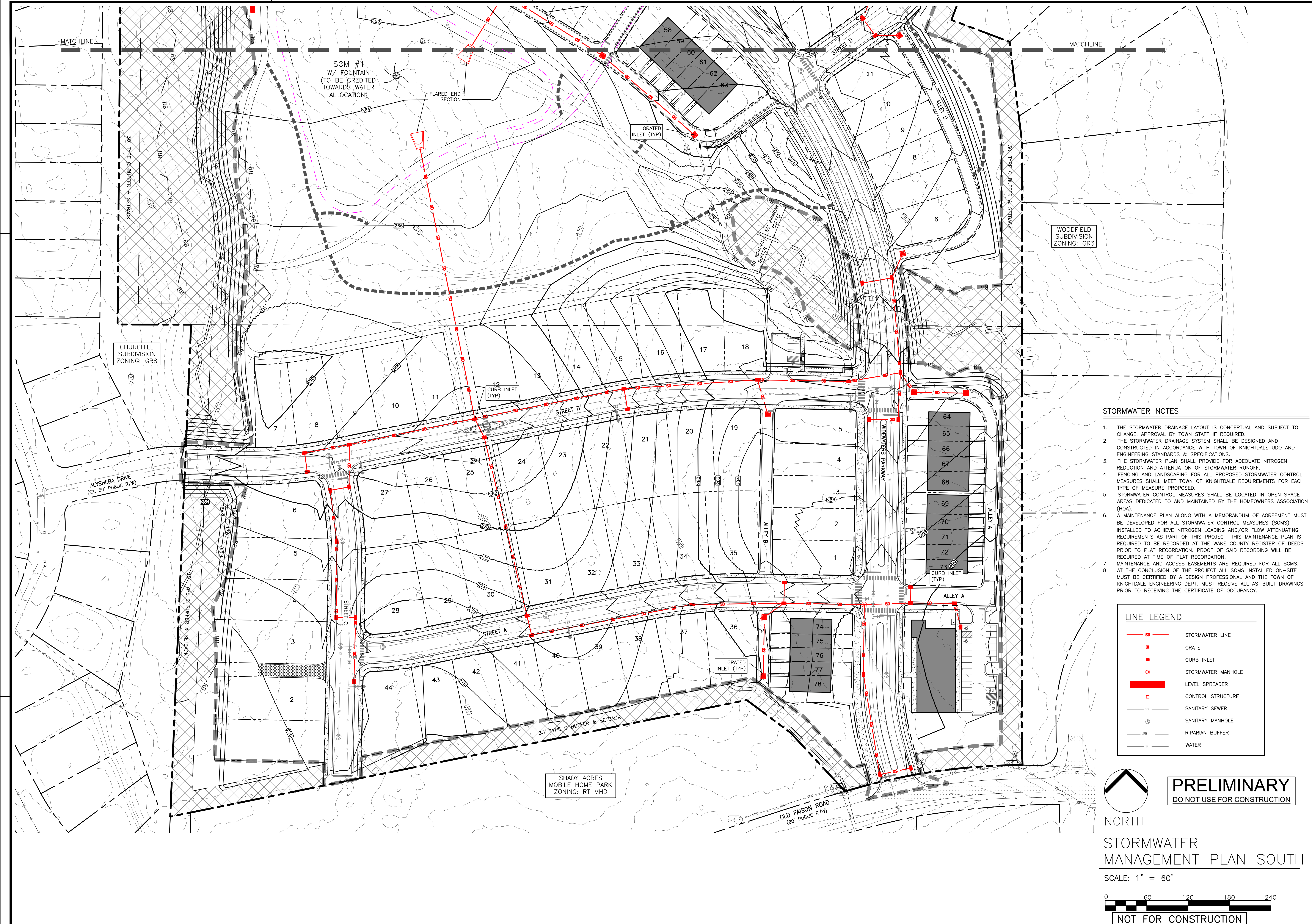
NORTH

STORMWATER MANAGEMENT PLAN NORTH

SCALE: 1" = 60'

**NOT FOR CONSTRUCTION**

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- STORMWATER NOTES**
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  - 8.

**LINE LEGEND**

	STORMWATER LINE
	GRATE
	CURB INLET
	STORMWATER MANHOLE
	LEVEL SPREADER
	CONTROL STRUCTURE
	SANITARY SEWER
	SANITARY MANHOLE
	RIPIARIAN BUFFER
	WATER

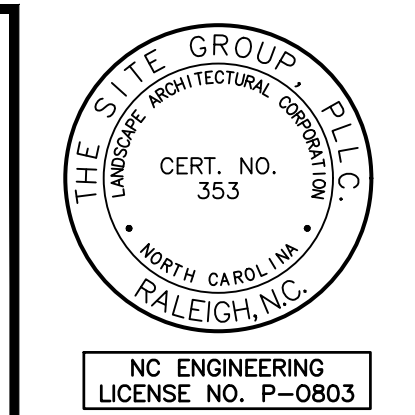
**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

NORTH

**STORMWATER  
MANAGEMENT PLAN SOUTH**

SCALE: 1" = 60'

**NOT FOR CONSTRUCTION**



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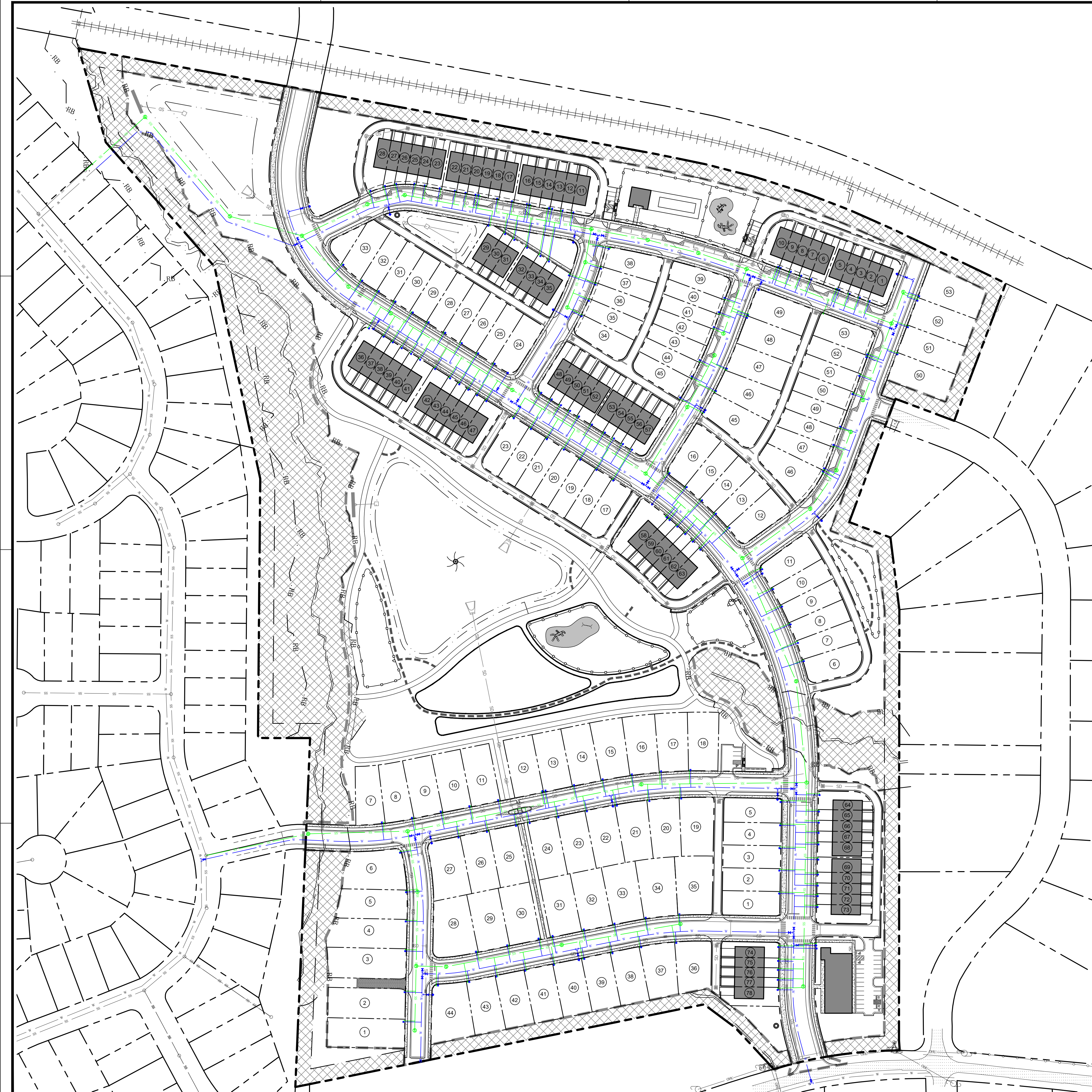
**MASTER PLANS**

**STORMWATER  
MANAGEMENT  
PLAN  
SOUTH**

Job Code: **L70FRZ**

Dwg No.  
**MP  
3.2**

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**STANDARD UTILITY NOTES (AS APPLICABLE):**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENGAGEMENT EXTENDED TO 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAINS & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS; WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING THE TOP OF MAIN OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSPECTIONS OF 4" AND LARGER WATER MAINS OF THE PRIVATE DISTRIBUTION SYSTEM WILL BE INSPECTED AS PART OF THE INFRASTRUCTURE PERMIT.
- PRIVATE SEWER MAINS AS PART OF A COLLECTION SYSTEM ARE PERMITTED AND INSPECTED UNDER THE PRIVATE INFRASTRUCTURE PERMIT FOR SEWER.
- ANY WATER OR SEWER SERVICES ON PRIVATE PROPERTY THAT WILL BE INSTALLED UNDER CONSTRUCTION DRAWINGS MAY REQUIRE A PLUMBING UTILITY PERMIT IN THE CITY OF RALEIGH. CONSULT WITH THE ENGINEERING INSPECTION COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
- INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED PER THE CURRENT NC PLUMBING CODE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NECOT / RALEIGH ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOR PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOO@RALEIGH.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT: ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
- PRIVATE SUB-METERING - NO RESALE OF WATER SHALL OCCUR WITHOUT APPROVAL OF THE NORTH CAROLINA UTILITY COMMISSION. SUB-METERING SHALL BE IN ACCORDANCE WITH SECTION 1400 OF THE "SAFE DRINKING WATER ACT".

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**RALEIGH WATER CONDITIONS OF APPROVAL:**

- ALL WATER, SANITARY SEWER AND REFUSE FACILITIES SHALL BE INSTALLED, INSPECTED, TESTED, AND ACCEPTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR OPERATIONS AND MAINTENANCE PRIOR TO 1ST CO.
- A PETITION FOR ANNEXATION INTO THE CITY LIMITS SHALL BE SUBMITTED IN ACCORDANCE WITH CITY COUNCIL POLICY FOR EXTENSION OF UTILITY SERVICE TO PROPERTIES CURRENTLY OUTSIDE OF THE CITY LIMITS PRIOR TO PLAT RECORDATION.
- CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS PRIOR TO PLAT RECORDATION.
- A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS PRIOR TO BUILDING PERMIT ISSUANCE.
- A DOWNSTREAM SEWER CAPACITY STUDY IN COMPLIANCE WITH CORPUS HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- A DEED SHALL BE RECORDED PRIOR TO CONSTRUCTION DRAWING APPROVAL FOR ALL NECESSARY OFFSITE CITY OF RALEIGH SANITARY SEWER EASEMENTS TO ACCOMMODATE FUTURE SEWER LINE CONSTRUCTION.

**ATTENTION CONTRACTORS**

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division to schedule a Pre-construction meeting on the Development Portal prior to beginning any construction.

Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require re-installation of any water or sewer facilities not inspected as a result of this notification failure.

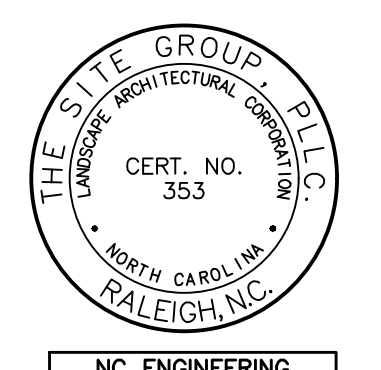
Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of Raleigh Water Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

**LINE LEGEND**

- 50 — STORMWATER LINE
- GRATE
- CURB INLET
- ⊙ STORMWATER MANHOLE
- LEVEL SPREADER
- CONTROL STRUCTURE
- S — SANITARY SEWER
- ⊙ SANITARY MANHOLE
- - - 48 - - RIPARIAN BUFFER
- W — WATER

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

NORTH  
OVERALL PRELIMINARY  
UTILITY PLAN  
SCALE: 1" = 100'  
0 100 200 300 400  
NOT FOR CONSTRUCTION



NC ENGINEERING  
LICENSE NO. P-0803

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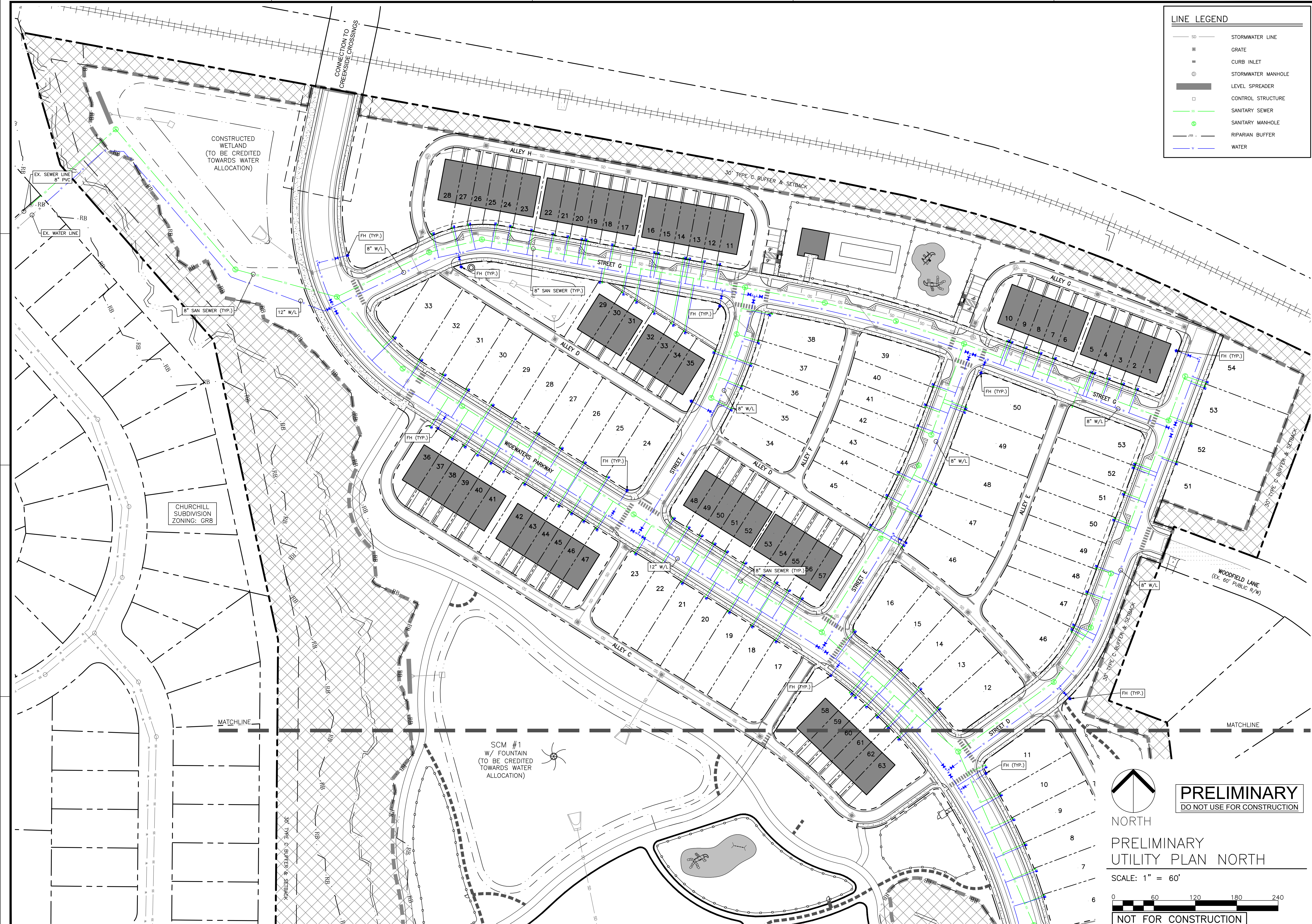
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△ 26 JAN 2026  
△ 31 MAR 2026

MASTER PLANS  
OVERALL PRELIMINARY  
UTILITY PLAN

Job Code: L70FRZ

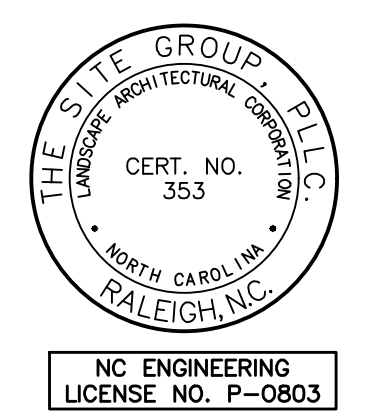
Dwg No.  
**MP 4.0**

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**LINE LEGEND**

—SD—	STORMWATER LINE
■	GRATE
■	CURB INLET
⊙	STORMWATER MANHOLE
■	LEVEL SPREADER
□	CONTROL STRUCTURE
—S—	SANITARY SEWER
⊙	SANITARY MANHOLE
—WB—	RIPIARIAN BUFFER
—W—	WATER



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 Office: 919.835.4787  
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MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
 4402 OLD FAISON ROAD  
 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

Drawn By: **HCJ**  
 Checked By: **BDM**

DATE: 24 NOV 2025  
 REVISED:  
 ▲ 26 JAN 2026  
 ▲ 31 MAR 2026

MASTER PLANS

PRELIMINARY UTILITY PLAN NORTH

Job Code: L70FRZ

Dwg No. **MP 4.1**

**PRELIMINARY**  
 DO NOT USE FOR CONSTRUCTION

NORTH

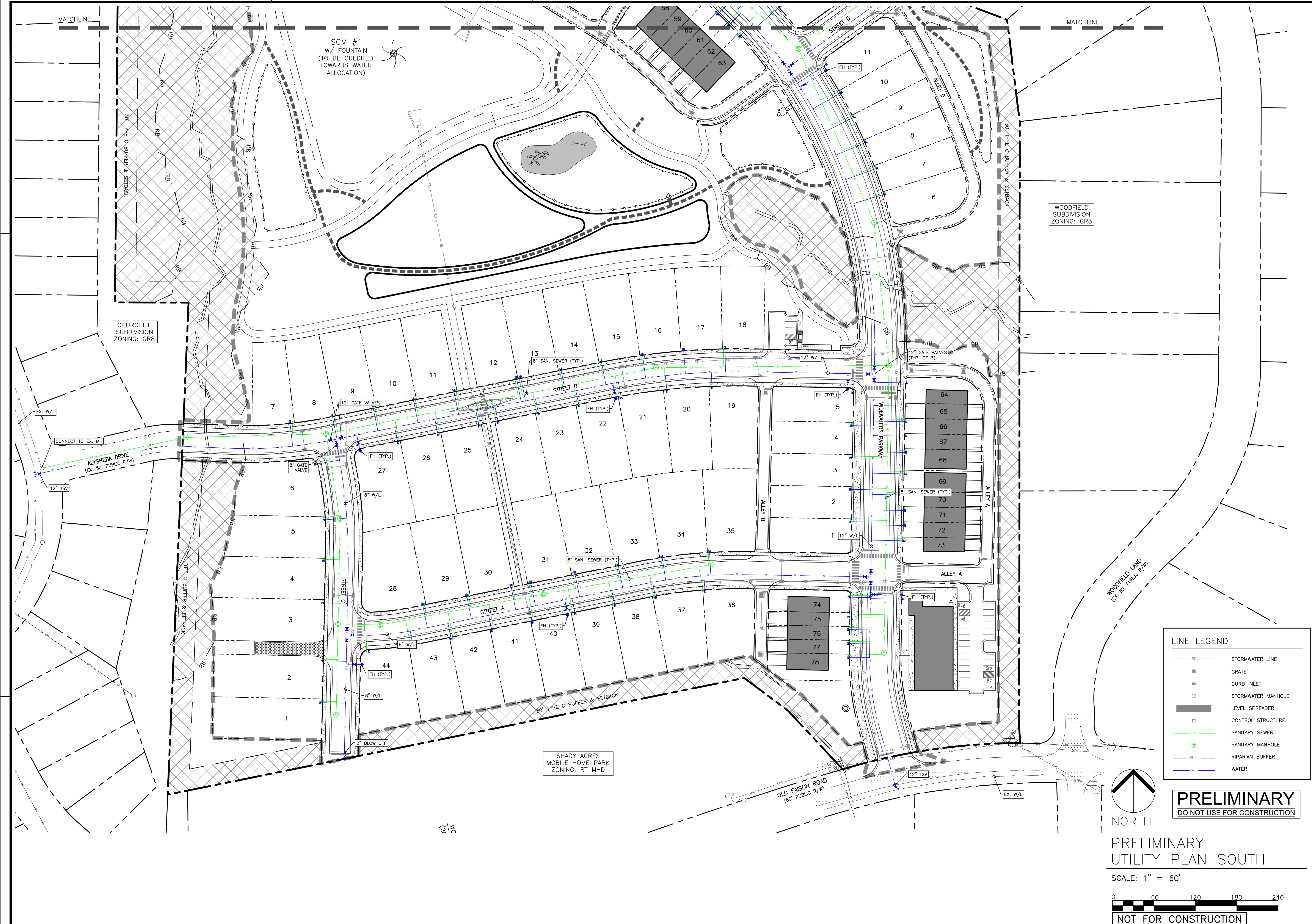
PRELIMINARY UTILITY PLAN NORTH

SCALE: 1" = 60'

0 60 120 180 240

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SCM #1  
W/ FOUNTAIN  
(TO BE CREDITED  
TOWARDS WATER  
ALLOCATION)

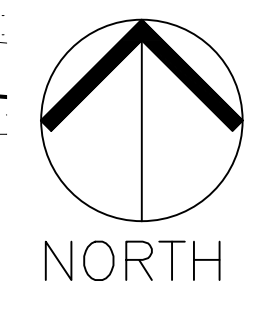
CHURCHILL  
SUBDIVISION  
ZONING: GR8

WOODFIELD  
SUBDIVISION  
ZONING: GR3

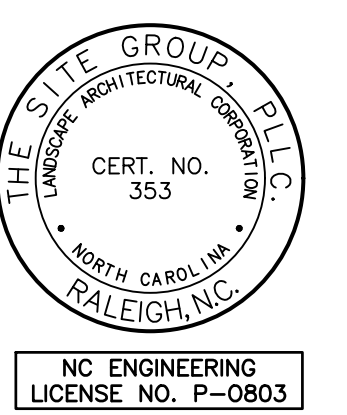
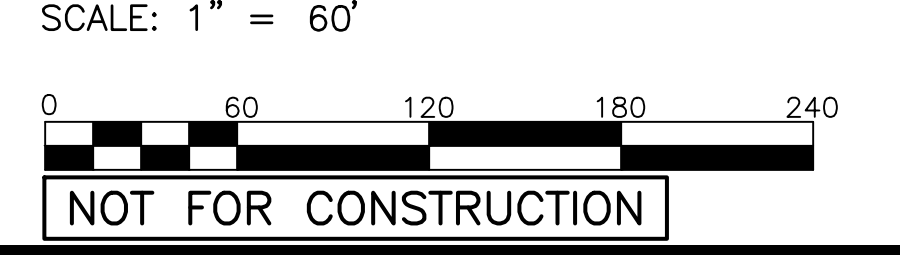
SHADY ACRES  
MOBILE HOME PARK  
ZONING: RT MHD

LINE LEGEND	
	STORMWATER LINE
	GRATE
	CURB INLET
	STORMWATER MANHOLE
	LEVEL SPREADER
	CONTROL STRUCTURE
	SANITARY SEWER
	SANITARY MANHOLE
	RIPARIAN BUFFER
	WATER

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION



NORTH  
PRELIMINARY  
UTILITY PLAN SOUTH



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MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
4402 OLD FAISON ROAD  
KNIGHTDALE, NORTH CAROLINA  
WAKE COUNTY

Drawn By: **HCJ**  
Checked By: **BDM**

DATE:  
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31 MAR 2026

MASTER PLANS

PRELIMINARY  
UTILITY  
PLAN  
SOUTH

Job Code: **L70FRZ**

Dwg No.  
**MP 4.2**

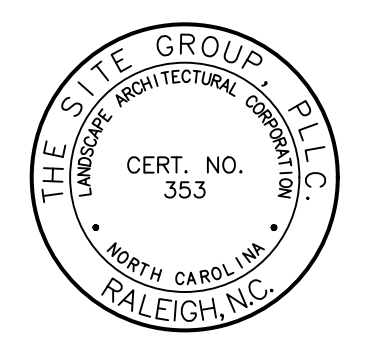
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**PRESERVED TREE CANOPY DATA:**

SITE PERIMETER:	7,182 LF.
TREE CANOPY SAVE AREA REQUIRED:	7,182 (20)=143,640 SF.
TREE CANOPY SAVE AREA PROVIDED:	440,739 SF.

**TREE SAVE AREA TABLE:**

TREE SAVE AREA A	95,703 SF
TREE SAVE AREA B	55,899 SF
TREE SAVE AREA C	234,537 SF
TREE SAVE AREA D	30,049 SF
TREE SAVE AREA E	24,551 SF



NC ENGINEERING LICENSE NO. P-0803

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MASTER PLANS FOR:  
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 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

Drawn By: **JHJ**  
 Checked By: **BDM**

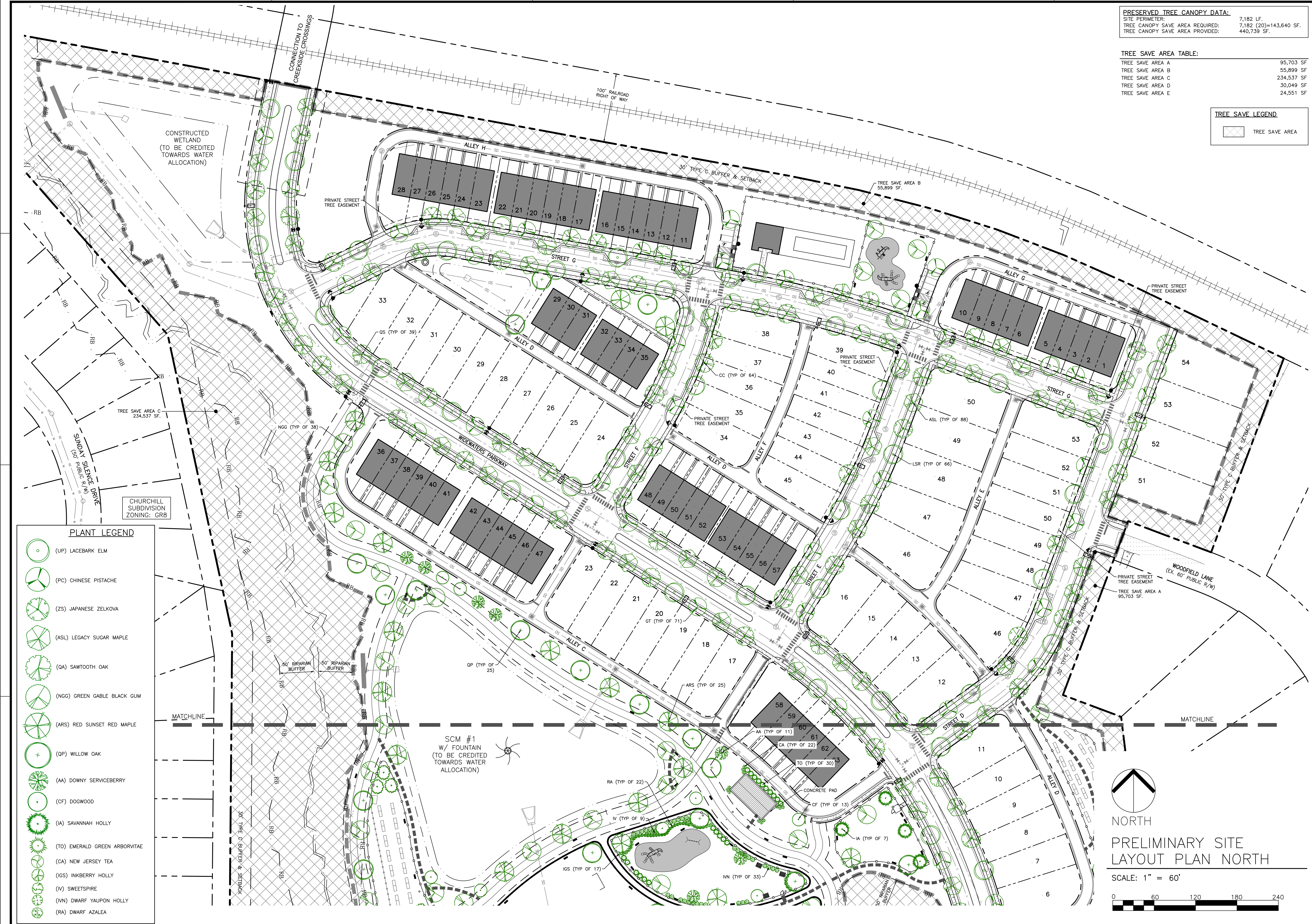
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MASTER PLANS

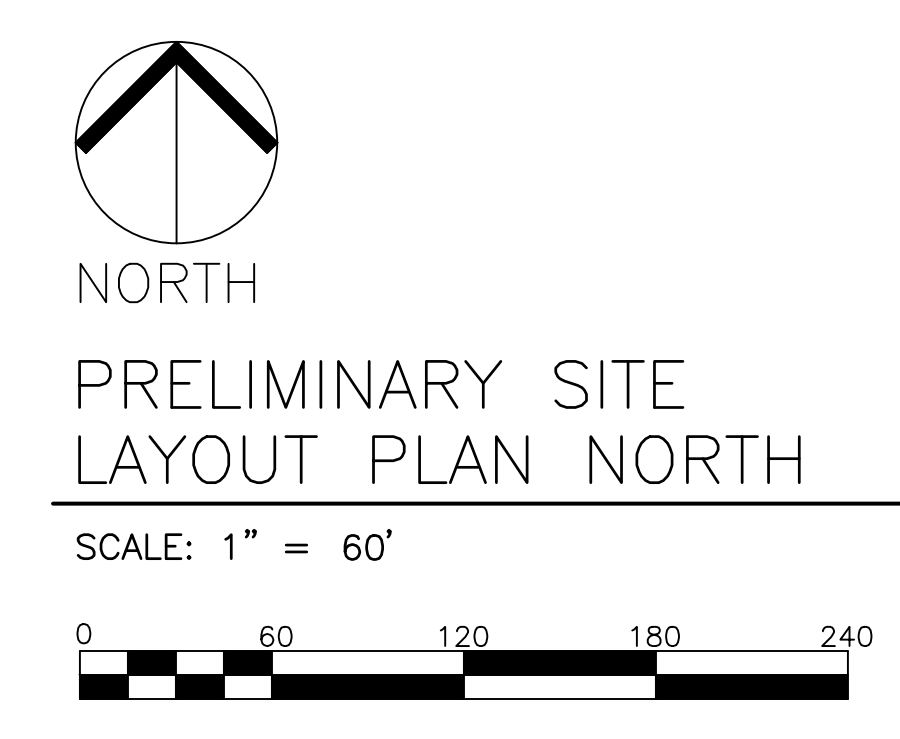
PRELIMINARY LANDSCAPE PLAN NORTH

Job Code: **L70FRZ**

Dwg No.  
**MP 5.1**



- PLANT LEGEND**
- (UP) LACEBARK ELM
  - (PC) CHINESE PISTACHE
  - (ZS) JAPANESE ZELKOVA
  - (ASL) LEGACY SUGAR MAPLE
  - (QA) SAWTOOTH OAK
  - (NGG) GREEN GABLE BLACK GUM
  - (ARS) RED SUNSET RED MAPLE
  - (QP) WILLOW OAK
  - (AA) DOWNY SERVICEBERRY
  - (CF) DOGWOOD
  - (IA) SAVANNAH HOLLY
  - (TO) EMERALD GREEN ARBORVITAE
  - (CA) NEW JERSEY TEA
  - (IGS) INKBERRY HOLLY
  - (IV) SWEETSPIRE
  - (VN) DWARF YAUPON HOLLY
  - (RA) DWARF AZALEA



CONSTRUCTED WETLAND (TO BE CREDITED TOWARDS WATER ALLOCATION)

TREE SAVE AREA C 234,537 SF.

CHURCHILL SUBDIVISION ZONING: GR8

SCM #1 W/ FOUNTAIN (TO BE CREDITED TOWARDS WATER ALLOCATION)

TREE SAVE AREA B 55,899 SF.

TREE SAVE AREA A 95,703 SF.

MATCHLINE

MATCHLINE

CONNECTION TO GREENSIDE CROSSINGS

100' RAILROAD RIGHT OF WAY

30' TYPE C BUFFER & SETBACK

PRIVATE STREET TREE EASEMENT

PRIVATE STREET TREE EASEMENT

PRIVATE STREET TREE EASEMENT

PRIVATE STREET TREE EASEMENT

PRIVATE STREET TREE EASEMENT

PRIVATE STREET TREE EASEMENT

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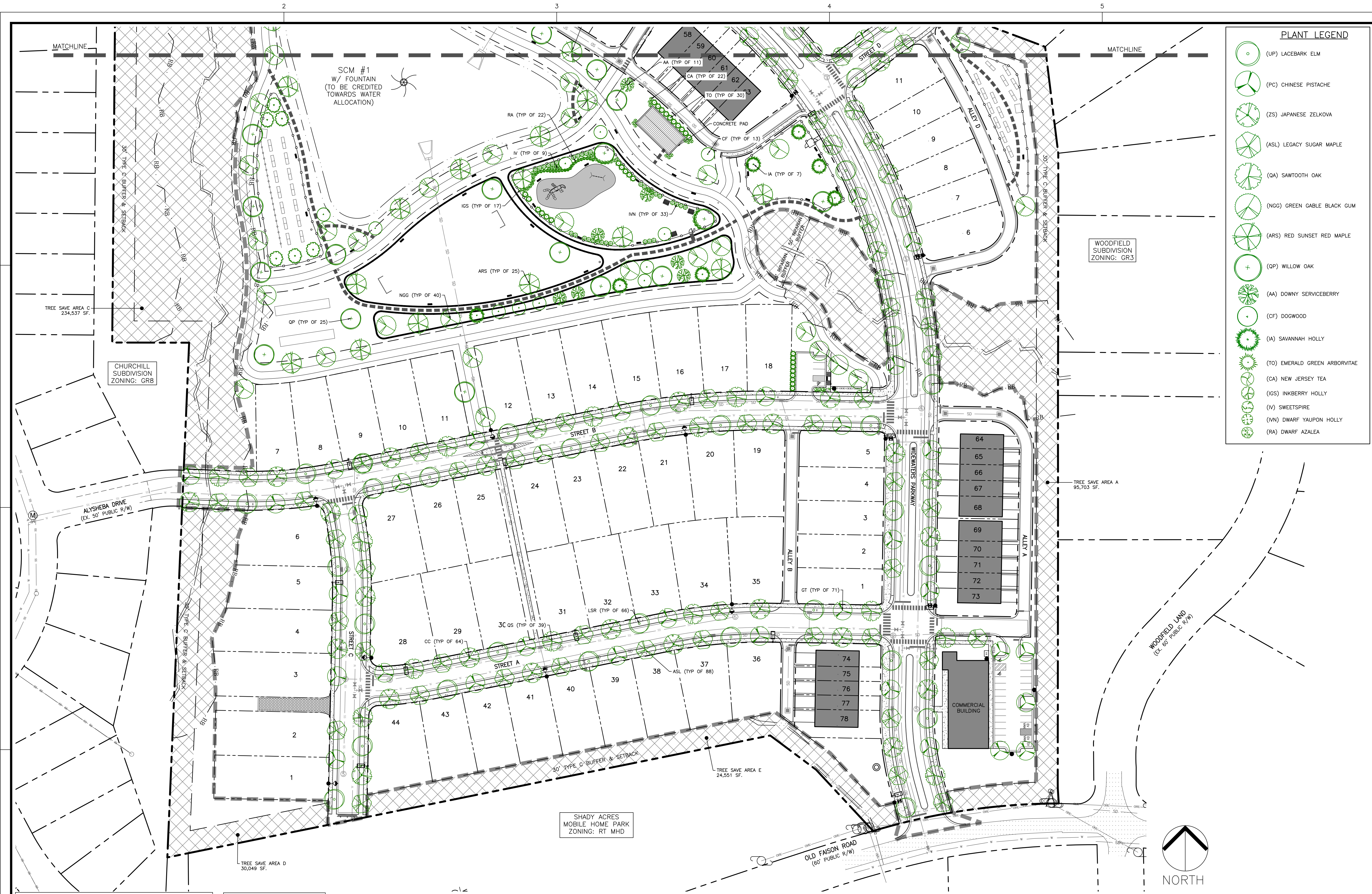
PRIVATE STREET TREE EASEMENT

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PRIVATE STREET TREE EASEMENT

PRIVATE STREET TREE EASEMENT



**PLANT LEGEND**

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- (CF) DOGWOOD
- (IA) SAVANNAH HOLLY
- (TO) EMERALD GREEN ARBORVITAE
- (CA) NEW JERSEY TEA
- (IGS) INKBERRY HOLLY
- (V) SWEETSPICE
- (IVN) DWARF YAUPON HOLLY
- (RA) DWARF AZALEA

**PRESERVED TREE CANOPY DATA:**

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**TREE SAVE LEGEND**

☒ TREE SAVE AREA

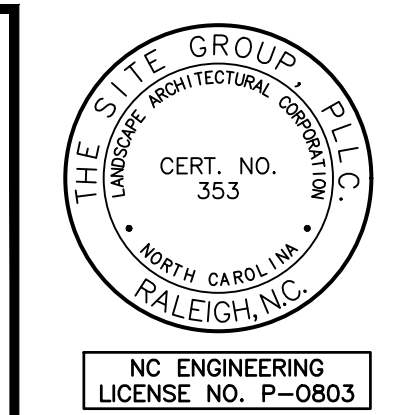
**TREE SAVE AREA TABLE:**

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TREE SAVE AREA B	55,899 SF
TREE SAVE AREA C	234,537 SF
TREE SAVE AREA D	30,049 SF
TREE SAVE AREA E	24,551 SF

NORTH

**PRELIMINARY LANDSCAPE PLAN SOUTH**

SCALE: 1" = 60'



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MASTER PLANS FOR:  
**FAISON RESERVE**  
 4402 OLD FAISON ROAD  
 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

Drawn By: **JHJ**  
 Checked By: **BDM**

DATE: 24 NOV 2025  
 REVISED:  
 ▲ 26 JAN 2026  
 ▲ 31 MAR 2026

**MASTER PLANS**

**PRELIMINARY LANDSCAPE PLAN SOUTH**

Job Code: **L70FRZ**

Dwg No. **MP 5.2**

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OVERALL SITE PLANT LIST

KEY QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SIZE	MATURE HT./SPREAD	ROOT	SPACING	LOCATION	NATIVE
<b>CANOPY TREES</b>									
ARS 25	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	8-10'	3" CAL.	50'/40'	B&B	AS SHOWN	OPEN SPACE	YES
ASL 88	ACER SACCHARUM 'LEGACY'	LEGACY SUGAR MAPLE	8-10'	3" CAL.	60'/40'	B&B	AS SHOWN	STREET TREE	YES
CC 64	CARPINUS CAROLINIANA	IRONWOOD	8-10'	3" CAL.	40'/30'	B&B	AS SHOWN	STREET TREE	YES
LSR 66	LIQUIDAMBAR STRACIFLUA 'ROTUNDILOBA'	FRUITLESS SWEETGUM	8-10'	3" CAL.	50'/30'	B&B	AS SHOWN	STREET TREE	YES
NGG 38	NYSSA SYLVATICA 'GREEN GABLE'	GREEN GABLE BLACK GUM	8-10'	2" CAL.	60'/30'	B&B	AS SHOWN	OPEN SPACE	YES
GT 71	GLEDITSIA TRICANTHOS 'INERMIS'	THORNLESS HONEYLOCUST	8-10'	2" CAL.	40'/30'	B&B	AS SHOWN	STREET TREE	YES
QS 39	QUERCUS SHUMARDII	SHUMARD OAK	8-10'	3" CAL.	60'/40'	B&B	AS SHOWN	STREET TREE	YES
QP 25	QUERCUS PHELLOS	WILLOW OAK	8-10'	3" CAL.	60'/40'	B&B	AS SHOWN	OPEN SPACE	YES
<b>UNDERSTORY TREES</b>									
AA 11	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	8-10'	1.5" CAL.	20'/15'	B&B	AS SHOWN	OPEN SPACE	YES
CF 13	CORNUS FLORIDA 'CHEROKEE CHIEF'	DOGWOOD	8-10'	1.5" CAL.	20'/20'	B&B	AS SHOWN	OPEN SPACE	YES
IA 7	ILEX ATTENUATA 'SAVANNAH'	SPARTAN JUNIPER	8-10'	1.5" CAL.	25'/15'	B&B	AS SHOWN	OPEN SPACE	YES
TO 30	THUJA OCCIDENTALIS 'SMARGO'	EMERALD GREEN ARBORVITAE	8-10'	1.5" CAL.	12'/4'	B&B	AS SHOWN	OPEN SPACE	YES
<b>SHRUBS</b>									
CA 22	CEANOTHUS AMERICANUS	NEW JERSEY TEA	24"	#3	3'/3'	CONT.	AS SHOWN	OPEN SPACE	YES
IVN 33	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	24"	#3	5'/5'	CONT.	AS SHOWN	OPEN SPACE	YES
IV 9	ILEX VIRGINICA 'HENRY'S GARNET'	SWEETSPICE	24"	#3	4'/5'	CONT.	AS SHOWN	OPEN SPACE	YES
IGS 17	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24"	#3	3'/4'	CONT.	AS SHOWN	OPEN SPACE	YES
RA 22	RHODODENDRON ATLANTICUM	DWARF AZALEA	24"	#3	3'/3'	CONT.	AS SHOWN	OPEN SPACE	YES

LANDSCAPE REQUIREMENT CALCULATIONS:

**TYPE C BUFFER REQUIREMENTS PER 100 LINEAR FEET OF BUFFER (30' WIDE MIN.):**  
 5 CANOPY TREES, 5 UNDERSTORY TREES, 25 SHRUBS  
 TOTAL TYPE C BUFFER LENGTH = 6,706 LF  
 335 CANOPY TREES, 335 UNDERSTORY TREES & 1,676 SHRUBS REQUIRED  
 (ALL EXISTING VEGETATION WITHIN THE TYPE C BUFFERS ARE INTENDED TO BE PRESERVED FOR TREE SAVE AREAS. SUPPLEMENTAL BUFFER PLANTINGS MAY BE REQUIRED BASED ON FIELD CONDITIONS AT INSPECTION.)

**STREET TREE REQUIREMENT PER LINEAR FEET OF FRONTAGE:**  
 1 CANOPY TREE @ 40' O.C.

WIDEWATERS PARKWAY = 2,150 LF. OF FRONTAGE  
 2,150/40 x 2 = 108 STREET TREES REQUIRED

STREET A = 680 LF. OF FRONTAGE  
 680/40 x 2 = 34 STREET TREES REQUIRED

STREET B = 922 LF. OF FRONTAGE  
 922/40 x 2 = 46 STREET TREES REQUIRED

STREET C = 391 LF. OF FRONTAGE  
 391/40 x 2 = 20 STREET TREES REQUIRED

STREET D = 581 LF. OF FRONTAGE  
 581/40 x 2 = 29 STREET TREES REQUIRED

STREET E = 403 LF. OF FRONTAGE  
 403/40 x 2 = 20 STREET TREES REQUIRED

STREET F = 307 LF. OF FRONTAGE  
 307/40 x 2 = 15 STREET TREES REQUIRED

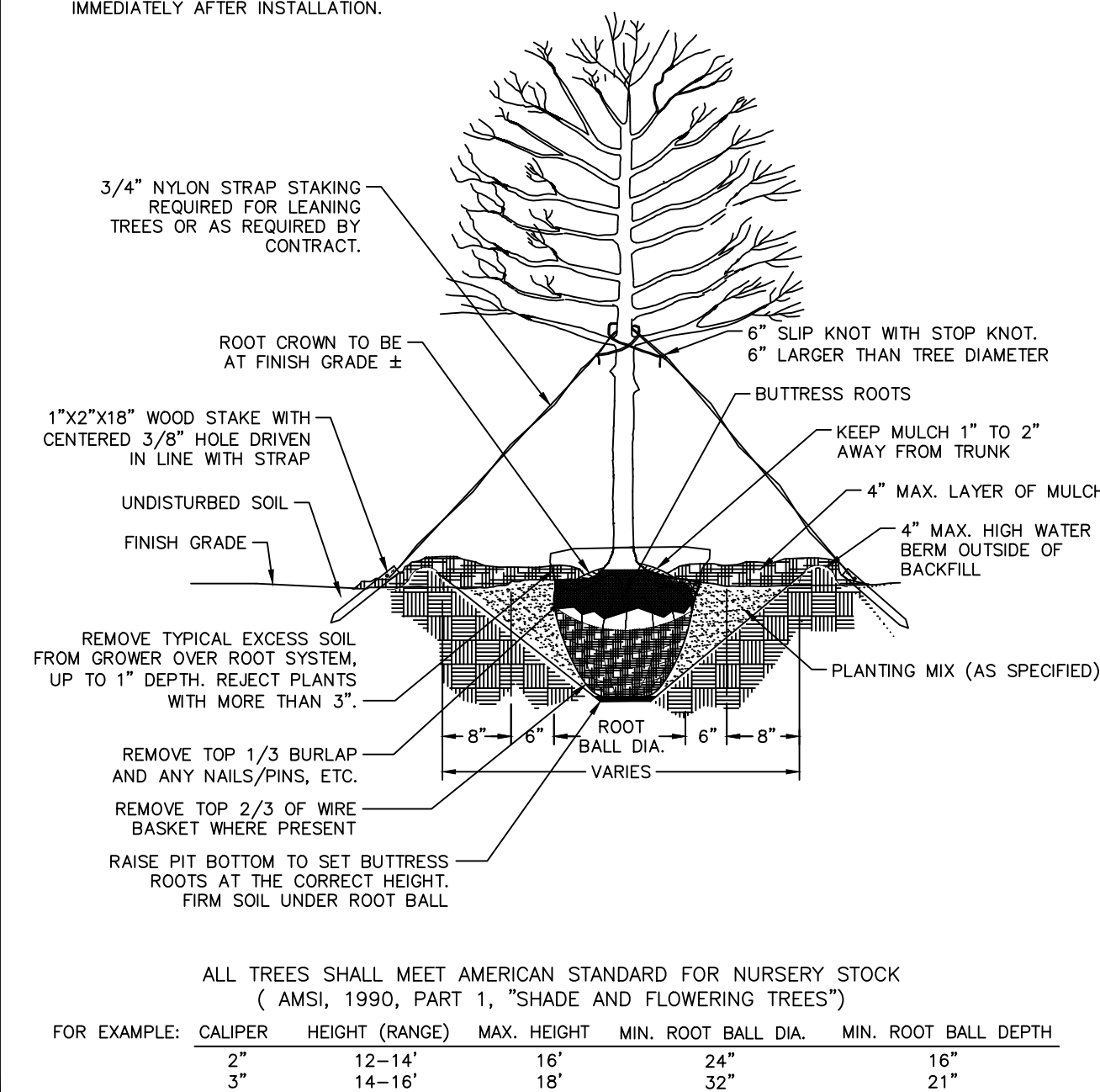
STREET G = 1,068 LF. OF FRONTAGE  
 1,068/40 x 2 = 53 STREET TREES REQUIRED

LANDSCAPE SPECIES & TOLERANCE NOTE:

A MINIMUM OF 75% OF THE LANDSCAPE FEATURES UTILIZED ON A PARCEL THAT IS GREATER THAN 5 ACRES SHALL BE DROUGHT AND SALT-TOLERANT NATIVE SPECIES. TOTAL LANDSCAPE FEATURES, EXCLUDING TURF, SHALL NOT BE COMPRISED OF MORE THAN 20% OF ANY SINGLE SPECIES OR 25% OF ANY GENUS [UDO, SEC. 7.4.G.1.B.IV].

NOTES:

- REMOVE WIRE OR NYLON TWINE FROM BALL.
- SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.



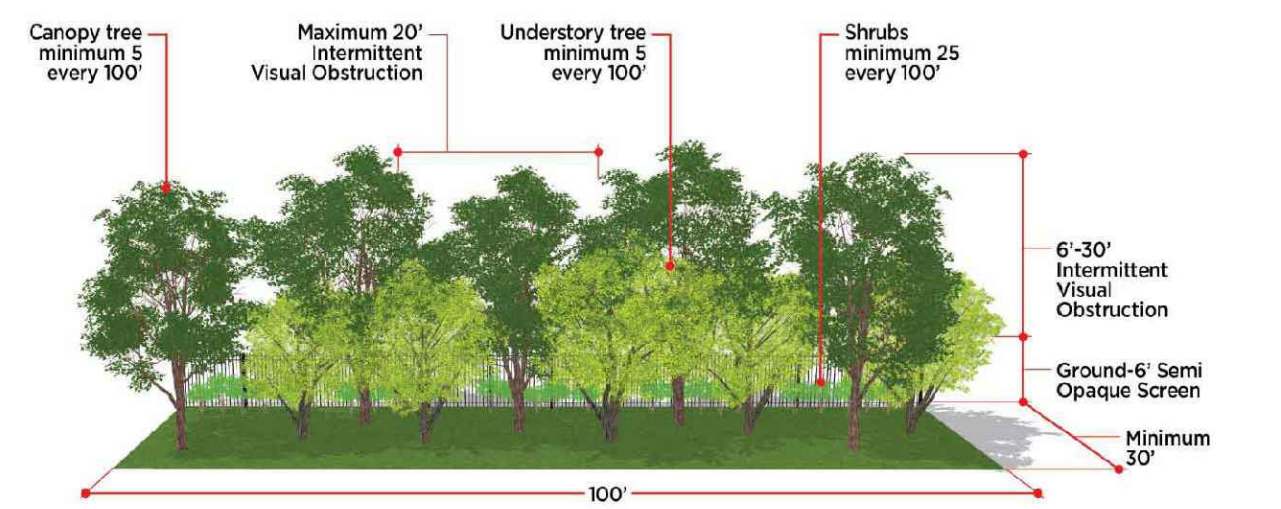
REVISIONS	DATE	DESCRIPTION	STD. NO.

TOWN OF KNIGHTDALE STANDARD DETAILS	TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)	STD. NO.
		3.25

4. Type C Buffer Yard.

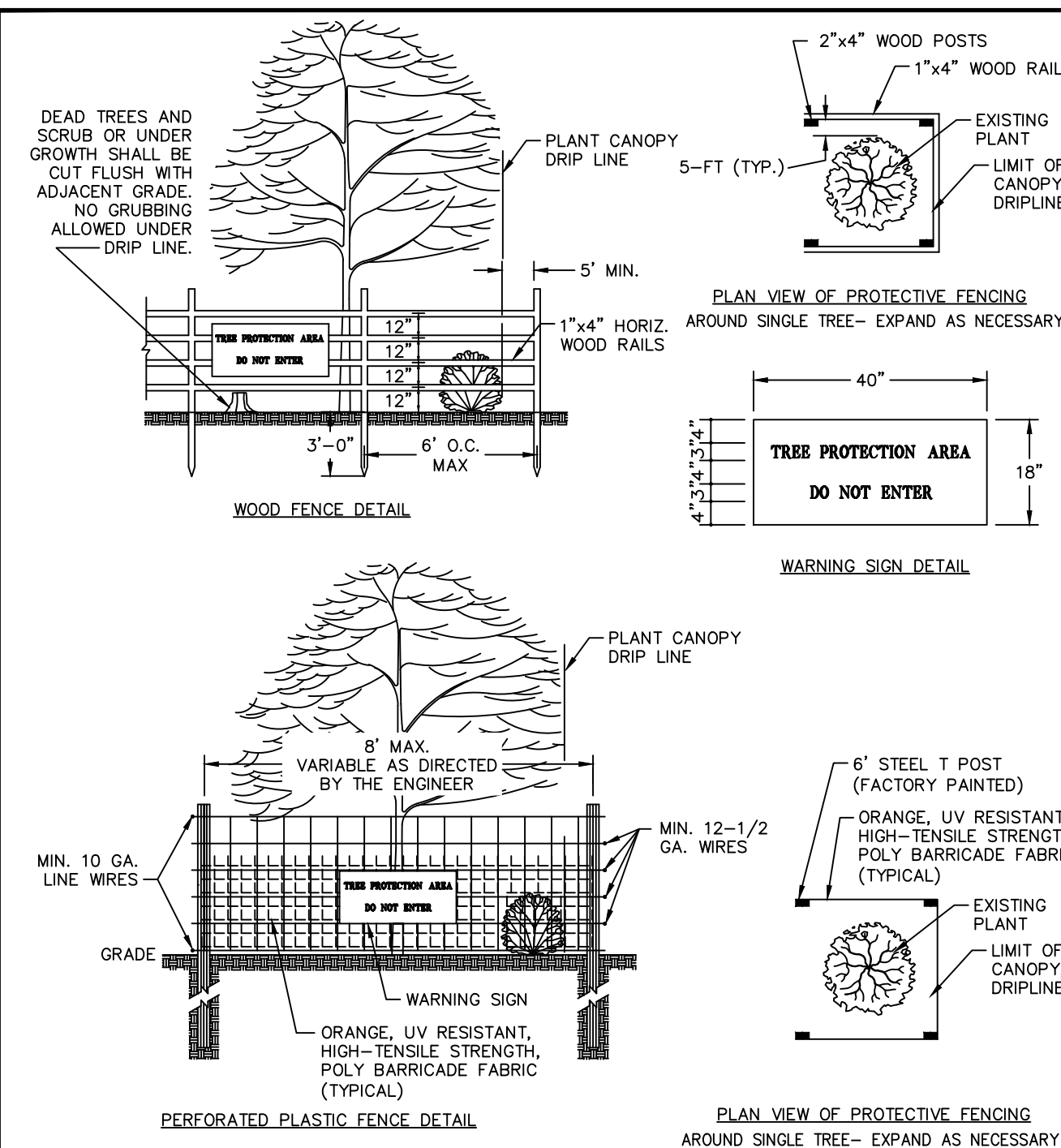
- Minimum Width:** Thirty (30) feet
- Minimum Landscape Height and Opacity:**
  - Ground to Six (6) Feet. Semi-Opaque Screen
  - Six (6) to Thirty (30) Feet. Intermittent Visual Obstruction
- Maximum Landscape Horizontal Openings:**
  - Five (5) Feet. Semi-Opaque Screen
  - Twenty (20) Feet. Intermittent Visual Obstruction
- Performance Standard:** A buffer which is thirty (30) feet in width and contains screening materials which at maturity provides semi-opacity from the ground to a height of six (6) feet, and intermittent visual obstruction from a height of six (6) height up to a height of thirty (30) feet. Vegetative screening materials within intermittent visual obstruction areas shall contain horizontal openings no greater than twenty (20) feet in width; vegetative screening materials within semi-opaque areas shall contain no horizontal openings greater than five (5) feet in width upon the plants' maturity.
- Required Plantings:** For every one hundred (100) linear feet, there shall be at least five (5) Canopy Trees, five (5) Understory Trees, and twenty-five (25) shrubs. Depending on the species chosen, additional trees or shrubs may be necessary to meet the performance standard in subsection "d" above.

Figure 7.6: Type C Buffer Yard Standards



Town of Knightdale  
 Knightdale Next UDO Update

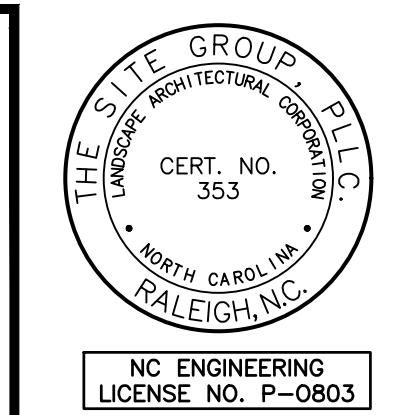
Chapter 7 - Development Standards  
 Page 27 of 44



- NOTES:
- REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT
  - LANDSCAPING PLANS SHALL SHOW LOCATIONS OF ALL TREE PROTECTION FENCES.
  - ALL PLANTS TO BE SAVED SHALL BE PROTECTED BY FENCING AS SHOWN IN THIS DETAIL.
  - CONTRACTOR SHALL INSTALL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING ACTIVITY.
  - CONTRACTOR SHALL CALL FOR INSPECTION AND APPROVAL OF PROTECTIVE FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING.
  - PROTECTIVE FENCING SHALL BE LOCATED 5' OUTSIDE DRIFLINE OF TREES AND 1' MINIMUM OUTSIDE SHRUBS OR OTHER PLANTS.

REVISIONS	DATE	DESCRIPTION	STD. NO.

TOWN OF KNIGHTDALE STANDARD DETAILS	PLANT PROTECTIVE FENCING	STD. NO.
		2.10



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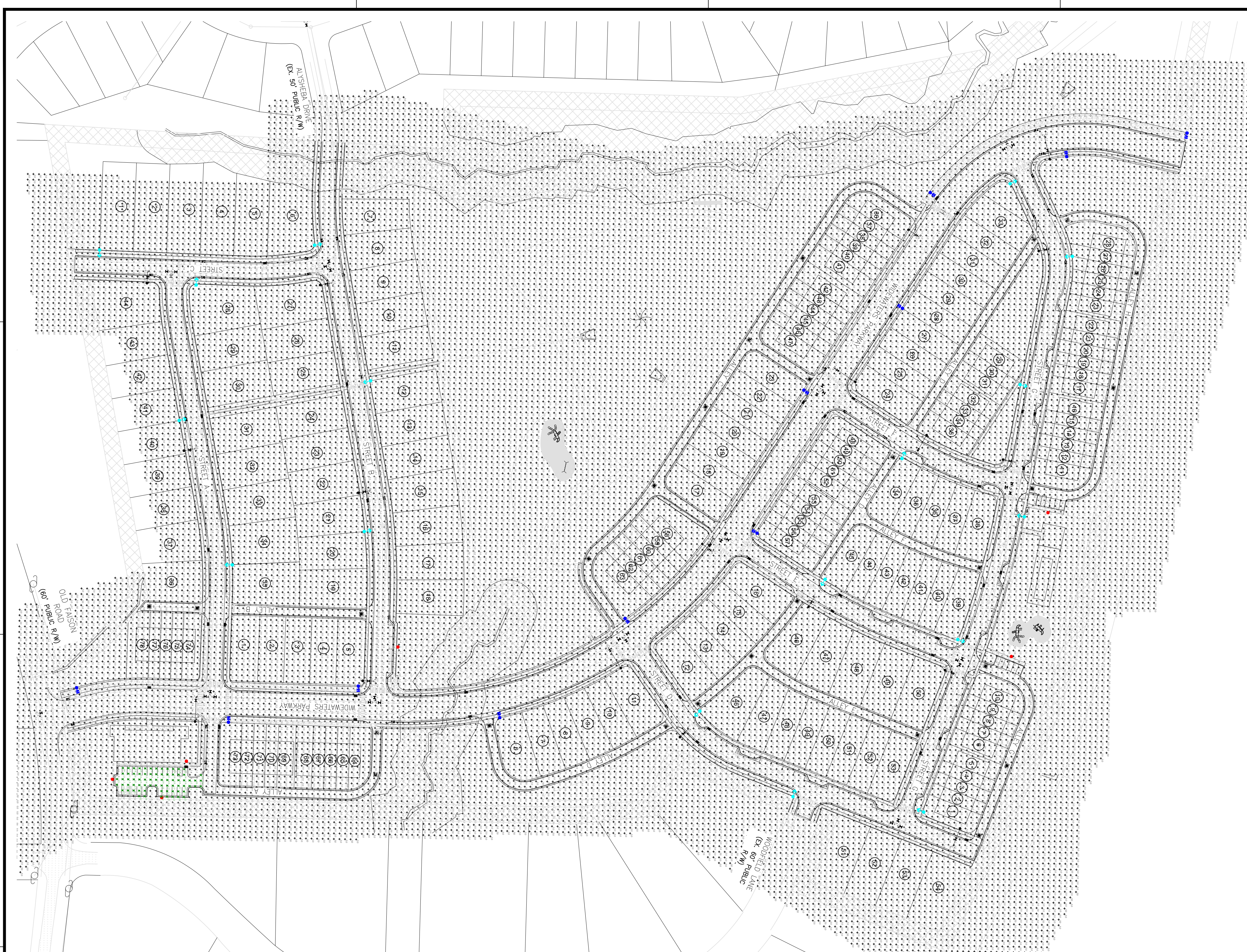
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MASTER PLANS  
 PRELIMINARY LANDSCAPE DETAILS & NOTES

Job Code: L70FRZ  
 Dwg No.: MP 5.3



### Outdoor Lighting

**ROADWAY LED**  
(Meets Dark Sky Criteria)

Light source: LED (white)  
 Wattage: 110 | 150 | 220 | 280 watts  
 Light pattern: IESNA Type III Type IV (forward throw)  
 IESNA cutoff classification: B2U0G3  
 BUG rating: Type III = B3U0G3 (110W), B3U0G3 (150W), B3U0G4 (220W/280W)  
 Type IV = B3U0G3 (150W), B3U0G4 (220W), B3U0G3 (280W)  
 Color temperature: 3,000K | 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Fiberglass	25', 30', 35'	Gray, Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)	25', 30', 35'	Galvanized

FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, contact us at: OOLCarolina@duke-energy.com.

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### Outdoor Lighting

**OPEN TRADITIONAL LED**  
(Meets Dark Sky Criteria)

Light source: LED (white)  
 Wattage: 50 watts  
 Lumens: 5,261  
 Light pattern: IESNA Type III Type V  
 IESNA cutoff classification: Full-cutoff  
 BUG rating: Type III = B1U0G2 Type V = B2U0G2  
 Color temperature: 3,000K | 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Aluminum	12', 15', 17'	Black
Fiberglass	16'	Black
Fluted concrete	13'	Black
Decorative aluminum	12', 16'	Black

FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
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One low monthly cost on your electric bill	Convenience and savings for you

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**LIGHTING DESIGN TOLERANCE**  
 The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

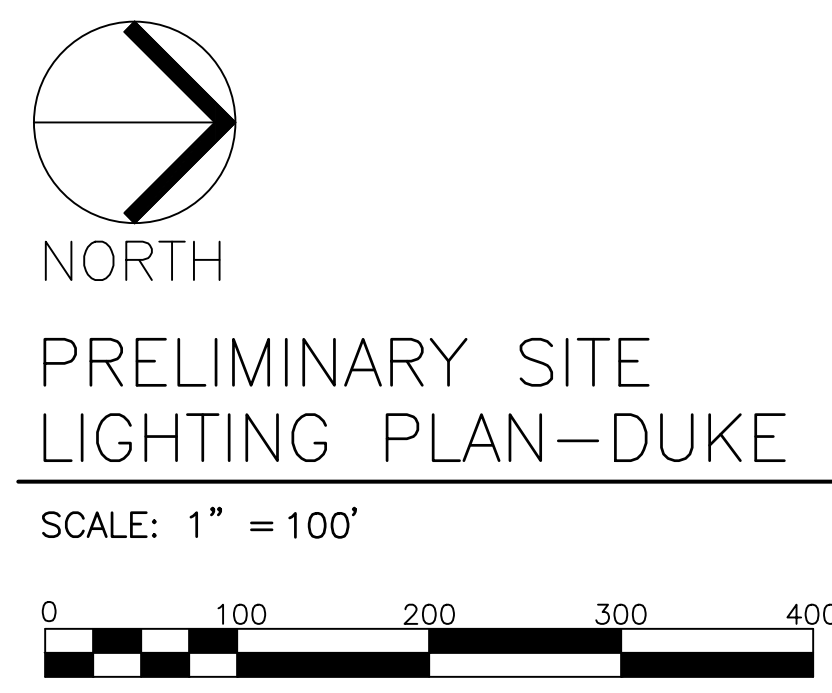
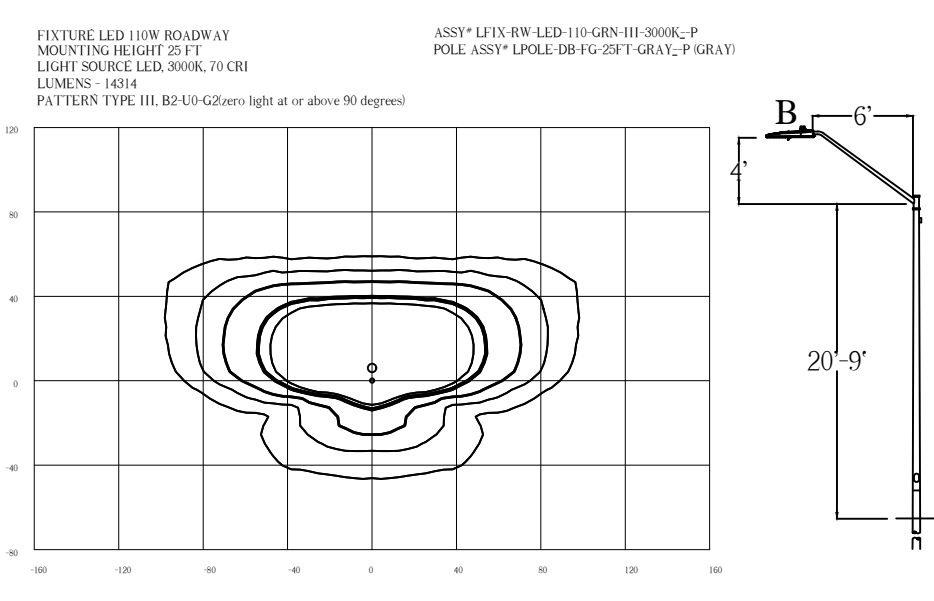
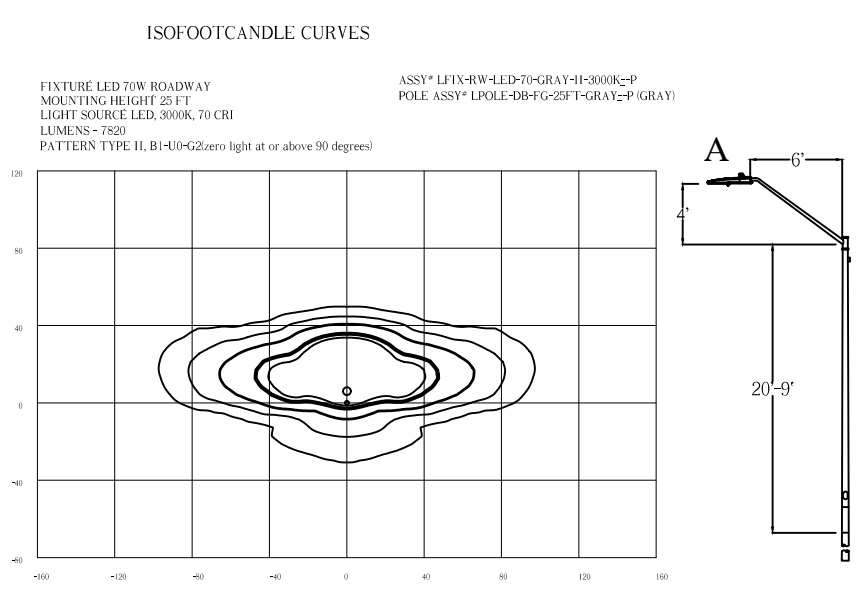
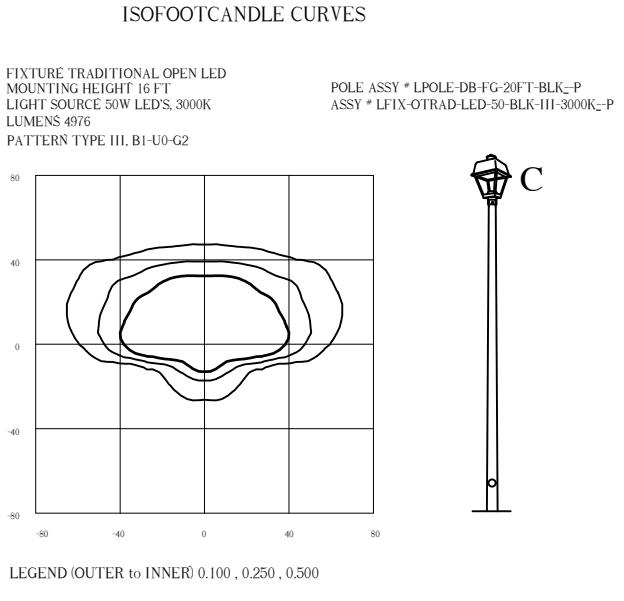


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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Amenity Parking	X	0.8 fc	1.7 fc	0.2 fc	8.5:1	4.0:1

Schedule						
Symbol	Label	QTY	Description	Number Lamps	Lamp Output	
	A	17	LED 70w Roadway - Type II - 3000K	1	7776	
	B	11	LED 110w Roadway - Type III - 3000K - Street	1	14306	
	C	6	LED 50w Open Traditional - Type III - 3000K - Parking/Private	24	207	



**THE SITE GROUP, PLLC**  
 LANDSCAPE ARCHITECTURE  
 CERT. NO. 353  
 NORTH CAROLINA  
 RALEIGH, NC

**NC ENGINEERING LICENSE NO. P-0803**

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MASTER PLANS FOR:  
**FAISON RESERVE**  
 4402 OLD FAISON ROAD  
 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

Drawn By: **JHJ**  
 Checked By: **BDM**

DATE:  
 31 MAR 2026

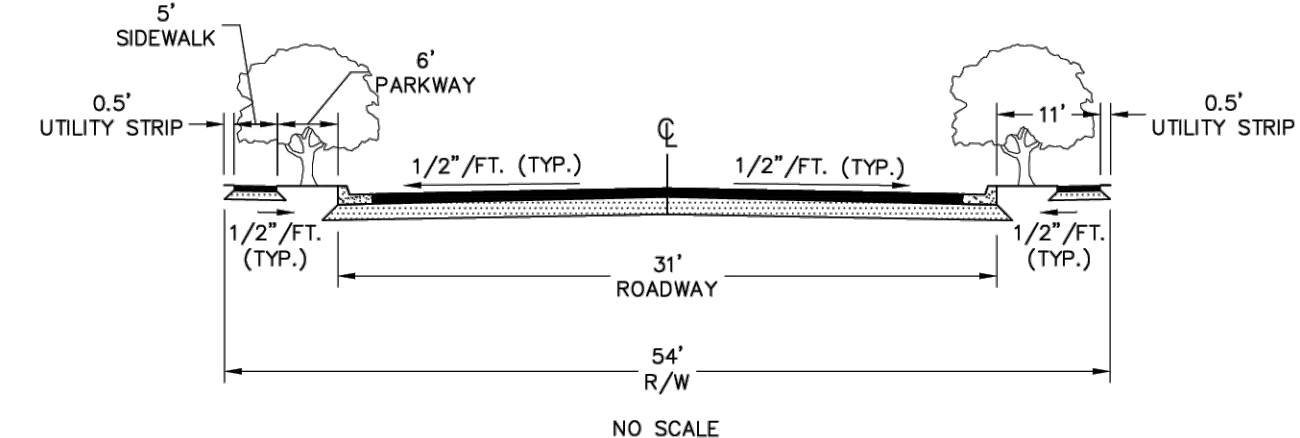
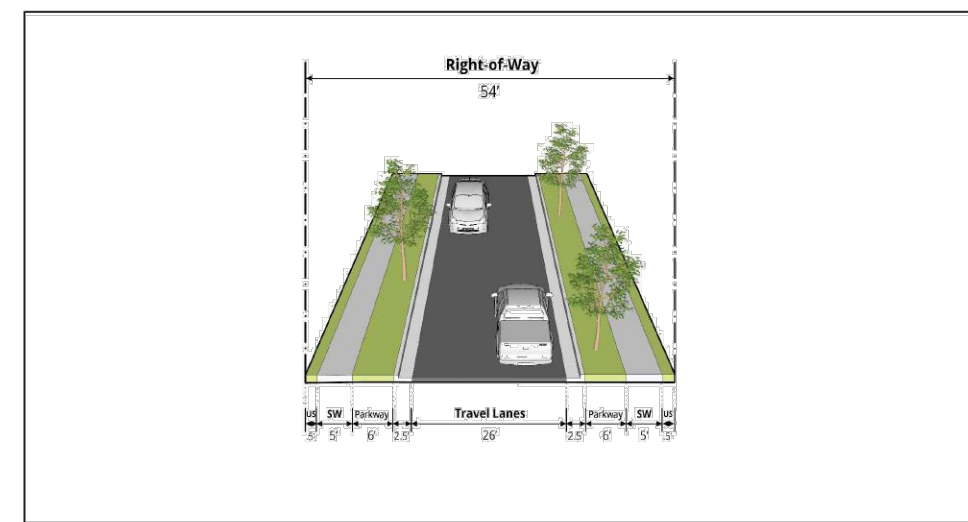
**MASTER PLANS**

**PRELIMINARY LIGHTING PLAN DUKE**

Job Code: **L70FRZ**

Dwg No.  
**MP 5.4**

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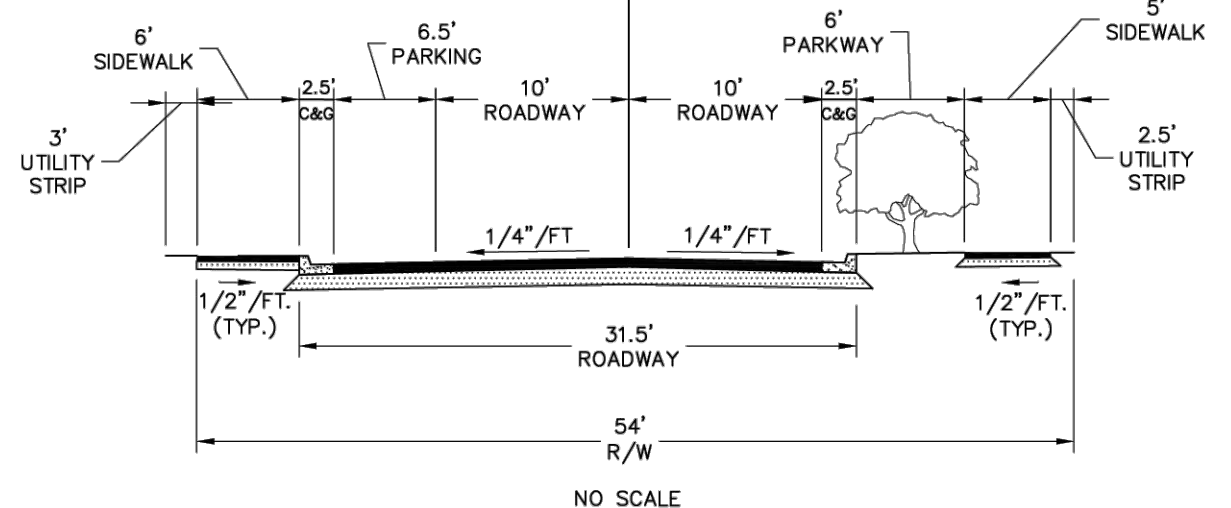
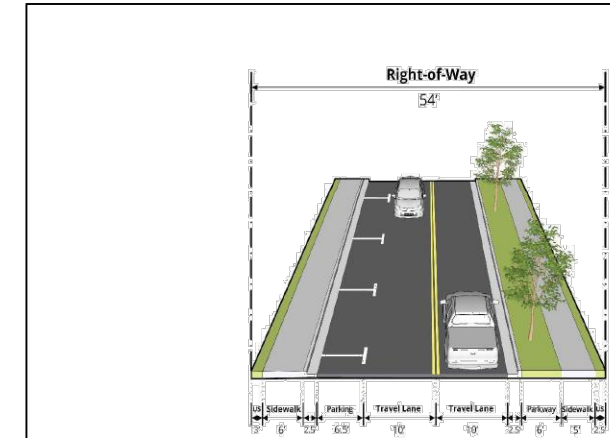


**MINIMUM PAVEMENT DESIGN:**  
 BITUMINOUS SURFACE COURSE: 1 1/2" S 9.5B  
 INTERMEDIATE COURSE: 2 1/2" I 19.0B  
 BASE COURSE: 8" ABC

**STREET FEATURES:**  
 FLEXIBLE STREET DESIGN  
 COORDINATE STREET DESIGN ELEMENTS WITH TOWN STAFF  
 STREET WIDTH OF 20 FT. FOR ONE-WAY  
 STREET WIDTH OF 31 FT. FOR TWO-WAY  
 CURB & GUTTER  
 INFORMAL PARKING - ONE SIDE ONLY  
 PARKWAY - 6 FT. ON EACH SIDE  
 SIDEWALK - 5 FT. ON EACH SIDE  
 UTILITY STRIP - 0.5 FT. ON EACH SIDE  
 REQUIRES 47 FT. OF RIGHT-OF-WAY FOR ONE-WAY  
 REQUIRES 54 FT. OF RIGHT-OF-WAY FOR TWO-WAY  
 UTILITY LOCATION UNDERGROUND  
 AVERAGE SPEED 20 MPH  
 STREET TREES LOCATED IN PARKWAY

REVISIONS	DATE	DESCRIPTION	STD. NO.

TOWN OF KNIGHTDALE STANDARD DETAILS LOCAL STREET - 2 LANES SIDEWALKS 3.02-1

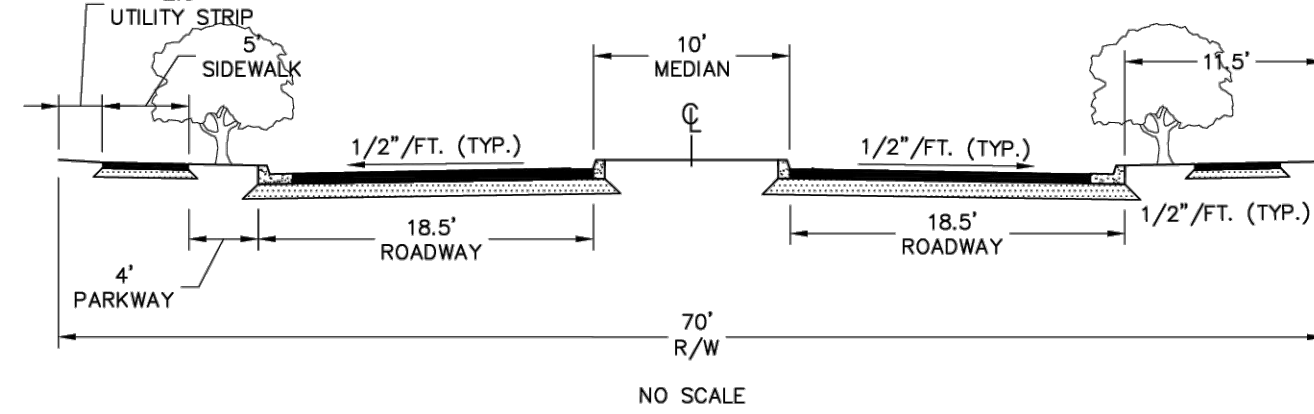
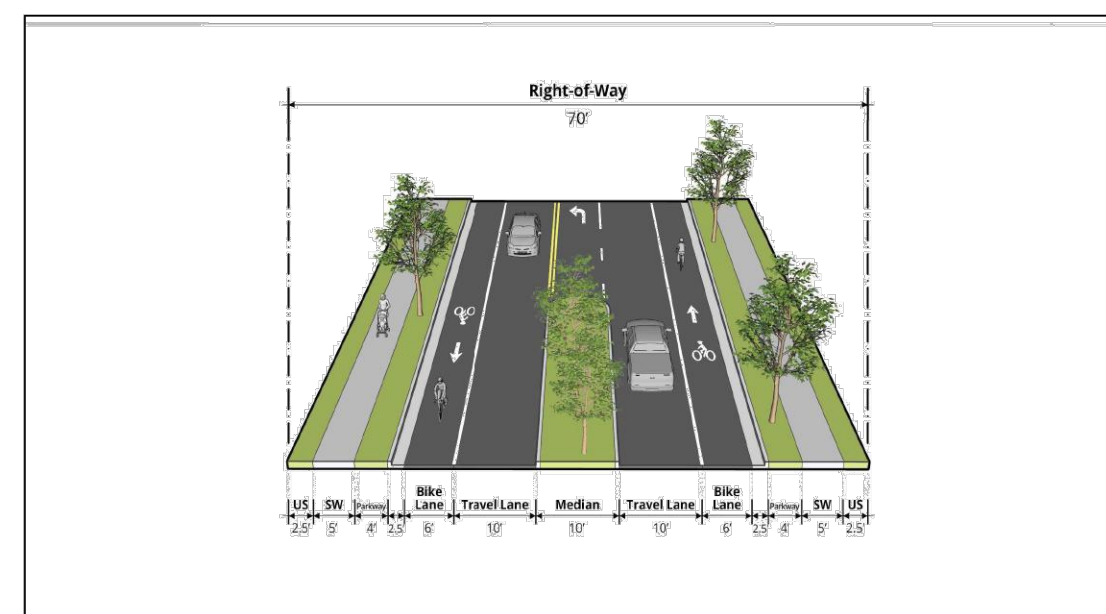


**MINIMUM PAVEMENT DESIGN:**  
 BITUMINOUS SURFACE COURSE: 1 1/2" S 9.5B  
 INTERMEDIATE COURSE: 2 1/2" I 19.0B  
 BASE COURSE: 8" ABC

**STREET FEATURES:**  
 FLEXIBLE STREET DESIGN  
 COORDINATE STREET DESIGN ELEMENTS WITH TOWN STAFF  
 TRAVEL LANES OF 10 FT.  
 CURB & GUTTER  
 STRIPED PARALLEL PARKING - ONE SIDE ONLY  
 PARKWAY - 6 FT. ON ONE SIDE  
 SIDEWALK - 6 FT. ON PARKING SIDE; 5 FT. ON OPPOSING SIDE  
 REQUIRES 54 FT. OF RIGHT-OF-WAY  
 UTILITY LOCATION UNDERGROUND  
 AVERAGE SPEED 20 MPH  
 STREET TREES LOCATED IN PARKWAY  
 STREET TREES LOCATED ON PARKING SIDE OF STREET  
 WILL BE PLACED IN CURB BULB OUT OR BACK OF SIDEWALK

REVISIONS	DATE	DESCRIPTION	STD. NO.

TOWN OF KNIGHTDALE STANDARD DETAILS LOCAL STREET - ON STREET PARKING ONE SIDE ONLY 3.02-2

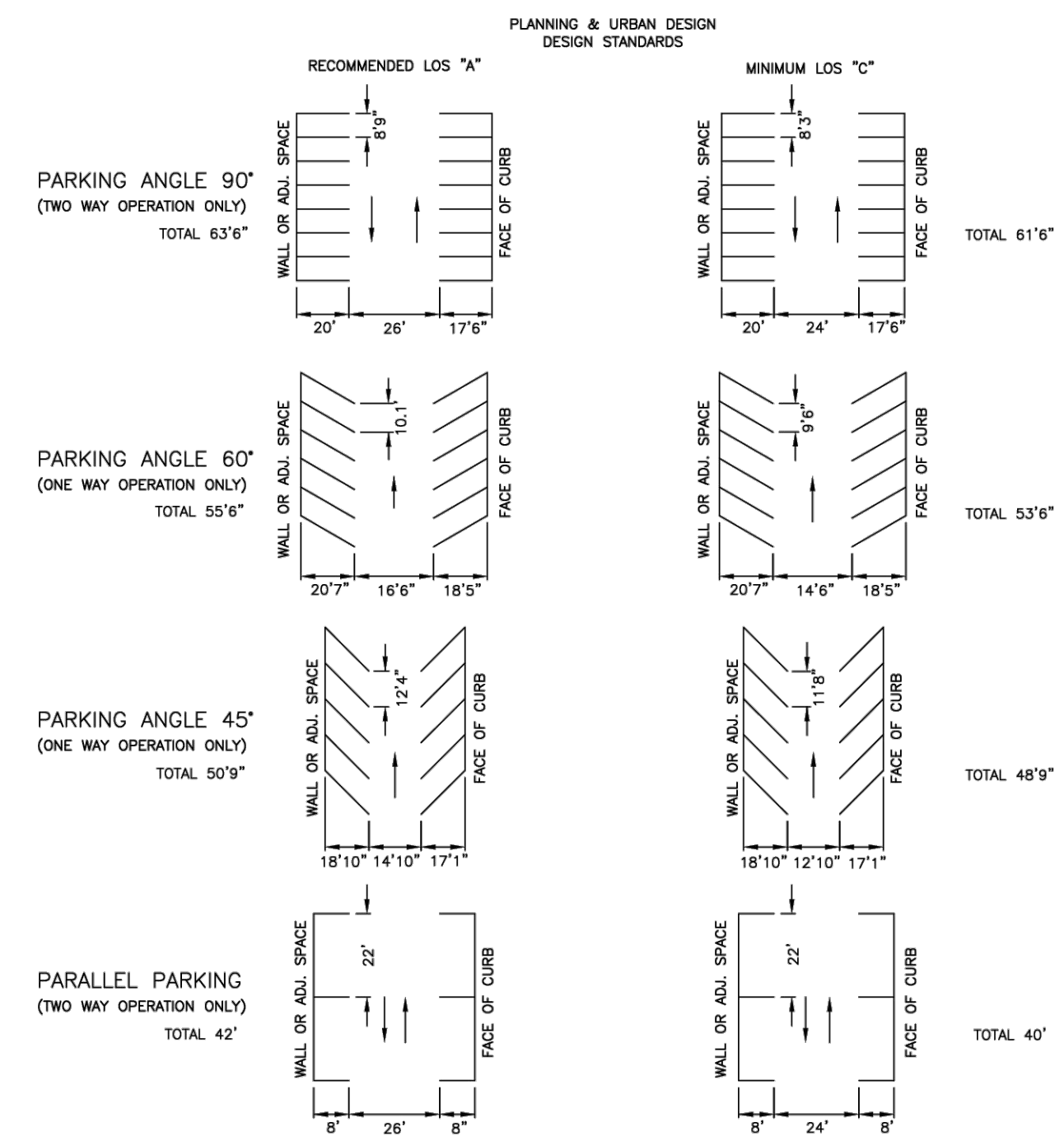


**MINIMUM PAVEMENT DESIGN:**  
 BITUMINOUS SURFACE COURSE: 1 1/2" S 9.5B  
 INTERMEDIATE COURSE: 2 1/2" I 19.0B  
 BASE COURSE: 8" ABC

**STREET FEATURES:**  
 MEDIAN OF 10 FT.  
 TRAVEL LANES OF 10 FT.  
 CURB & GUTTER  
 BIKE LANE - 6 FT. ON EACH SIDE  
 PARKWAY - 4 FT. ON EACH SIDE  
 SIDEWALKS - 5 FT. ON EACH SIDE  
 REQUIRES 70 FT. OF RIGHT-OF-WAY  
 UTILITY LOCATION UNDERGROUND OR ALLEY  
 AVERAGE SPEED 20-25 MPH  
 STREET TREES LOCATED IN PARKWAY  
 UTILITY LOCATION BEHIND CURB ON NCDOT FACILITIES  
 BICYCLE FACILITY PAVEMENT MARKINGS SHALL ADHERE TO MUTCD STANDARDS

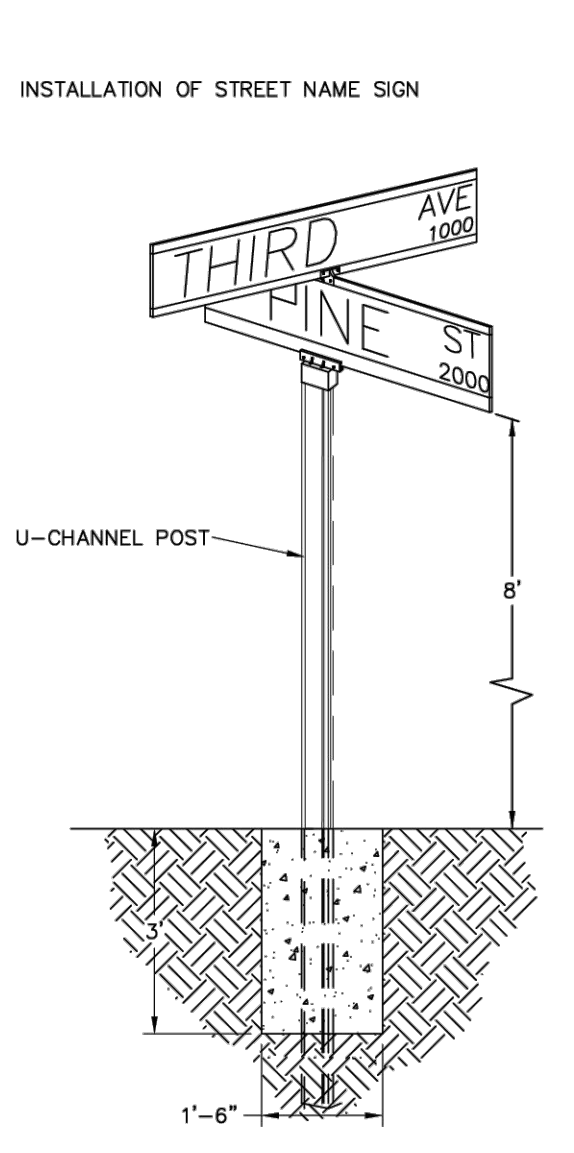
REVISIONS	DATE	DESCRIPTION	STD. NO.

TOWN OF KNIGHTDALE STANDARD DETAILS MAIN STREET - 3 LANES BIKE LANES 3.03



REVISIONS	DATE	DESCRIPTION	STD. NO.

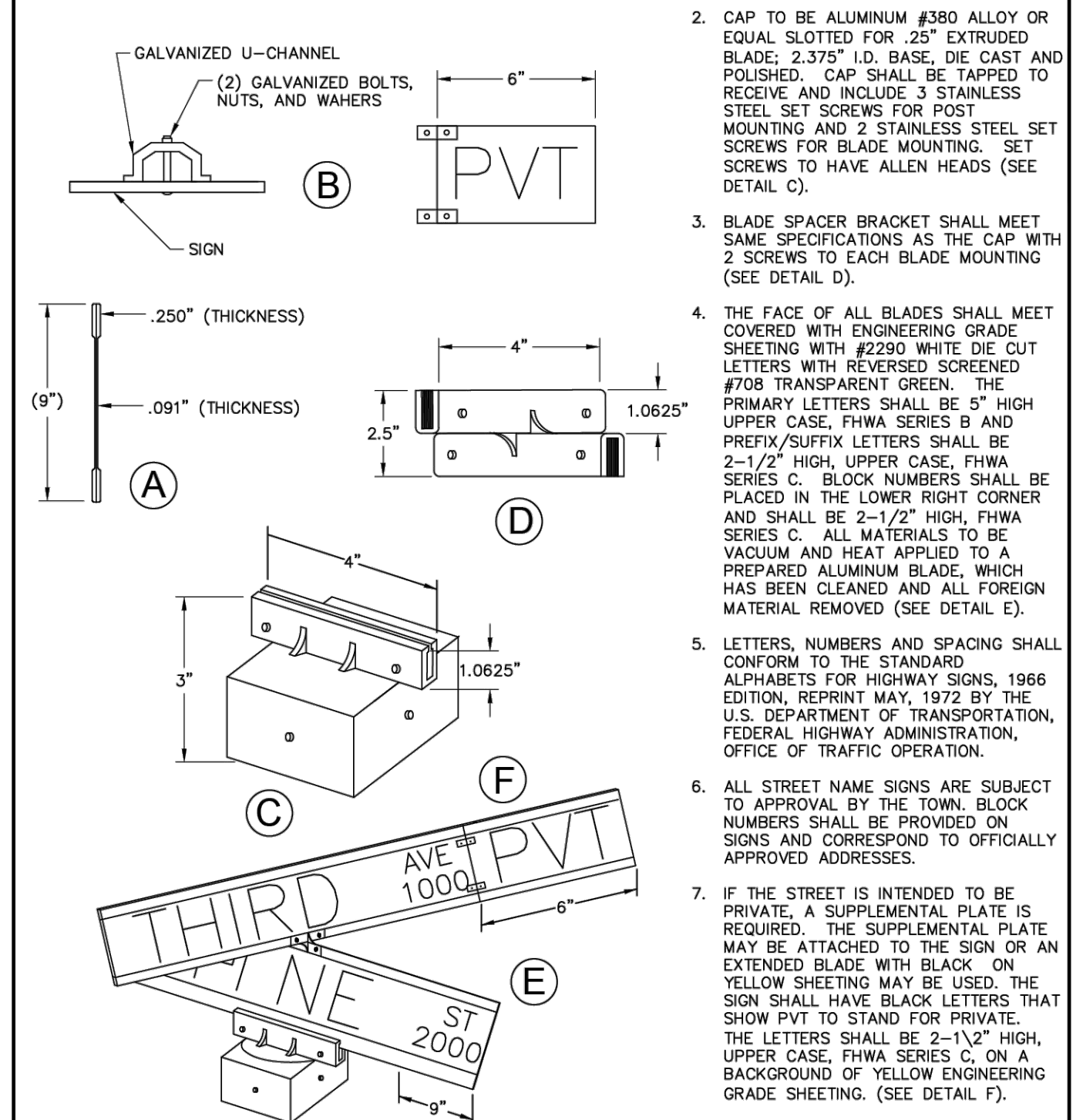
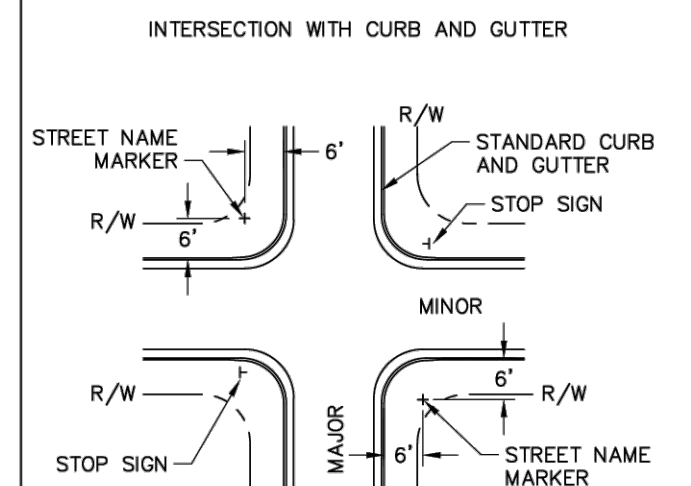
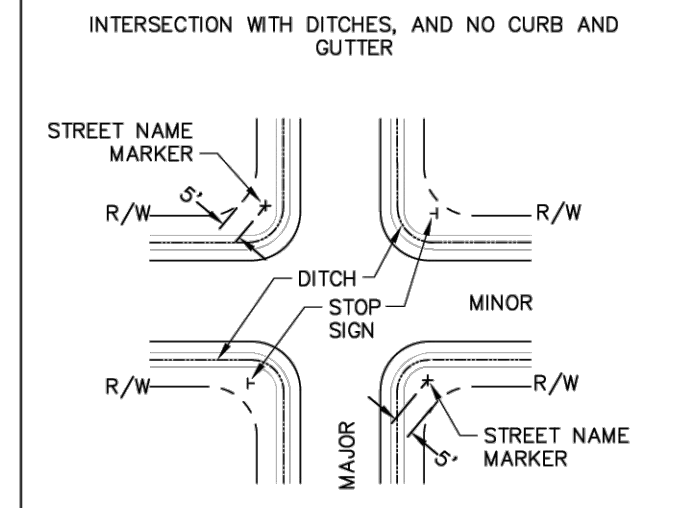
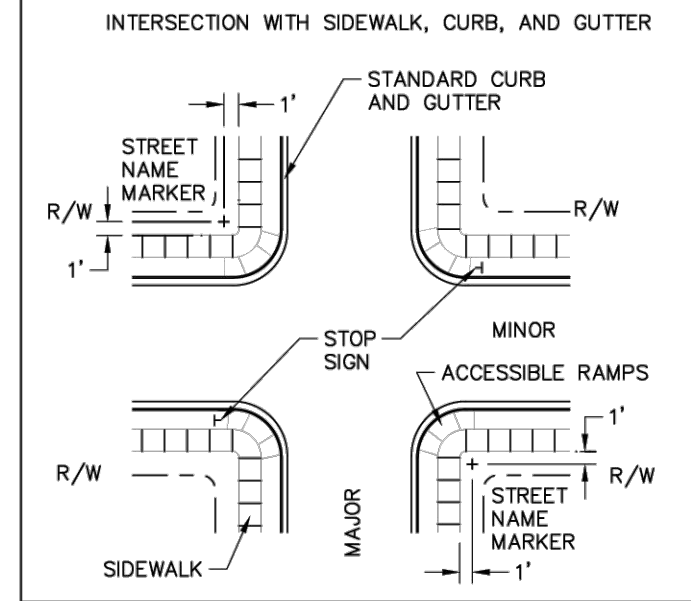
TOWN OF KNIGHTDALE STANDARD DETAILS PARKING STANDARDS 3.20



**NOTES:**  
 1. TWO STREET NAME MARKERS ARE REQUIRED IF THE MAJOR STREET HAS 3 OR MORE LANES.  
 2. ANY VARIANCE FROM THIS STANDARD MUST BE APPROVED BY THE TOWN OF KNIGHTDALE.  
 3. ALL DECORATIVE SIGNS MUST BE REVIEWED AND APPROVED BY THE TOWN.

REVISIONS	DATE	DESCRIPTION	STD. NO.

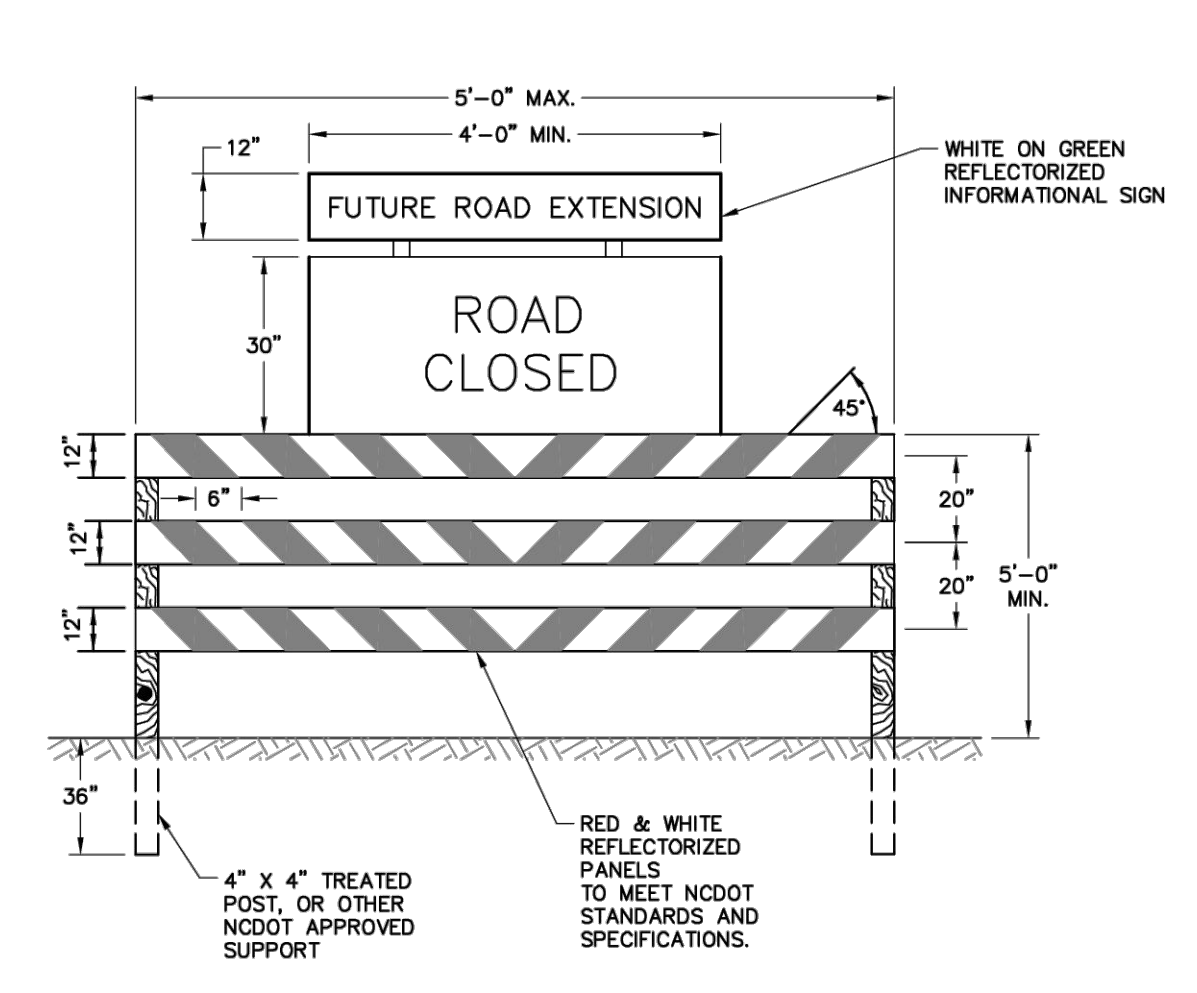
TOWN OF KNIGHTDALE STANDARD DETAILS STREET NAME SIGN INSTALLATION LOCATIONS 3.16-1



**NOTES:**  
 1. BLADES SHALL BE EXTRUDED ALUMINUM 6063T5 OR 6063T6 ALLOY .080" THICK. POST SHALL BE 10"-0" IN LENGTH, 3 LB. STEEL U-CHANNEL SUPPORTS PER NCDOT STD. 1094-(16).  
 2. CAP TO BE ALUMINUM #380 ALLOY OR EQUAL SLOTTED FOR .25" EXTRUDED BLADE; 2.375" I.D. BASE, DIE CAST AND POLISHED. CAP SHALL BE TAPPED TO RECEIVE AND INCLUDE 3 STAINLESS STEEL SET SCREWS FOR POST MOUNTING AND 2 STAINLESS STEEL SET SCREWS FOR BLADE MOUNTING. SET SCREWS TO HAVE ALLEN HEADS (SEE DETAIL C).  
 3. BLADE SPACER BRACKET SHALL MEET SAME SPECIFICATIONS AS THE CAP WITH 2 SCREWS TO EACH BLADE MOUNTING (SEE DETAIL D).  
 4. THE FACE OF ALL BLADES SHALL MEET COVERED WITH ENGINEERING GRADE SHEETING WITH #290 WHITE DIE OUT LETTERS WITH REVERSED SCREENED #708 TRANSPARENT GREEN. THE PRIMARY LETTERS SHALL BE 5" HIGH UPPER CASE, FHWA SERIES B AND PREFIX/SUFFIX LETTERS SHALL BE 2-1/2" HIGH, UPPER CASE, FHWA SERIES C. BLOCK NUMBERS SHALL BE PLACED IN THE LOWER RIGHT CORNER AND SHALL BE 2-1/2" HIGH, FHWA SERIES C. ALL MATERIALS TO BE VACUUM AND HEAT APPLIED TO A PREPARED ALUMINUM BLADE, WHICH HAS BEEN CLEANED AND ALL FOREIGN MATERIAL REMOVED (SEE DETAIL E).  
 5. LETTERS, NUMBERS AND SPACING SHALL CONFORM TO THE STANDARD ALPHABETS FOR HIGHWAY SIGNS, 1966 EDITION, REPRINT MAY, 1972 BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, OFFICE OF TRAFFIC OPERATION.  
 6. ALL STREET NAME SIGNS ARE SUBJECT TO APPROVAL BY THE TOWN. BLOCK NUMBERS SHALL BE PROVIDED ON SIGNS AND CORRESPOND TO OFFICIALLY APPROVED ADDRESSES.  
 7. IF THE STREET IS INTENDED TO BE PRIVATE, A SUPPLEMENTAL PLATE IS REQUIRED. THE SUPPLEMENTAL PLATE MAY BE ATTACHED TO THE SIGN OR AN EXTENDED BLADE WITH BLACK ON YELLOW SHEETING MAY BE USED. THE SIGN SHALL HAVE BLACK LETTERS THAT SHOW PVT TO STAND FOR PRIVATE. THE LETTERS SHALL BE 2-1/2" HIGH, UPPER CASE, FHWA SERIES C, ON A BACKGROUND OF "YELLOW ENGINEERING GRADE SHEETING" (SEE DETAIL F).  
 8. ON ALL ROADWAYS EXCEPT STREETS WITH STANDARD CURB AND GUTTER AND SPEED LIMITS EQUAL TO OR LESS THAN 25 MPH, ALL SIGNS WITHIN CLEAR ZONE SHALL BE OF A BREAKAWAY DESIGN THAT COMPLIES WITH THE LATEST EDITION OF AASHTO MANUAL FOR ASSESSING SAFETY HARDWARE (MASH) AND NCHRP REPORT 350.

REVISIONS	DATE	DESCRIPTION	STD. NO.

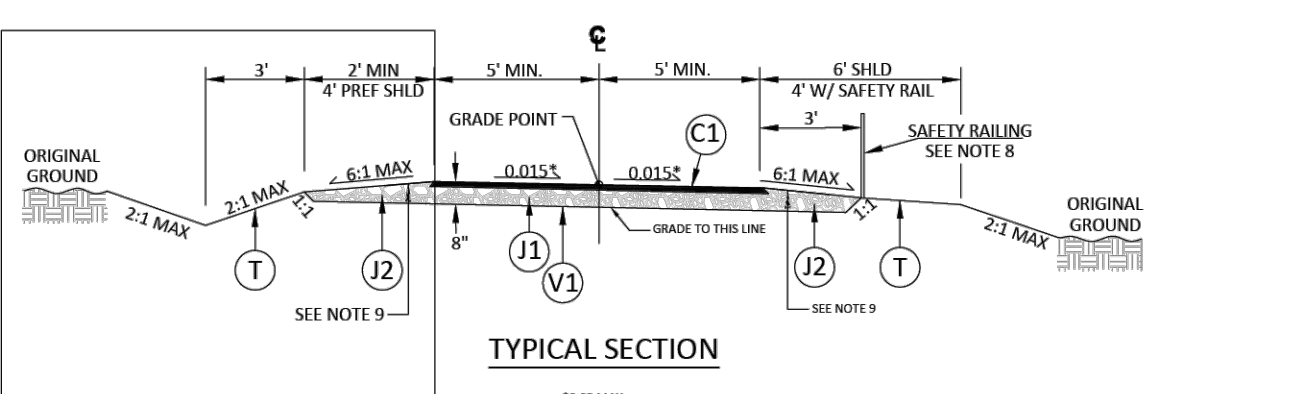
TOWN OF KNIGHTDALE STANDARD DETAILS STREET NAME SIGN 3.16-2



**NOTES:**  
 1. BARRICADE(S) TO BE ERECTED ACROSS ENTIRE ROADWAY INCLUDING CURB & GUTTER.  
 2. ADVANCE WARNING SIGN W14-1 (DEAD END) SHALL BE PLACED JUST AFTER LAST INTERSECTING STREET.  
 3. MARKINGS FOR BARRICADE RAILS SHALL BE REFLECTIVE AND ALTERNATE RED AND WHITE STRIPS.  
 4. "ROAD CLOSED" SIGN SHALL MEET SPECIFICATIONS OF M.U.T.C.D. R11-2 AND BE REQUIRED ATOP EACH BARRICADE USED.

REVISIONS	DATE	DESCRIPTION	STD. NO.

TOWN OF KNIGHTDALE STANDARD DETAILS TEMPORARY BARRICADE FOR DEAD END ROADS 3.18



**NOTES:**  
 1. TRAIL WIDTH TO BE DETERMINED BY THE TOWN OF KNIGHTDALE  
 2. WHEN CONDITIONS PERMIT, USE 6" SHOULDER IN FILL SECTIONS AND 4" SHOULDER IN CUT SECTIONS. USE MINIMUM 2" SHOULDER IN CUT AND FILL SECTIONS. FOR CUT SECTION CONDITION SHOWN IN "INSET 1", APPLY ENGINEERING JUDGEMENT TO DETERMINE IF UPHILL SIDE REQUIRES A SHOULDER.  
 3. PROVIDE MINIMUM 2" SHOULDER OF UNPLANTED AGGREGATE BASE COURSE.  
 4. TRAILS OR TRAIL SEGMENTS OF ANY LENGTH MAY BE CONSTRUCTED WITH RUNNING SLOPE/VERTICAL GRADES UP TO 1:20 (5%), TO ACCOMMODATE STEEP TERRAIN, TRAILS MAY BE DESIGNED WITH STEEPER SECTIONS OF CONSTRAINED LENGTH AS SHOWN IN TABLE 1. RESTING INTERVALS WITH FLATTER GRADES ARE REQUIRED BETWEEN TRAIL SEGMENTS ANY TIME RUNNING SLOPE EXCEEDS 1:20 (5%). RESTING INTERVALS SHALL BE LOCATED ON UPHILL SIDE OF TRAIL IF ONLY PROVIDED ON ONE SIDE.  
 5. TO ENSURE THAT A TRAIL IS NOT DESIGNED AS A SERIES OF STEEP SEGMENTS, NO MORE THAN 30% OF THE TOTAL LENGTH OF TRAIL MAY HAVE A RUNNING SLOPE/VERTICAL GRADE OF 7.5% (0.33% OR 1:12 MAX). RESTING INTERVALS MUST BE PROVIDED FREQUENTLY AS THE RUNNING SLOPE INCREASES.  
 6. RUNNING SLOPE/VERTICAL GRADE RECOMMENDATIONS MAY NOT BE ABLE TO BE ACHIEVED FOR TRAIL REPLACEMENT PROJECTS. FOR THESE TYPE OF PROJECTS, REPLACEMENT OF EXISTING CONDITION IN KIND IS SUFFICIENT.  
 7. TYPICAL CROSS SLOPE SHALL BE 1.5% (2.08% OR 1:48 MAX). CROSS SLOPE DIRECTION VARIES. SLOPE SHOULDERS FOR POSITIVE DRAINAGE WHICH MAY REQUIRE CONTINUING PAVEMENT OR SHOULDER SLOPES UNTIL THEY IN WITH NATURAL GROUND. SEE PLAN SHEETS AND CROSS SECTIONS.  
 8. WHEN CONDITIONS PERMIT, SHOULDER TO MATCH CROSS SLOPE OF TRAIL AND SIDE SLOPES TO BE 3:1 OR FLATTER.  
 9. PROVIDE A SAFETY RAIL FOR THE FOLLOWING CIRCUMSTANCES WITHIN 6' OF THE EDGE OF PAVEMENT:  
 1) SLOPE > 3:1 AND DROP OF 6'; 2) SLOPE > 2:1 AND DROP OF 4'; 3) SLOPE > 1:1 AND DROP OF 1'.  
 10. CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ALL SLOPES DISTURBED DURING CONSTRUCTION.  
 11. PROOF ROLLING SHALL OCCUR IN PRESENCE OF THE OWNER OR THE OWNER'S TESTING AGENCY AT THE FOLLOWING STAGES: 1) PRIOR TO PLACING FILL IN LOW AREAS; 2) AFTER THE PREPARATION OF SUBGRADE PRIOR TO PLACING ABC; 3) AFTER THE PLACEMENT OF ABC PRIOR TO PAVING.  
 12. PAVEMENT EDGE SLOPES ARE 1:1 UNLESS OTHERWISE NOTED.  
 13. NO ABOVE-GROUND UTILITIES OR UTILITY SURFACE COVERS/PATIOS/MANHOLES SHALL BE LOCATED WITHIN THE TRAIL AND SHALL BE A MINIMUM OF 2' FROM THE EDGE OF TRAIL. PAVED MANHOLES SHALL BE A MINIMUM OF 4' FROM THE EDGE OF TRAIL.

**PAVEMENT SCHEDULE**

C1	2" ASPHALT CONCRETE SURFACE COURSE, TYPE 50.58 AT AN AVERAGE RATE OF 220 LBS. PER SQ. YD. OR 10.0 LBS. PER SQ. YD. IN PLACE OF TWO LAYERS.
J1	6" AGGREGATE BASE COURSE
J2	VARIABLE DEPTH AGGREGATE BASE COURSE
T	EARTH MATERIAL
V1	GEOTEXTILE FOR PAVEMENT STABILIZATION

**TABLE 1 - MAXIMUM RUNNING SLOPE AND TRAIL SEGMENT LENGTH**

RUNNING SLOPE	MAX LENGTH OF SEGMENT
1:20 (5%)	200 FT
1:12 (8.33%)	30 FT

REVISIONS	DATE	DESCRIPTION	STD. NO.

TOWN OF KNIGHTDALE STANDARD DETAILS ASPHALT TYPICAL GREENWAY SECTION VARIABLE WIDTH (10' MIN) 4.09-1



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MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
 4402 OLD FAISON ROAD  
 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

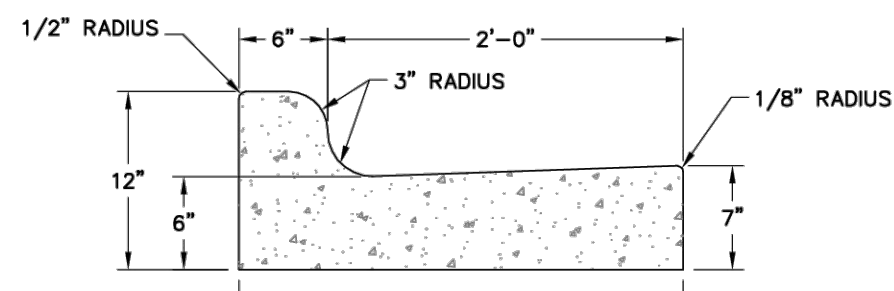
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 Checked By: BDM

DATE: 24 NOV 2025  
 REVISED:  
 26 JAN 2026  
 31 MAR 2026

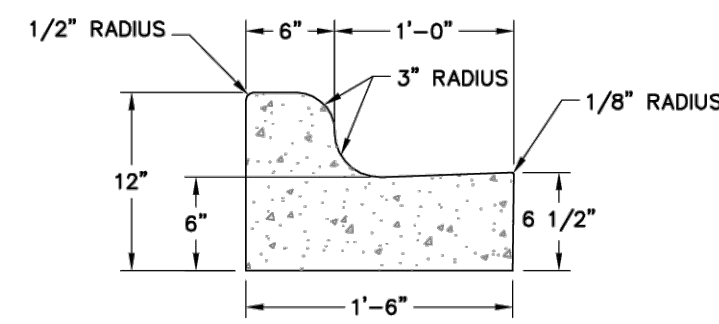
MASTER PLANS  
 SITE DETAILS

Job Code: L70FRZ

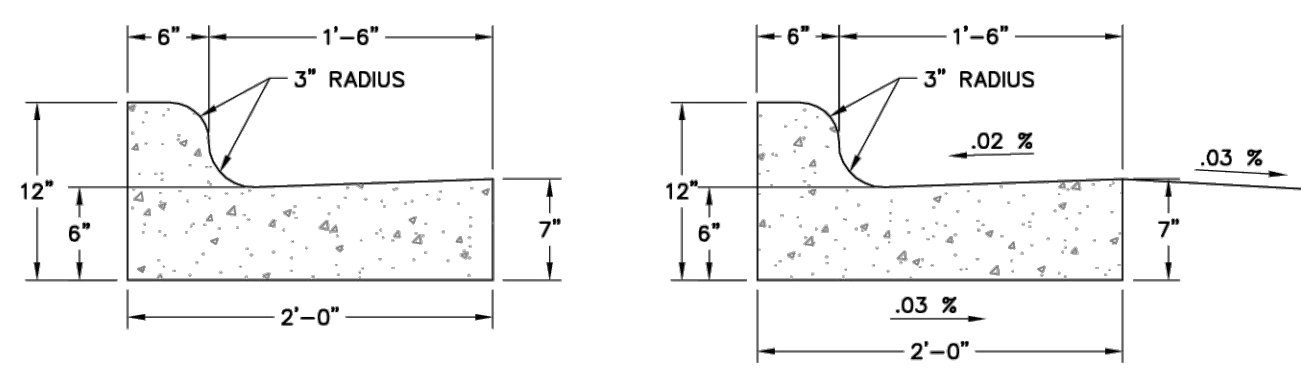
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STANDARD 2'-6" CURB AND GUTTER



1'-6" STANDARD CURB AND GUTTER



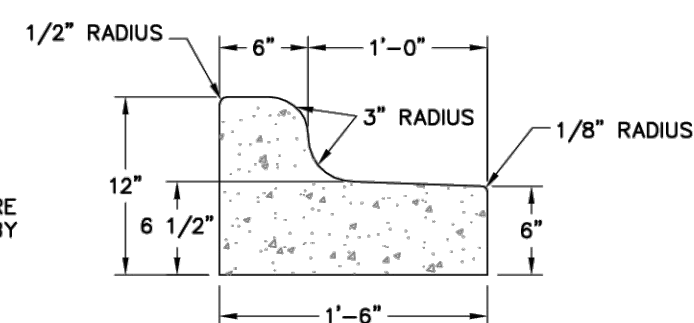
2'-0" STANDARD CURB & GUTTER

SLOPE FOR VARIABLE SUPER ELEVATION RATES

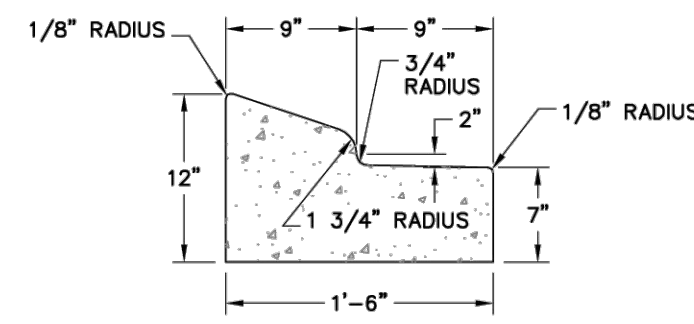
REVISIONS	DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	CURB AND GUTTER	1 of 3 STD. NO. 4.01
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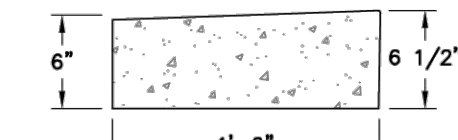
**1'-6" MEDIAN CURB AND GUTTER**  
TO BE USED IN MEDIANS WHEN LANES ARE SLOPED FROM ISLAND OR AS SPECIFIED BY THE TOWN ENGINEER.



**1'-6" MOUNTABLE CURB AND GUTTER**  
TO BE USED IN MEDIANS ONLY WHEN SPECIFIED BY THE TOWN ENGINEER.



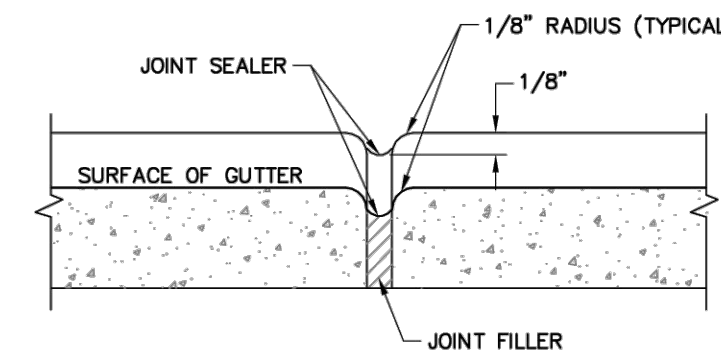
**1'-6" BINDER CURB**  
TO BE USED IN ALLEYS ONLY WHEN SPECIFIED BY THE TOWN ENGINEER.



1'-6" STANDARD CURB AND GUTTER

REVISIONS	DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	CURB AND GUTTER	2 of 3 STD. NO. 4.01
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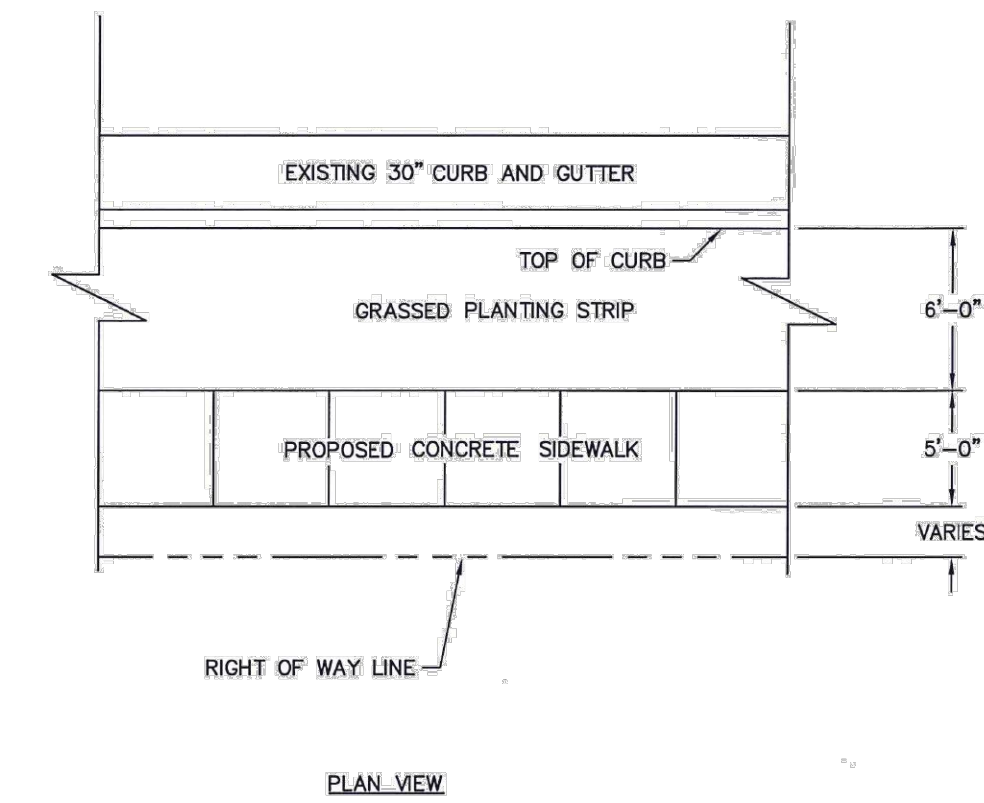


TRANSVERSE EXPANSION JOINT

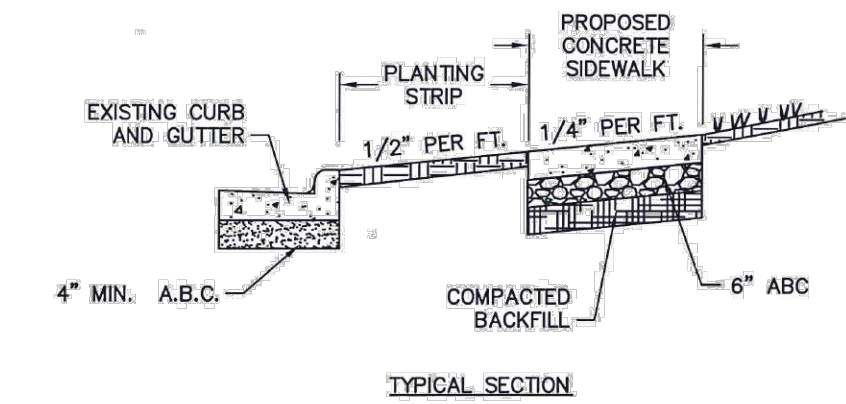
- NOTES:
- CONTRACTION JOINTS SHALL BE SPACED AT 10-FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
  - CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED.
  - ALL EXPANSION JOINTS SHALL BE SPACED AT 90-FOOT INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS. JOINTS SHALL MATCH LOCATIONS WITH JOINTS IN ADJUTING SIDEWALK.
  - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS.
  - CURB SHALL BE DEPRESSED AT INTERSECTIONS TO PROVIDE FOR FUTURE ACCESSIBLE RAMPS.
  - TOP 6" OF SUBGRADE BENEATH THE CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.

REVISIONS	DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	CURB AND GUTTER	3 of 3 STD. NO. 4.01
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PLAN VIEW

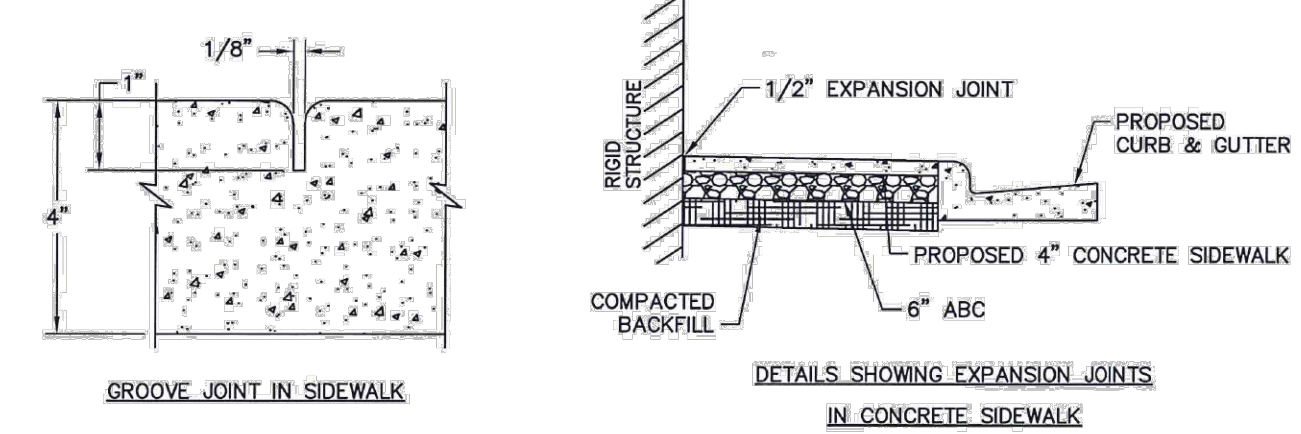


TYPICAL SECTION

- NOTES:
- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET APART.
  - CONTROL JOINTS TO BE AT 5 FEET O.C.
  - ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.

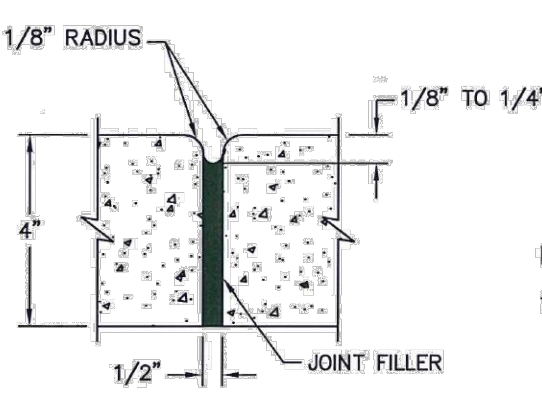
REVISIONS	DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	CONCRETE SIDEWALKS	1 of 2 STD. NO. 4.04-1
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GROOVE JOINT IN SIDEWALK

DETAILS SHOWING EXPANSION JOINTS IN CONCRETE SIDEWALK

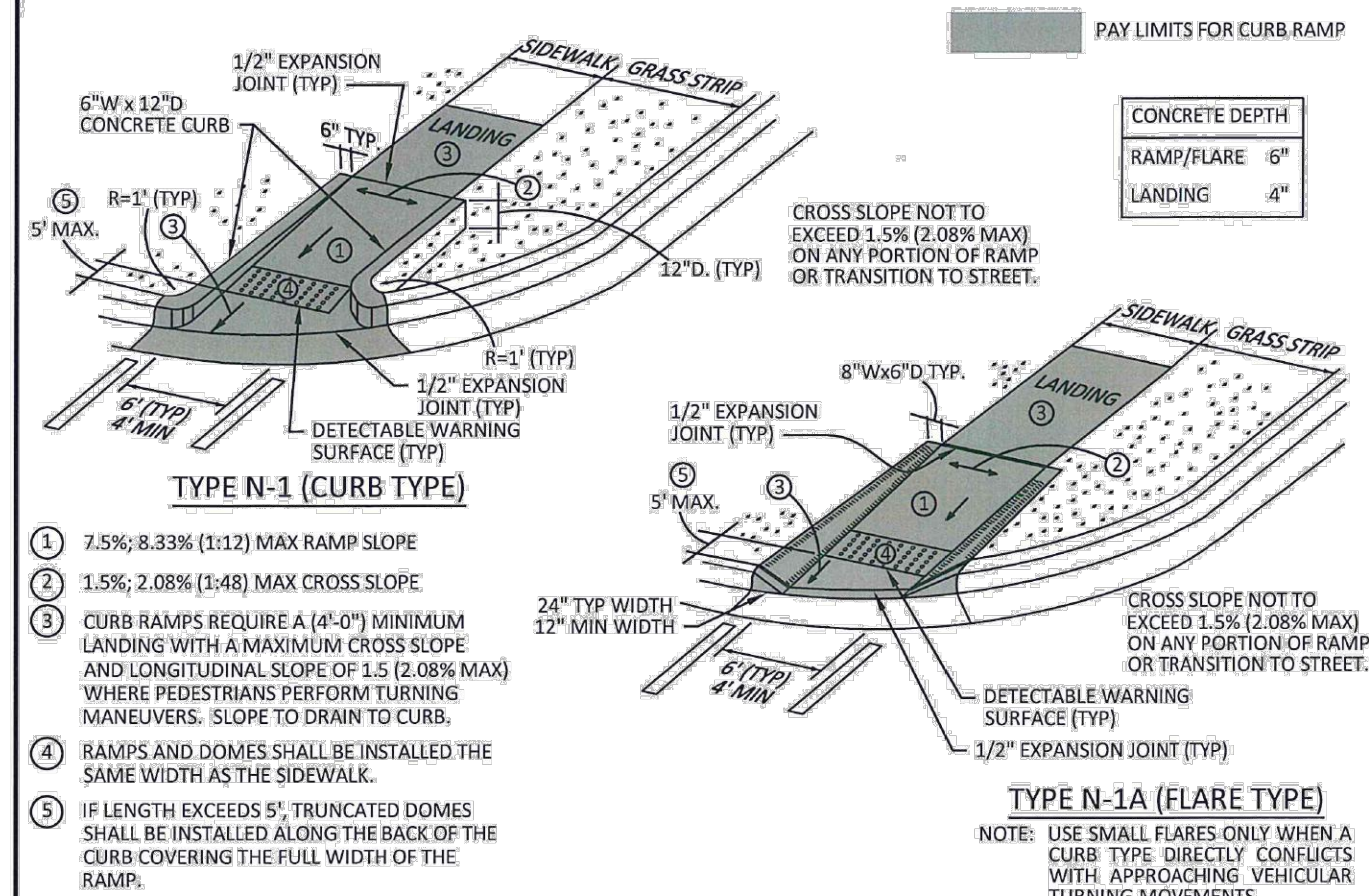


TRANSVERSE EXPANSION JOINT IN SIDEWALK

- NOTES:
- A GROOVE JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
  - SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
  - WIDTH OF SIDEWALK SHALL CORRESPOND TO STREET CROSS SECTION BUT SHALL BE 5' AT A MINIMUM.
  - SIDEWALK ADJACENT TO CURB AND GUTTER IN PARKING LOT OR ALONG STREET SHALL BE 6' WIDE AT A MINIMUM.
  - SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
  - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS.

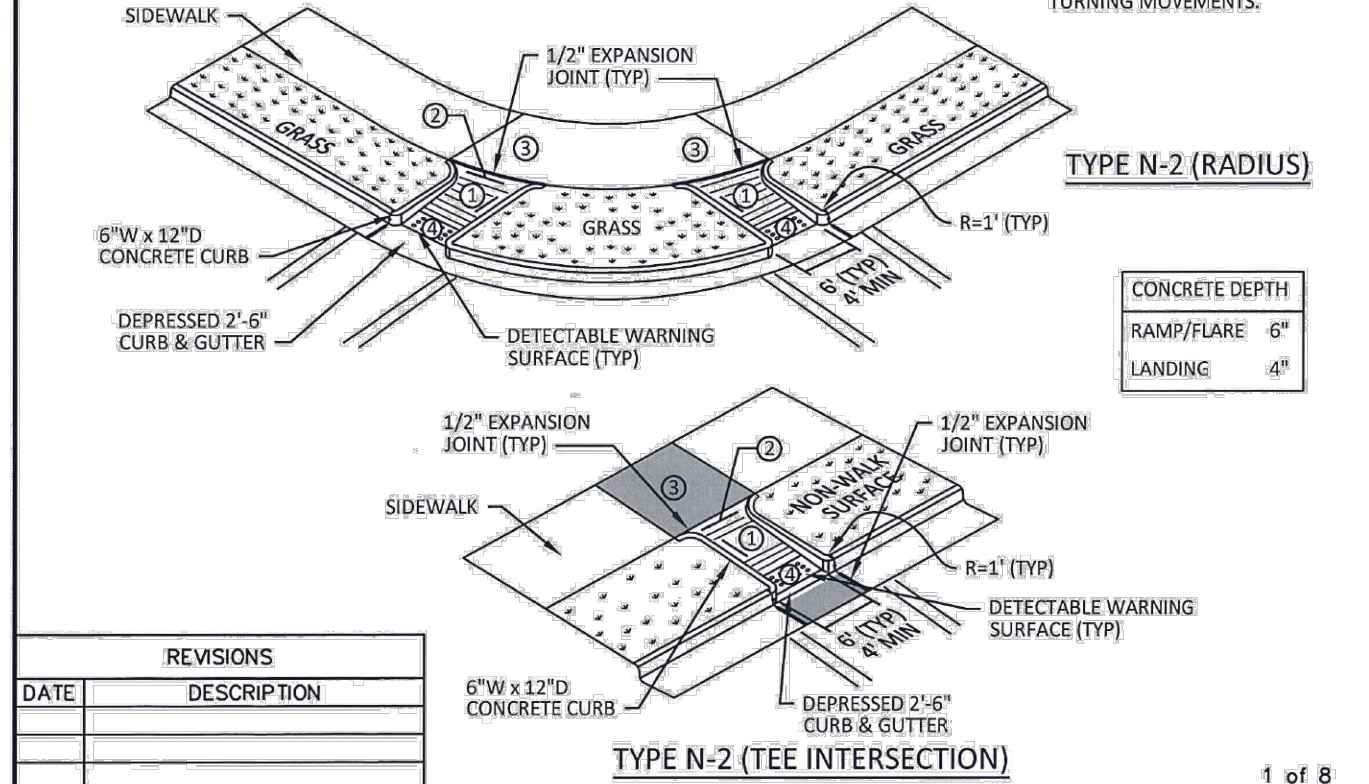
REVISIONS	DATE	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	CONCRETE SIDEWALKS	2 of 2 STD. NO. 4.04-2
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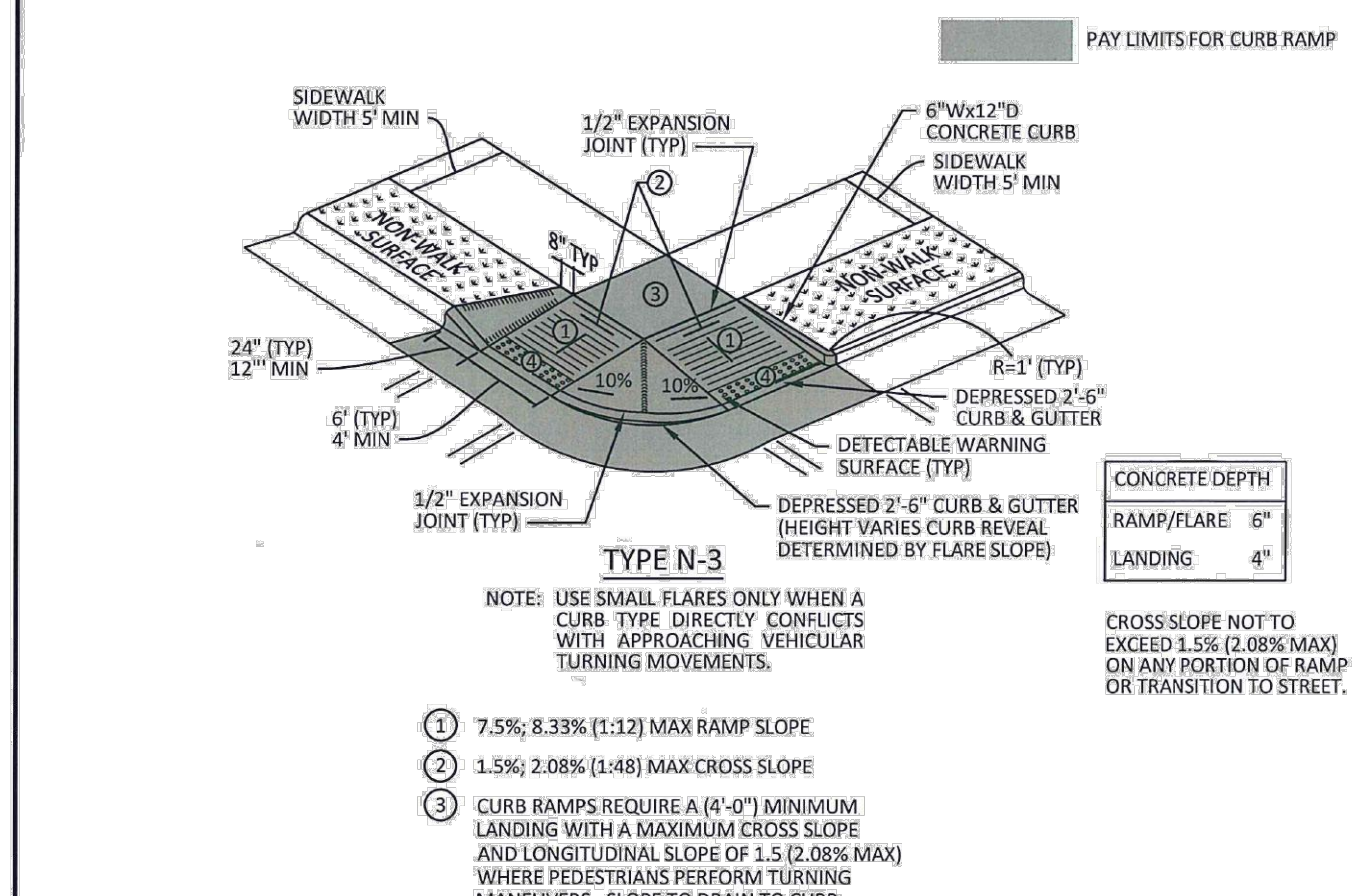
TYPE N-1 (CURB TYPE)

- 7.5%; 8.33% (1:12) MAX RAMP SLOPE
- 1.5%; 2.08% (1:48) MAX CROSS SLOPE
- CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5 (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
- RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- IF LENGTH EXCEEDS 5', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.



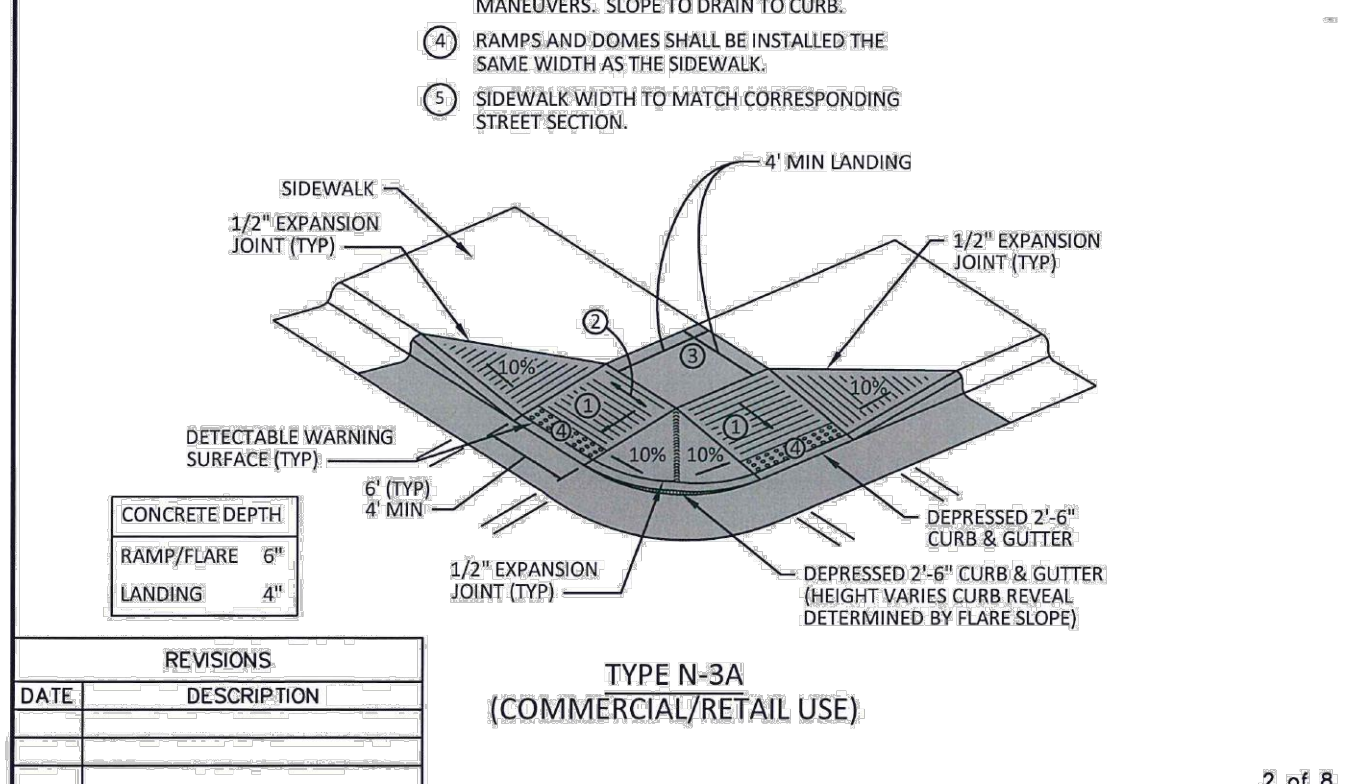
TYPE N-2 (RADIUS)

TOWN OF KNIGHTDALE STANDARD DETAILS	WHEELCHAIR CURB RAMPS (NEW DEVELOPMENT)	1 of 8 STD. NO. 4.06-1
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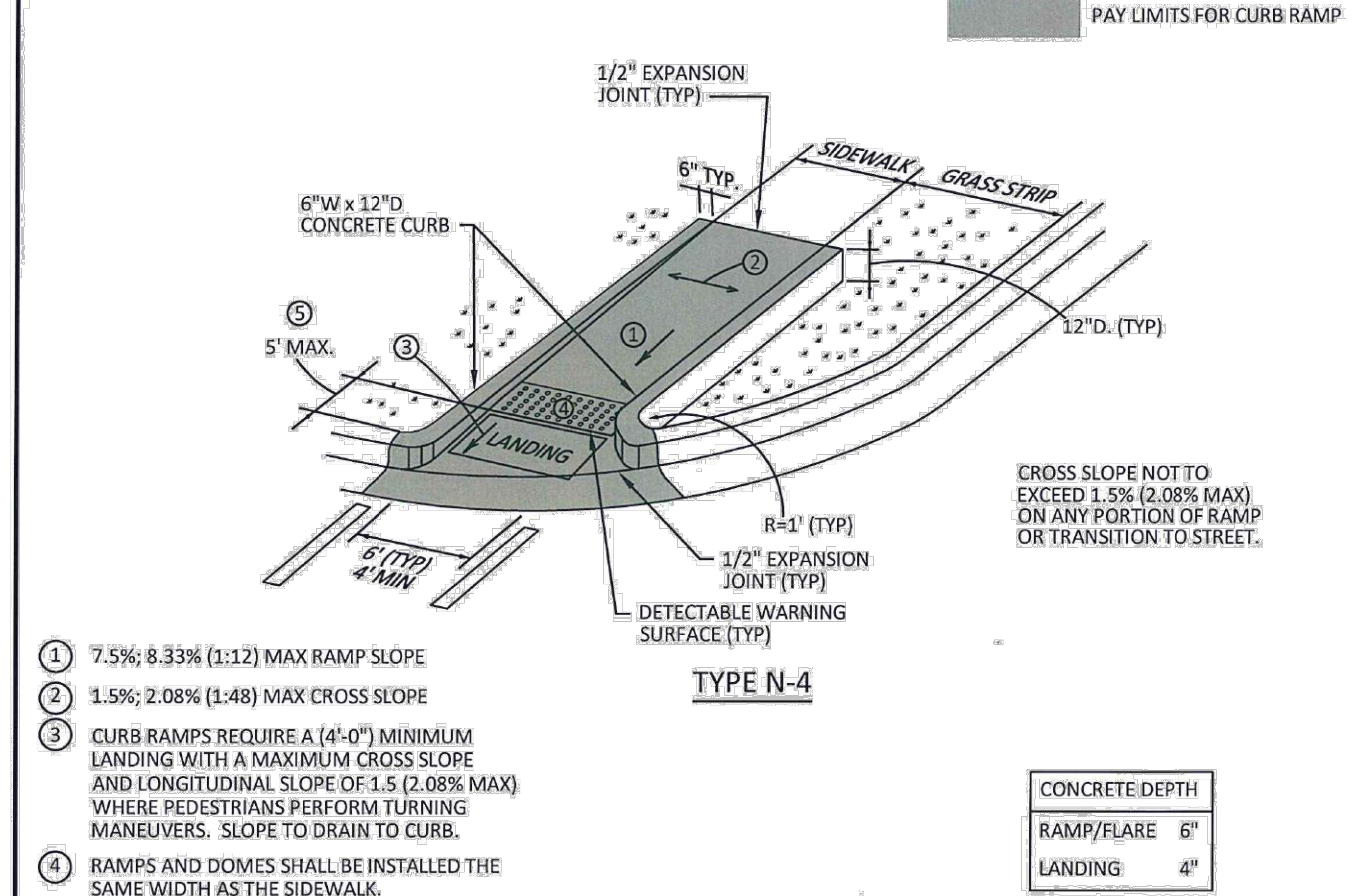
TYPE N-3

- NOTE: USE SMALL FLARES ONLY WHEN A CURB TYPE DIRECTLY CONTACTS WITH APPROACHING VEHICULAR TURNING MOVEMENTS.
- 7.5%; 8.33% (1:12) MAX RAMP SLOPE
  - 1.5%; 2.08% (1:48) MAX CROSS SLOPE
  - CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5 (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
  - RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
  - SIDEWALK WIDTH TO MATCH CORRESPONDING STREET SECTION.



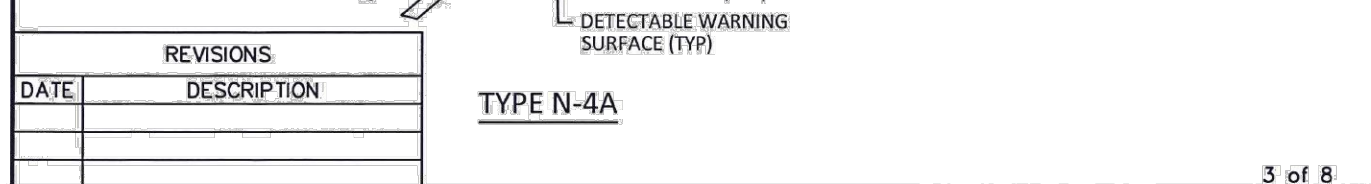
TYPE N-3A (COMMERCIAL/RETAIL USE)

TOWN OF KNIGHTDALE STANDARD DETAILS	WHEELCHAIR CURB RAMPS (NEW DEVELOPMENT)	2 of 8 STD. NO. 4.06-2
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TYPE N-4

- 7.5%; 8.33% (1:12) MAX RAMP SLOPE
- 1.5%; 2.08% (1:48) MAX CROSS SLOPE
- CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5 (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
- RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- IF LENGTH EXCEEDS 5', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.



TYPE N-4A

TOWN OF KNIGHTDALE STANDARD DETAILS	WHEELCHAIR CURB RAMPS (NEW DEVELOPMENT)	3 of 8 STD. NO. 4.06-3
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NC ENGINEERING LICENSE NO. P-0803

**THE SITE GROUP**  
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E Mail: BDM@thesitegroup.net

MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
4402 OLD FAISON ROAD  
KNIGHTDALE, NORTH CAROLINA  
WAKE COUNTY

Drawn By: JHJ  
Checked By: BDM

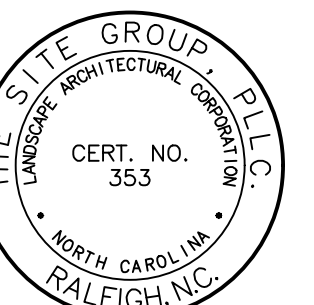
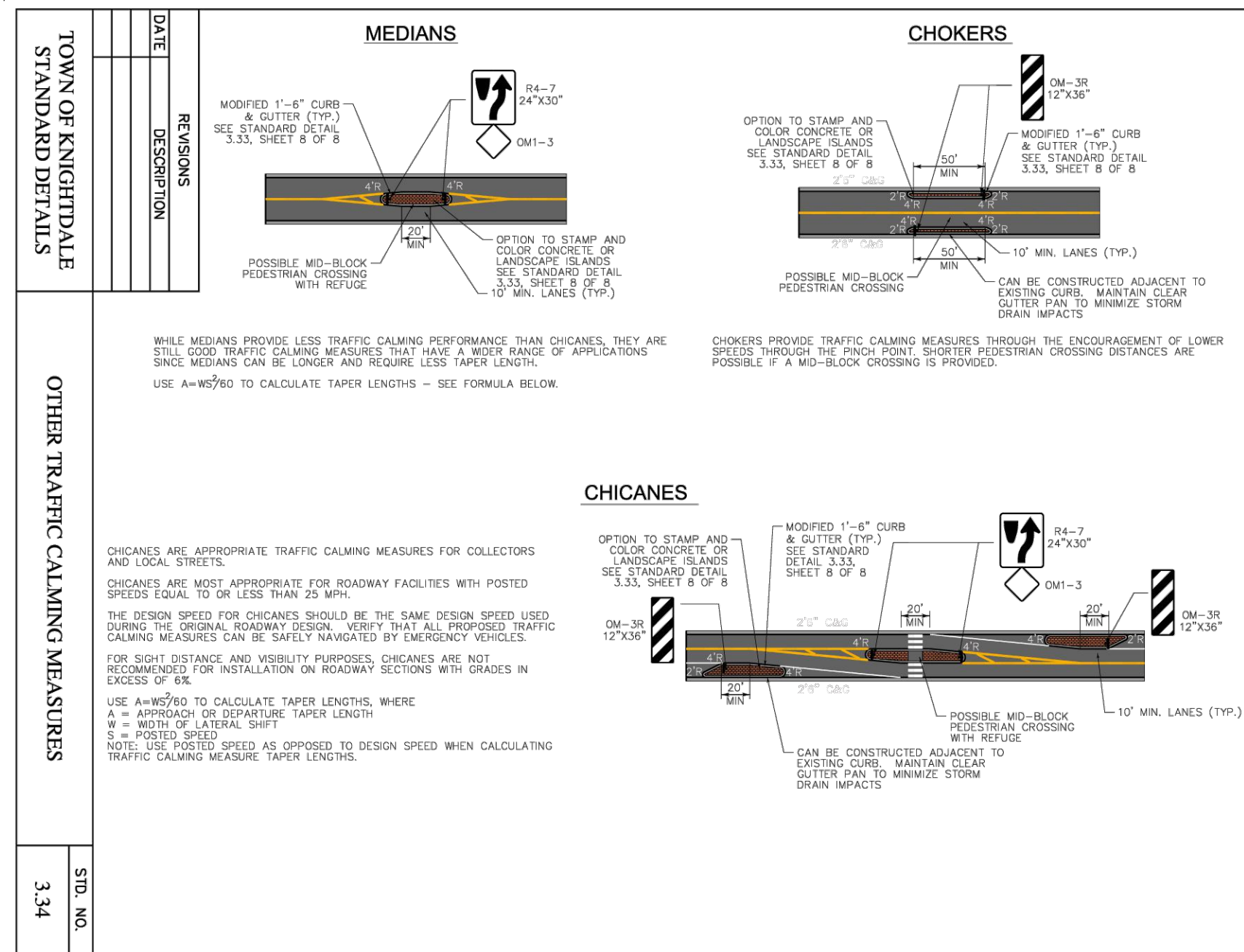
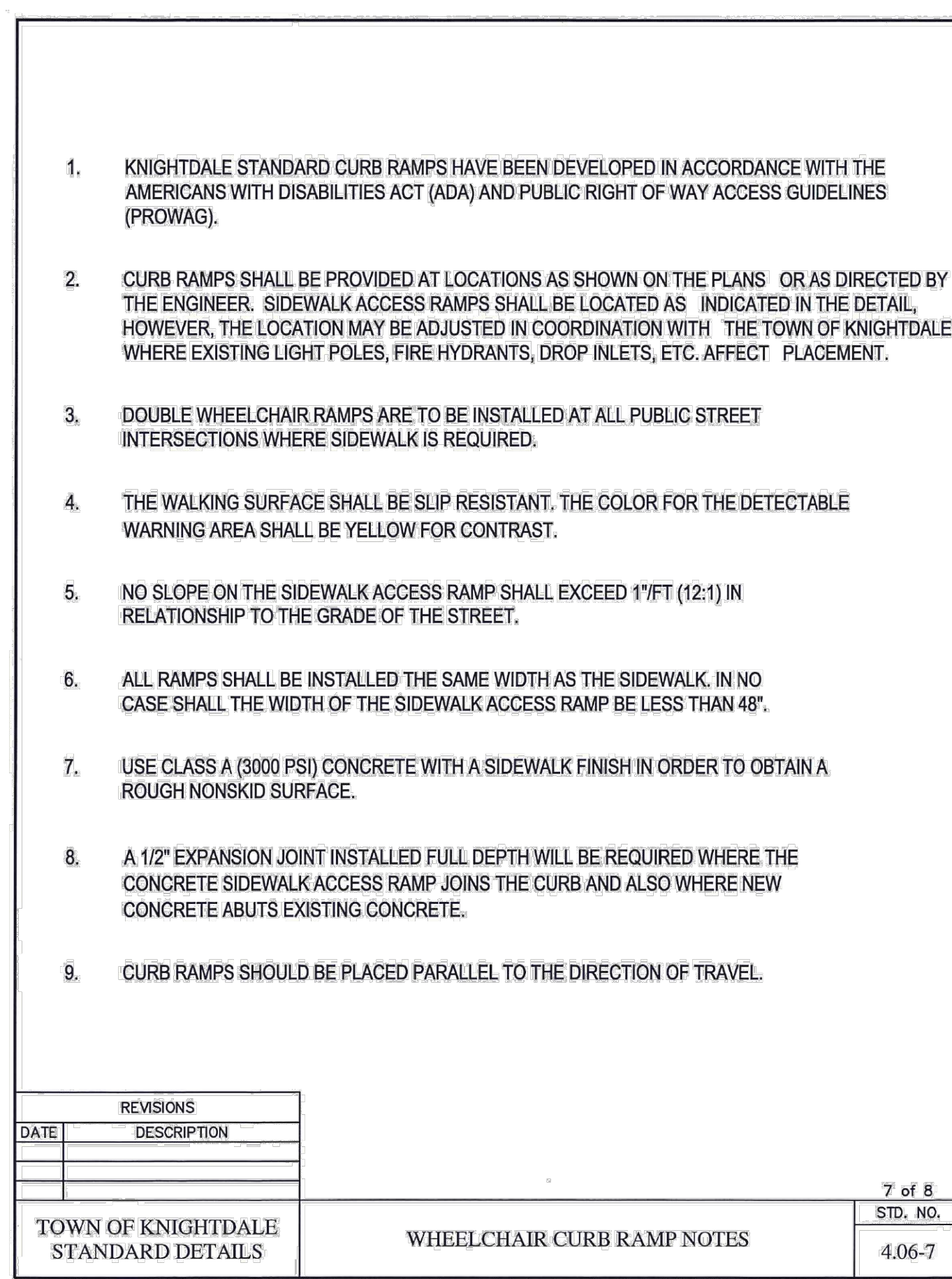
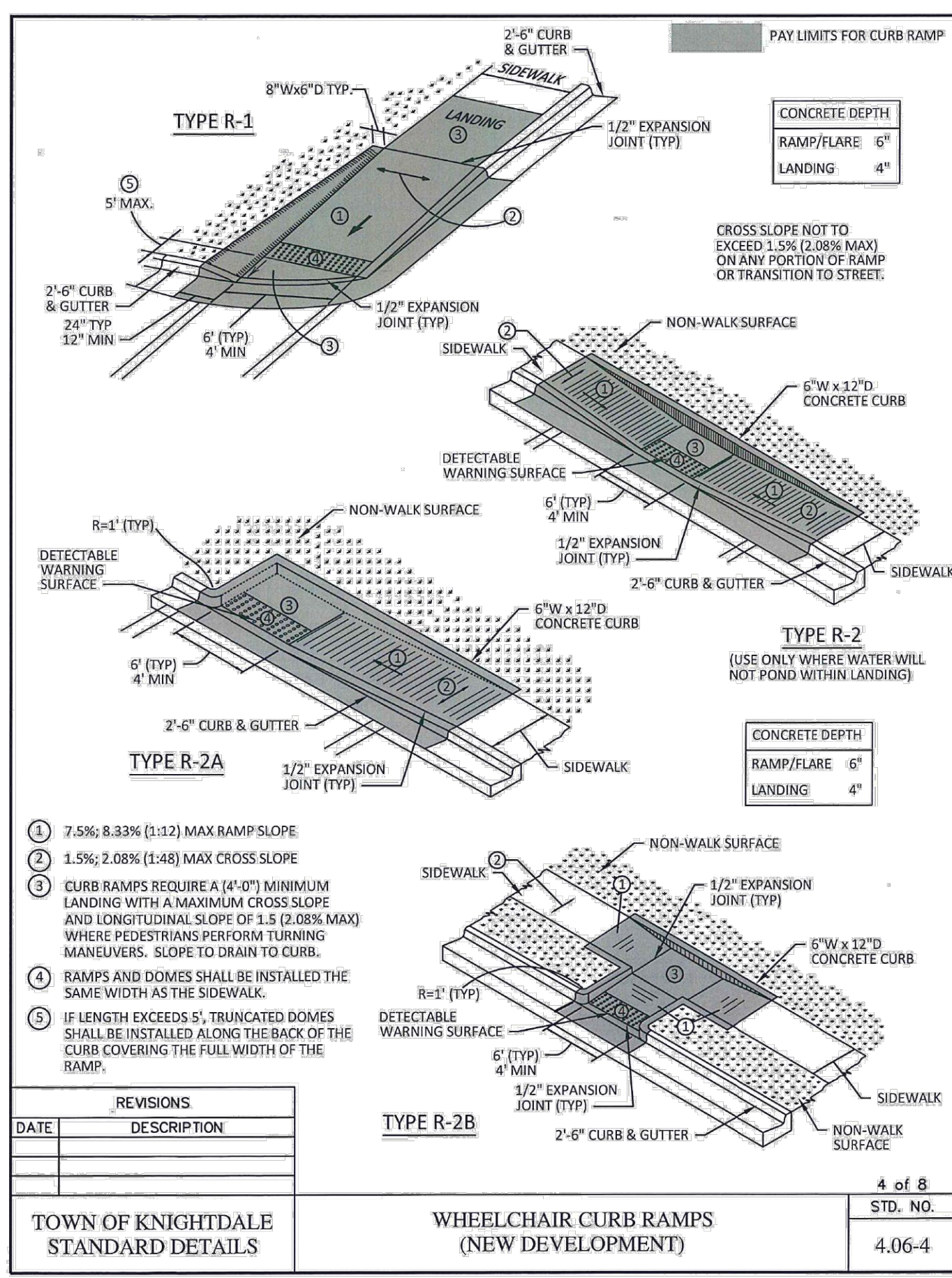
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▲ 26 JAN 2026  
▲ 31 MAR 2026

MASTER PLANS

SITE DETAILS

Job Code: L70FRZ

Dwg No. MP 6.1



NC ENGINEERING  
LICENSE NO. P-0803

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MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
4402 OLD FAISON ROAD  
KNIGHTDALE, NORTH CAROLINA  
WAKE COUNTY

Drawn By: **JHJ**  
Checked By: **BDM**

DATE: 24 NOV 2025  
REVISED:  
▲ 26 JAN 2026  
▲ 31 MAR 2026

MASTER PLANS

SITE DETAILS

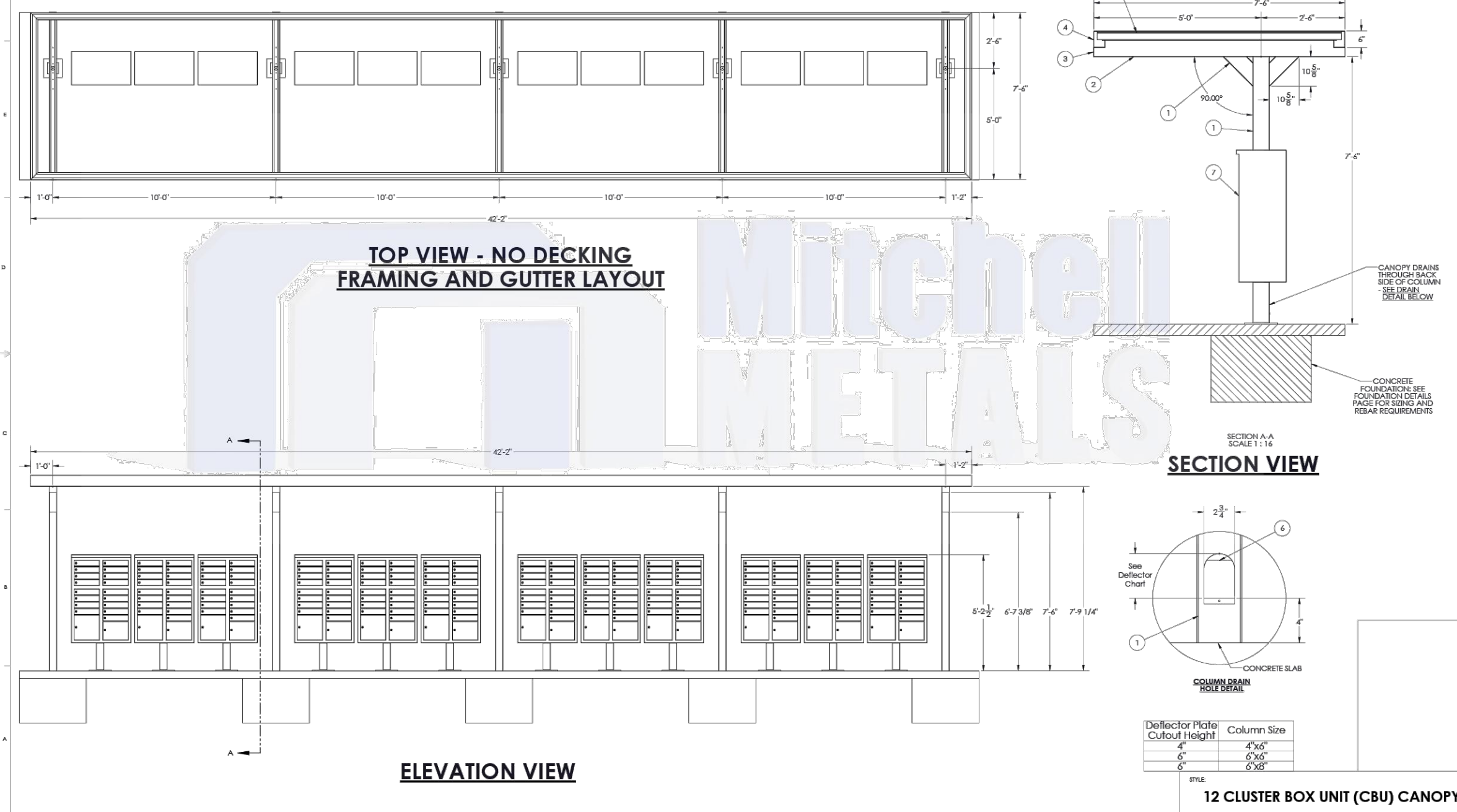
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Dwg No.  
**MP 6.2**



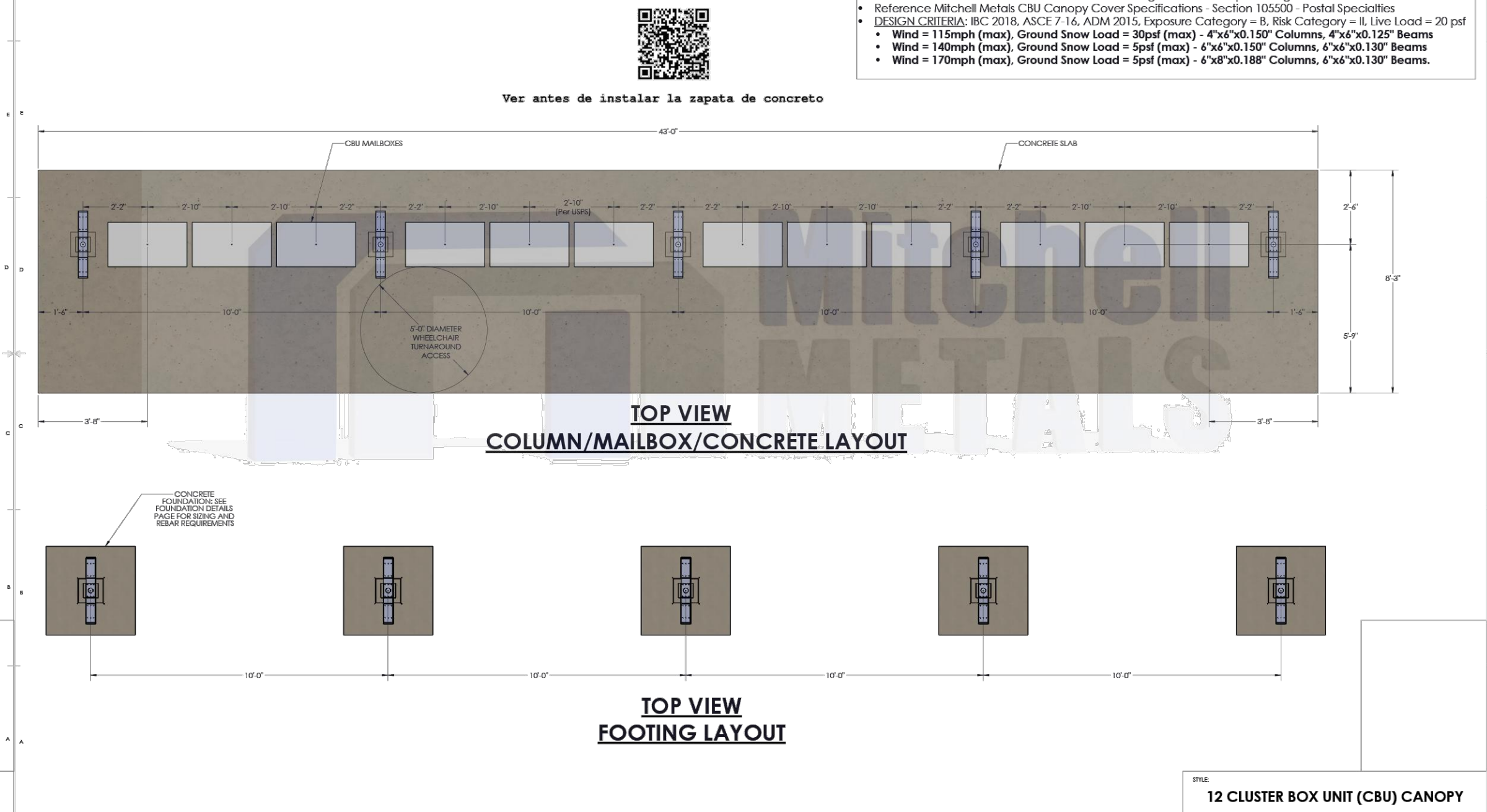
Mitchell METALS 1761 McCobb Drive, Suite A, Smyrna, GA 30080  
Phone: (770) 431-7300 Fax: (770) 431-7305

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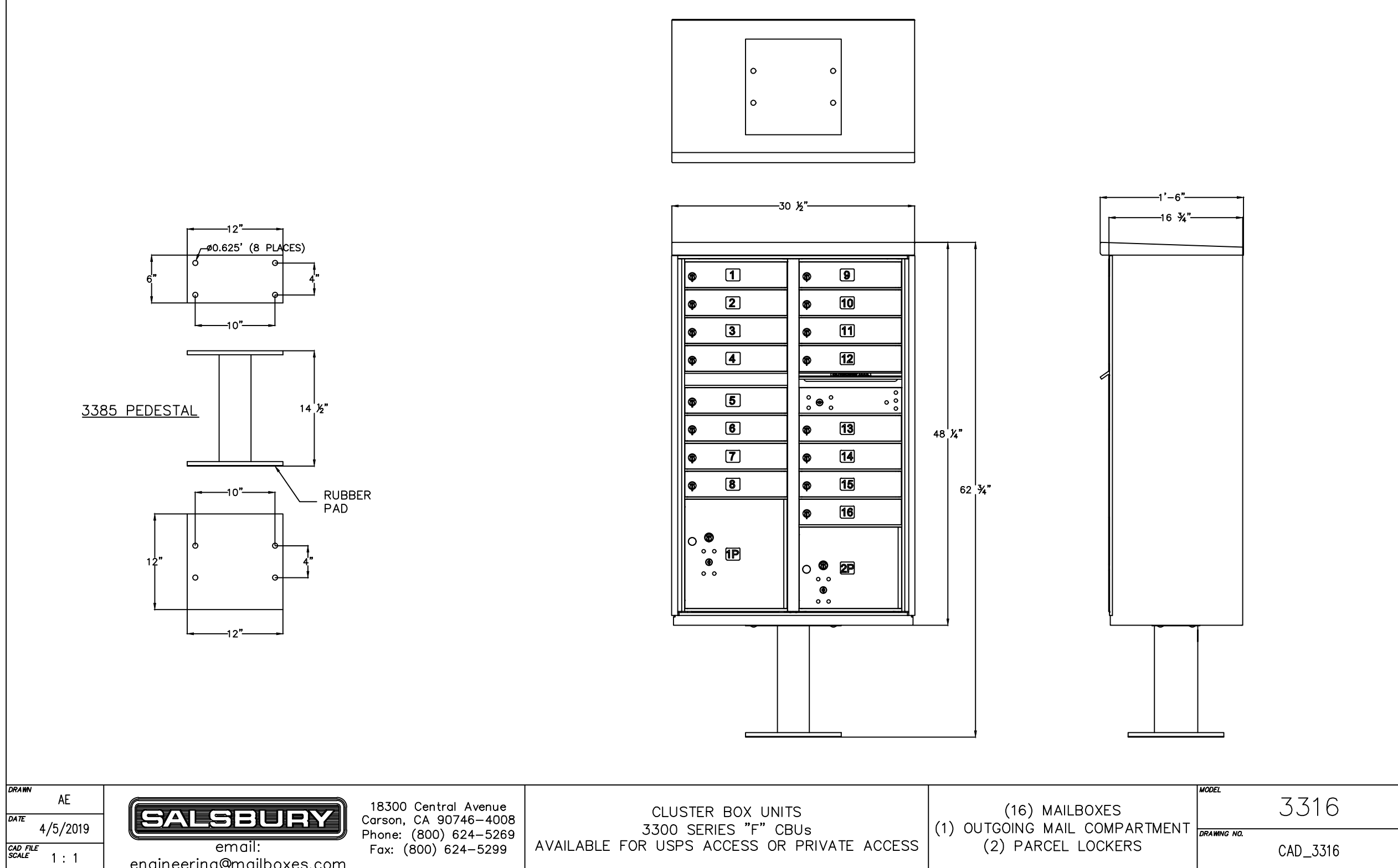


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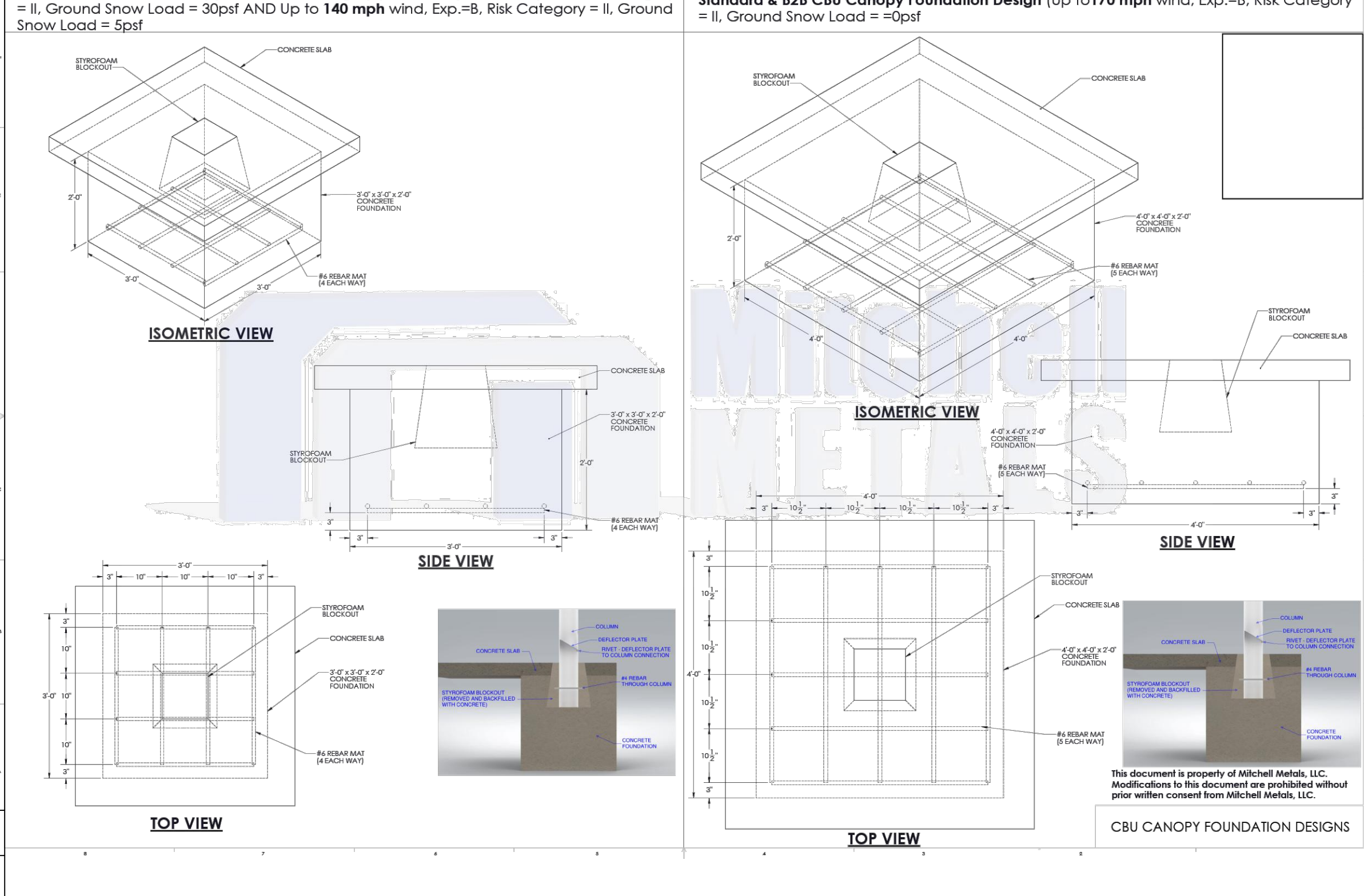
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**GENERAL NOTES:**  
 • Max column height to be 9'-0". Canopy designed at 7'-6" to bottom of beam above finished concrete slab.  
 • See Foundation Details Page for concrete foundation design based on project location design criteria.  
 • Minimum footing size is based on 1500 PSF soil condition.  
 • Adhere to all local building codes, including layout, foundation design and depth (i.e. frost line depth).  
 • Canopy design complies with USFS Developers and Builders Guide.  
 • Any canopy lighting required is provided by others and may require additional canopy framing to support.  
 • Reference 2010 ADA Standards for Accessible Design for concrete pad design.  
 • Reference Mitchell Metals CBU Canopy Cover Specifications - Section 10550 - Postal Specifications  
 • DESIGN CRITERIA: IRC 2015, ASCE 7-16, ASCE 7-15, Exposure Category = B, Risk Category = II, Live Load = 20 psf  
 • Wind = 115mph (max), Ground Snow Load = 30psf (max) - 4"x4"x0.130" Columns, 4"x6"x0.125" Beams  
 • Wind = 140mph (max), Ground Snow Load = 5psf (max) - 4"x6"x0.130" Columns, 4"x6"x0.130" Beams  
 • Wind = 170mph (max), Ground Snow Load = 0psf (max) - 4"x8"x0.130" Columns, 4"x8"x0.130" Beams



DRAWN: AE DATE: 4/5/2019 SCALE: 1:1	<b>SALSBUARY</b> 18300 Central Avenue Carson, CA 90746-4008 Phone: (800) 624-5269 Fax: (800) 624-5299 email: engineering@mailboxes.com	CLUSTER BOX UNITS 3300 SERIES "F" CBUs AVAILABLE FOR USPS ACCESS OR PRIVATE ACCESS	(16) MAILBOXES (1) OUTGOING MAIL COMPARTMENT (2) PARCEL LOCKERS	MODEL: 3316 DRAWING NO: CAD_3316
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MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
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 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

Drawn By: JHJ  
 Checked By: BDM

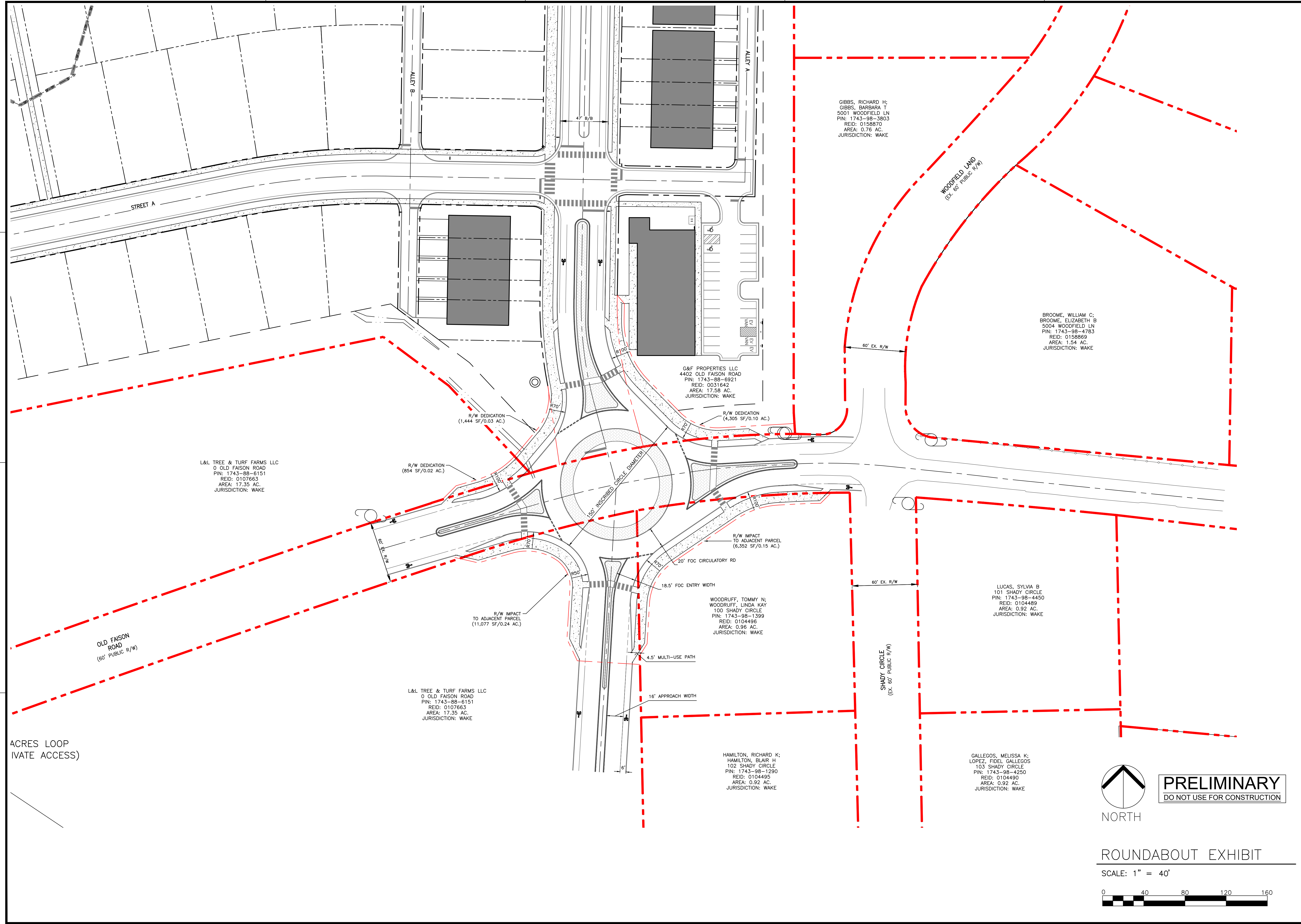
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 26 JAN 2026  
 31 MAR 2026

MASTER PLANS  
 SITE DETAILS

Job Code: L70FRZ

Dwg No. MP 6.4

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MASTER PLANS (ZMA-1-25) FOR:  
**FAISON RESERVE**  
 4402 OLD FAISON ROAD  
 KNIGHTDALE, NORTH CAROLINA  
 WAKE COUNTY

Drawn By: LLF  
 Checked By: BDM

DATE:  
 31 MAR 2026

MASTER PLANS

ROUNDABOUT EXHIBIT

Job Code: L70FRZ

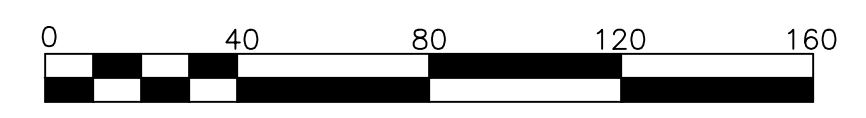
Dwg No.  
 EX  
 1.0

**PRELIMINARY**  
 DO NOT USE FOR CONSTRUCTION

NORTH

ROUNDABOUT EXHIBIT

SCALE: 1" = 40'



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